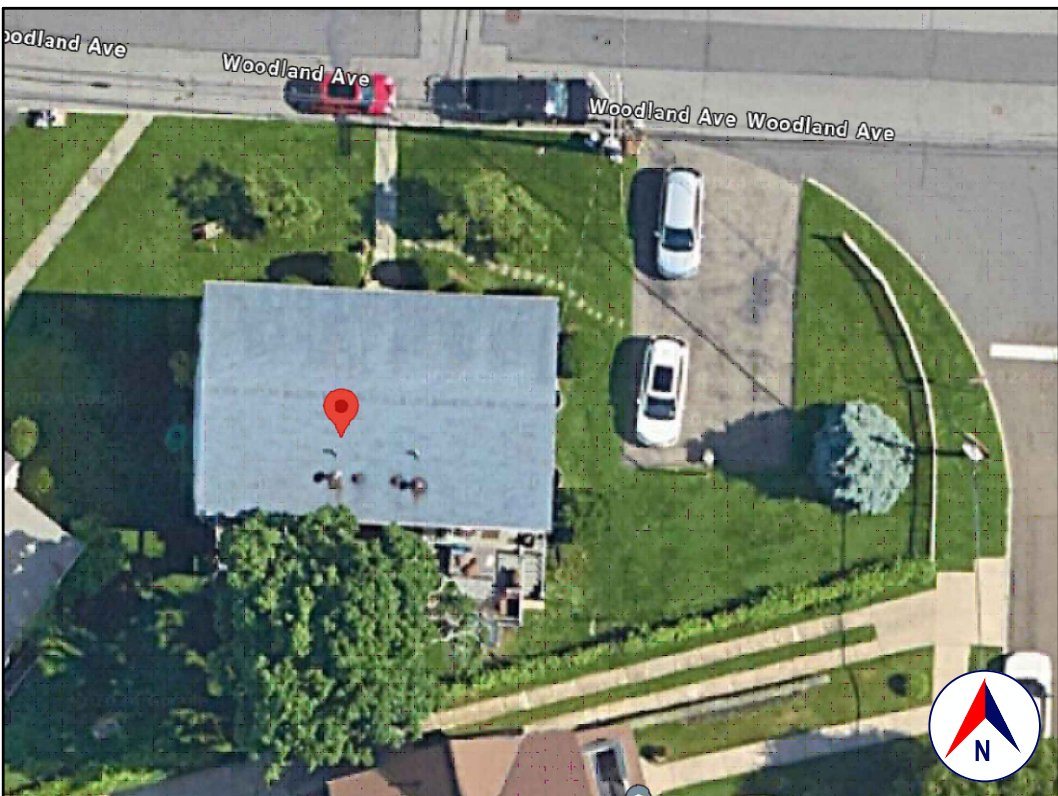
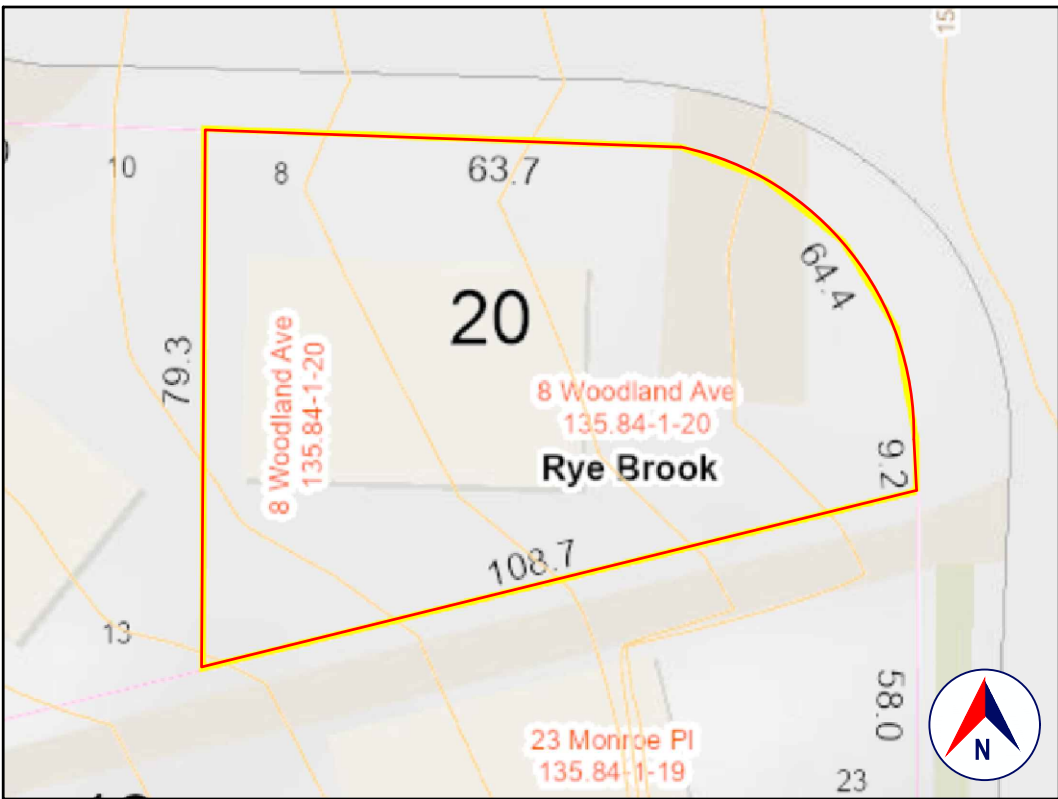


LOCATION
GOOGLE MAPS



SATELLITE VIEW
GOOGLE EARTH



TAX MAP AND TOPO
WESTCHESTER COUNTY GIS



FRONT VIEW
GOOGLE STREET VIEW

1.0 GENERAL REQUIREMENTS:

1.1 SCOPE OF WORK:

DECK 1 - REPLACE EXISTING DETERIORATED DECK:
REMOVE EXISTING WOOD DECK (8' X 8' APPROX.), RAILING AND STAIRS, BUILT 1985; REPLACE WITH NEW DECK (11' X 8' +/-), RAILING AND STAIRS; ADD CONCRETE PLATFORM AT BOTTOM OF STEPS.

DECK 2 - REDUCE DECK SIZE AND ELIMINATE SIDE YARD ENCROACHMENT:
REMOVE EXISTING WOOD DECK STRUCTURE (20' X 13' APPROX.), RAILING AND STAIRS, BUILT PRE-2012; REPLACE WITH NEW SMALLER DECK (20' X 12' +/-), RAILING AND STAIRS WITH NO SIDE YARD ENCROACHMENT; ADD CONCRETE PLATFORM AT BOTTOM OF STEPS.

1.2 DESIGN INTENT:

IT IS THE OVERALL INTENT OF (ALL OF) THE DRAWINGS TO CALL FOR COMPLETE AND FINISHED WORK, IN COMPLIANCE WITH THE NOTED CODES, AND TESTED AND GUARANTEED AND READY FOR OPERATION.

THE ENGINEER HAS NOT BEEN ENGAGED TO SUPERVISE ANY WORK AND DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

1.3 CLASSIFICATION OF PROPOSED WORK:

THE PROPOSED WORK IS OUTSIDE OF THE EXISTING BUILDING ENVELOPE; THE CODES REFERENCED BELOW APPLY TO ALL PROPOSED WORK.

CONSTRUCTION TYPE: V-B AS DEFINED IN TABLE 601
YEAR BUILT: 1985 (PER ZILLLOW)
ZONING: R2-F TWO-FAMILY RESIDENTIAL
OCCUPANCY CLASSIFICATION: R-3*

* WHERE THE OCCUPANTS ARE PRIMARILY PERMANENT IN NATURE AND NOT CLASSIFIED AS OCCUPANCY GROUP R-1, R-2, R-4 OR I, INCLUDING BUILDINGS THAT DO NOT CONTAIN MORE THAN TWO DWELLING UNITS.

1.4 COMPLIANCE:

- ALL WORK SHALL BE IN COMPLIANCE WITH THE FOLLOWINGS CODES:
- GENERAL: 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS).
 - EXISTING: EXISTING BUILDING CODE OF NEW YORK STATE (INTERNATIONAL EXISTING BUILDING CODE 2018 WITH AMENDMENTS).
 - PLUMBING: NOT APPLICABLE TO THESE DRAWINGS.
 - ELECTRICAL: NOT APPLICABLE TO THESE DRAWINGS.
 - DRAINAGE: NOT APPLICABLE TO THESE DRAWINGS.
 - MUNICIPAL: CHAPTER 91, BUILDING CONSTRUCTION AND FIRE PREVENTION OF THE CODE OF THE VILLAGE OF RYE BROOK.
 - OTHER ALL REFERENCED CODES, OTHER CODES AND REGULATIONS, FEDERAL, STATE AND LOCAL, THAT MAY APPLY.

1.5 AUTHORITY HAVING JURISDICTION:

THE AUTHORITY HAVING JURISDICTION, AS DEFINED IN SECTION 103.1 OF THE RESIDENTIAL CODE, AND WHICH SHALL PROVIDE FOR ADMINISTRATION AND ENFORCEMENT OF THE UNIFORM CODE AND ENERGY CODE BY LOCAL LAW, ORDINANCE, OTHER APPROPRIATE REGULATION, OR COMBINATION THEREOF, IS THE VILLAGE OF RYE BROOK.

THE DULY APPOINTED BUILDING OFFICIAL OF THE VILLAGE OF RYE BROOK IS AUTHORIZED TO ENFORCE THE PROVISIONS OF THE CODE.

THE BUILDING OFFICIAL MAY ADOPT POLICIES AND PROCEDURES IN ORDER TO CLARIFY THE APPLICATION OF THE PROVISIONS OF THE CODE. SUCH POLICIES AND PROCEDURES SHALL BE IN COMPLIANCE WITH THE INTENT AND PURPOSE OF THE CODE.

2.0 DESIGN CRITERIA:

2.1 DEAD LOAD:

PER 301.4, THE ACTUAL WEIGHTS OF MATERIALS AND CONSTRUCTION SHALL BE USED FOR DETERMINING DEAD LOAD; THE FOLLOWING APPROXIMATIONS (IN PSF) ARE USED FOR THIS PROJECT:

USE	PSF
FRAMED WALL ASSEMBLY:	15
ROOF /CEILING ASSEMBLY:	20
FLOOR ASSEMBLY:	15

ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.2 LIVE LOAD:

UNIFORMLY DISTRIBUTED LIVE LOADS SHALL BE PER TABLE R301.5 AND AS FOLLOWS* (IN PSF):

USE	PSF	OTHER
UNINHABITABLE SPACE WITHOUT STORAGE:	10	(<42"H, 24"W)
UNINHABITABLE ATTICS W/LIMITED STORAGE:	20	
HABITABLE ATTICS & ATTICS W/IFED STAIRS:	30	
EXTERIOR BALCONIES & DECKS:	40	
FIRE ESCAPES:	40	
GUARDS & HANDRAILS:	200	(CONCENTRATED)
GUARD IN-FILL COMPONENTS:	50	(HORIZONTAL)
PASSENGER VEHICLE GARAGE:	40	(82,000LB/20SI)
ROOMS OTHER THAN SLEEPING ROOMS:	50	
SLEEPING ROOMS:	40	
STAIRS:	40	(8,300LB/4SI)
ROOF, PER 301.6 (INC. SNOW):	30	

*SOME OF THE LOADS LISTED ABOVE MAY BE HIGHER THAN THOSE REQUIRED PER CODE.
ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.3 WIND LOAD:

WIND LOADS SHALL BE BASED ON THE ULTIMATE DESIGN WIND SPEED LISTED IN TABLE 301.2(1) AND ADJUSTED FOR HEIGHT AND EXPOSURE;
120 MPH. WIND LOADS WILL BE ALLOWED FOR IN: THE DESIGN LOAD PERFORMANCE REQUIREMENTS FOR WALL COVERINGS, ROOF COVERINGS, WINDOWS, SKYLIGHTS AND DOORS.
COMPONENT AND CLADDING LOADS WILL BE PER TABLE R301.2(2)

2.4 ALLOWABLE LIVE LOAD DEFLECTION:

THE ALLOWABLE LIVE LOAD DEFLECTION OF ALL STRUCTURAL MEMBERS, SHALL BE PER TABLE R301.7 AND AS FOLLOWS:

STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
RAFTERS HAVING SLOPES GRATER THAN 3:12 WHIT FINISHED	
CEILING NOT ATTACHED TO RAFTERS	L/180
INTERIOR WALLS AND PARTITIONS	H/160
FLOORS	L/360
CEILING WITH BRITTLE FINISHES (INCLUDING PLASTER AND STUCCO)	L/360
CEILING WITH FLEXIBLE FINISHES (INCLUDING GYPSUM BOARD)	L/240
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS-WIND LOAD WITH PLASTER OR STUCCO FINISHES	L/360
EXTERIOR WALLS-WIND LOAD WITH OTHER BRITTLE FINISHES	H/240
EXTERIOR WALLS-WIND LOADS WITH FLEXIBLE FINISHES	H/120
UNITS SUPPORTING MASONRY VENEER WALLS	L/600

2.5 CLIMATIC AND GEOGRAPHIC CRITERIA:

CLIMATIC AND DESIGN CRITERIA FOR THE VILLAGE OF RYE BROOK ARE PER TABLE R301.2(1) BELOW:

PER 2020 RESIDENTIAL CODE OF NEW YORK STATE, TABLE 301.2(1)						(WIND) EXPOSURE CATEGORY: B				CLIMATE ZONE: 4A			
WIND DESIGN						SUBJECT TO DAMAGE FROM							
GROUND SNOW LOAD	WIND SPEED MPH	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WINDBORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE	WINTER DESIGN TEMP	ICE BARRIER UNDERLMNT. REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
20 PSF	115/120	NO	NO	NO	D	SEVERE	42"	YES\	15°	YES	FIRM MAP 36119C0279 F 9.28.2007	1,000	52.2°

3.0 CONTRACTOR'S RESPONSIBILITIES:

THE CONTRACTOR SHALL:

- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR A COMPLETE AND FINISHED JOB.
- PROVIDE ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.
- OBTAIN AND PAY FOR ALL REQUIRED PERMITS - UNLESS OTHERWISE STIPULATED.
- PRIOR TO THE SUBMISSION OF ANY BID, AND BEFORE PROCEEDING WITH ANY WORK, VISIT THE SITE AND VERIFY AND FAMILIARIZE HIMMSELF WITH ALL SITE DIMENSIONS AND CONDITIONS, WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION, METHODS AND ROUTES OF ACCESS, AND THE EXISTENCE AND EXTENT OF ANY OTHER RESTRICTIONS, AND BE RESPONSIBLE FOR THE VERIFICATION OF ALL SUCH CONDITIONS AND DIMENSIONS WHICH PERTAIN TO THE PROJECT.
- BRING ALL DISCREPANCIES IN CONDITIONS AND DIMENSIONS, BETWEEN THE APPROVED DRAWINGS AND ACTUAL FIELD CONDITIONS, TO THE IMMEDIATE ATTENTION OF THE OWNER, AND RECEIVE DIRECTION IN WRITING, BEFORE PROCEEDING WITH THE AFFECTED WORK.
- VERIFY THE AVAILABILITY, LOCATION LAYOUT AND CONDITION OF UTILITIES, INCLUDING SEWER, WATER, GAS AND ELECTRIC LINES, PRIOR TO THE SUBMISSION OF ANY BID.
- HAVE CONTROL OVER AND SUPERVISE AND DIRECT THE WORK, INCLUDING THAT OF ITS SUBCONTRACTORS, AND BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR JOBSITE SAFETY, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, VERIFY THE CONDITION OF ALL ADJOINING STRUCTURES WHICH MAY BE AFFECTED, AND PROVIDE ADEQUATE PROTECTION TO ANY STRUCTURE THAT MIGHT BE OTHERWISE AFFECTED.
- IN THE EVENT THAT DAMAGE IS CAUSED TO ANY STRUCTURE, FINISH, OR OTHER ELEMENT, RESTORE SUCH ELEMENTS TO THEIR ORIGINAL CONDITION.
- IF APPLICABLE, PROVIDE WEATHER PROTECTION, IN AN EFFECTIVE AND TIMELY MANNER, TO PROTECT THE PREMISES, PERSONNEL, MATERIALS AND INSTALLED WORK.
- BE A HOME IMPROVEMENT CONTRACTOR WITH A CURRENT LICENSE ISSUED BY THE WESTCHESTER COUNTY DEPARTMENT OF CONSUMER AFFAIRS.
- BE CERTIFIED AS A LEAD SAFE FIRM BY THE EPA PER 40 CFR 745.226.
- CARRY LIABILITY INSURANCE TO THE LIMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION AND ISSUE CERTIFICATE(S) OF INSURANCE AS REQUIRED BY THE HOMEOWNER AND/OR THAT AUTHORITY.
- CARRY WORKMAN'S COMPENSATION AND DISABILITY INSURANCE AS REQUIRED BY THE LAW AND ISSUE CERTIFICATE(S) AS REQUIRED BY THE HOMEOWNER AND/OR THE AUTHORITY HAVING JURISDICTION.

4.0 BUILDING PERMIT:

NO PERSON OR ENTITY SHALL COMMENCE, PERFORM, OR CONTINUE ANY WORK THAT MUST CONFORM WITH THE UNIFORM CODE AND/OR ENERGY CODE UNLESS:

- SUCH PERSON OR ENTITY HAS APPLIED TO THE VILLAGE OF RYE BROOK FOR A BUILDING PERMIT.
- THE VILLAGE OF RYE BROOK HAS ISSUED A BUILDING PERMIT AUTHORIZING SUCH WORK.
- SUCH BUILDING PERMIT HAS NOT BEEN REVOKED OR SUSPENDED, AND
- SUCH BUILDING PERMIT HAS NOT EXPIRED.

THE BUILDING PERMIT IS REQUIRED TO BE VISIBLY DISPLAYED AT THE WORKSITE AND TO REMAIN VISIBLE UNTIL THE PROJECT, AND ALL REQUIRED INSPECTIONS, HAVE BEEN COMPLETED

THE APPROVED DRAWINGS MUST BE KEPT AT THE WORKSITE AND BE AVAILABLE FOR REVIEW AT THE TIME OF ANY REQUIRED INSPECTIONS.

5.0 CONSTRUCTION INSPECTIONS:

IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING PERMIT, OR THEIR DULY AUTHORIZED AGENT, TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION:

DEPARTMENT OF BUILDING & CODE ENFORCEMENT OF THE VILLAGE OF RYE BROOK.
938 KING STREET
RYE BROOK, NY 10573
TEL: (914) 939-0668
EMAIL: stevfews@ryebrook.org
WEB SITE: www.ryebrookny.gov/departments/building-code-enforcement/

ANY PERSON OR ENTITY PERFORMING WORK FOR WHICH A BUILDING PERMIT HAS BEEN ISSUED SHALL KEEP SUCH WORK ACCESSIBLE AND EXPOSED UNTIL THE WORK HAS BEEN INSPECTED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION, OR ITS AUTHORIZED AGENT, AT EACH ELEMENT OF THE CONSTRUCTION PROCESS THAT IS APPLICABLE TO THE WORK.

BUILDING PERMIT HOLDERS SHALL BE REQUIRED TO NOTIFY THE BUILDING OFFICIAL OF THE VILLAGE OF RYE BROOK WHEN CONSTRUCTION WORK IS READY FOR INSPECTION.

THE BUILDING OFFICIAL SHALL MAKE THE REQUIRED INSPECTIONS OR SHALL HAVE THE AUTHORITY TO ACCEPT WRITTEN REPORTS OF INSPECTION BY APPROVED AGENCIES OR INDIVIDUALS.

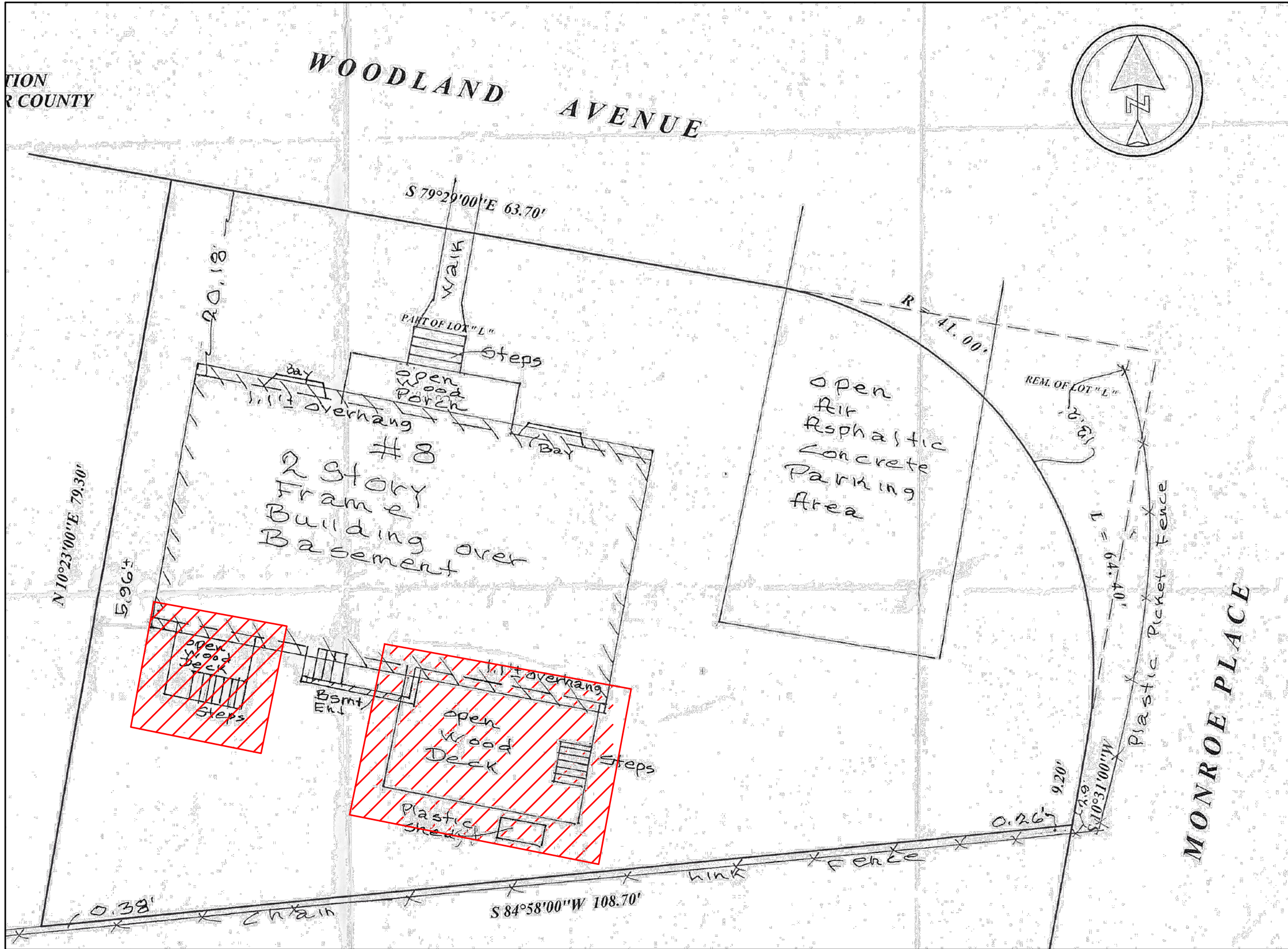
REQUIRED INSPECTIONS FOR THIS PROJECT MAY INCLUDE THE FOLLOWING, AS APPLICABLE, OR AS SPECIFIED IN THE CODE ENFORCEMENT PROGRAM OF THE VILLAGE OF RYE BROOK:

- WORKSITE PRIOR TO THE ISSUANCE OF A PERMIT
 - PLUMBING*
 - ELECTRICAL*
 - MECHANICAL
 - FRAMING (SUBSEQUENT TO THE INSPECTION & APPROVAL OF PLUMBING, ELECTRICAL & MECHANICAL)
 - FIRE RESISTANT CONSTRUCTION
 - FIRE RESISTANT PENETRATIONS
 - ENERGY CODE COMPLIANCE
 - A FINAL INSPECTION AFTER ALL WORK AUTHORIZED BY THE BUILDING PERMIT HAS BEEN COMPLETED
 - ANY OTHER INSPECTIONS AS REQUIRED BY THE VILLAGE OF RYE BROOK.
- A SCHEDULE OF REQUIRED INSPECTIONS IS AVAILABLE FROM THE BUILDING DEPARTMENT OF THE VILLAGE OF RYE BROOK.
- *THE WORK APPLICABLE TO SOME OF THE ABOVE INSPECTIONS (FOR INSTANCE PLUMBING AND ELECTRICAL) SHALL BE COMPLETED UNDER A SEPARATE PERMIT, FILED BY THE RELEVANT LICENCED CONTRACTORS.

AFTER INSPECTION, THE WORK OR A PORTION THEREOF SHALL BE NOTED AS SATISFACTORY AS COMPLETED, OR THE BUILDING PERMIT HOLDER SHALL BE NOTIFIED AS TO THE MANNER IN WHICH THE WORK FAILS TO COMPLY WITH APPLICABLE CODES, INCLUDING A CITATION OF THE SPECIFIC CODE PROVISION OR PROVISIONS THAT HAVE NOT BEEN MET.

IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO ASCERTAIN THE RESULTS OF REQUIRED INSPECTIONS.

CONSTRUCTION WORK NOT IN COMPLIANCE WITH APPLICABLE CODES SHALL BE REQUIRED TO REMAIN EXPOSED UNTIL IT HAS BEEN BROUGHT INTO COMPLIANCE WITH THE CODES, RE-INSPECTED, AND FOUND SATISFACTORY AS COMPLETED.



SITE PLAN
(EXISTING CONDITION)
NOT TO SCALE

SITE WORK

EXCAVATION SAFETY:

THE CONTRACTOR SHALL COMPLY WITH THE TRENCHING AND EXCAVATION REQUIREMENTS OF 29 CFR 1926.651 AND 1926.652 OR COMPARABLE OSHA-APPROVED STATE PLAN REQUIREMENTS. TRENCHES 5 FEET DEEP OR GREATER REQUIRE A PROTECTIVE SYSTEM UNLESS THE EXCAVATION IS MADE ENTIRELY IN STABLE ROCK.

THE CONTRACTOR SHALL HAVE A COMPETENT PERSON INSPECT EXCAVATIONS DAILY AND AS CONDITIONS CHANGE TO ENSURE ELIMINATION OF EXCAVATION HAZARDS.

A COMPETENT PERSON IS AN INDIVIDUAL WHO IS CAPABLE OF IDENTIFYING EXISTING AND PREDICTABLE HAZARDS OR WORKING CONDITIONS THAT ARE HAZARDOUS, UNSANITARY, OR DANGEROUS TO WORKERS, SOIL TYPES AND PROTECTIVE SYSTEMS REQUIRED, AND WHO IS AUTHORIZED TO TAKE PROMPT CORRECTIVE MEASURES TO ELIMINATE THESE HAZARDS AND CONDITIONS.

EXCAVATION - LOCATING UTILITIES - CALL 811:

NEW YORK STATE LAW (16 NYCRR PART 753) REQUIRES ALL EXCAVATORS TO PLACE A LOCATION REQUEST WITH DIG SAFELY NEW YORK AT LEAST TWO (2) FULL WORKING DAYS, BUT NO MORE THAN 10 WORKING DAYS BEFORE BEGINNING AN EXCAVATION PROJECT IN ORDER TO ENSURE ALL UNDERGROUND UTILITY LINES ARE PROPERLY MARKED BY THEIR OWNERS.

A LOCATION REQUEST MAY BE PLACED, AND THE PROCESS OF MARKING UNDERGROUND UTILITIES MAY BE TRACKED, BY USING THE ONLINE LOCATION REQUEST PROGRAM, EXACTIX, OR, THE EXCAVATOR MAY CALL 811 TO PLACE THE LOCATION REQUEST.

- NOTIFY: NOTIFY 811 ONLINE WITH EXACTIX OR BY CALLING 811.
- WAIT: AT LEAST TWO DAYS FOR UTILITIES TO RESPOND (NOT INC. THE DAY YOU CALL).
- CONFIRM: CHECK ALL UTILITIES HAVE RESPONDED.
- RESPECT: ADHERE TO UTILITY MARKS AND FLAGS.
- DIG W/CAUTION: DIG CAREFULLY AROUND BURIED UTILITIES.

NOTE:
THE VILLAGE OF RYE BROOK MAY REQUIRE THE CONTRACTOR TO PROVIDE A "DIG SAFELY" CODE 753 CASE NUMBER.

DEMOLITION:

THE CONTRACTOR SHALL:
DEMOLISH AND REMOVE ALL ELEMENTS NOTED IN THE DRAWINGS FOR DEMOLITION, AND AS REQUIRED FOR THE COMPLETION OF ALL WORK SHOWN ON THESE DRAWINGS.

ALLOW NO DEBRIS TO ACCUMULATE; HAUL AWAY FROM SITE ALL DEBRIS AT CONTRACTOR'S EXPENSE; REMOVE ALL DEBRIS ON A REGULAR BASIS AND MAINTAIN JOBSITE IN A CLEAN AND TIDY CONDITION.

FULLY PROTECT ALL STRUCTURES, BUILDING ELEMENTS, EQUIPMENT, APPLIANCES AND FINISHES THAT ARE TO REMAIN FROM DAMAGE CAUSED BY ANY OF THE CONTRACTOR'S ACTIVITIES.

PROTECT ALL ADJACENT AREAS, AND ALL NEIGHBORING PROPERTY, FROM DAMAGE, INJURY AND DISCOMFORT CAUSED BY DUST.

PROTECT ALL PUBLIC PROPERTIES AND PREMISES FROM DAMAGE AND PREVENT ANY ACCUMULATION OF DEBRIS, DUST OR RUBBISH IN ANY PUBLIC AREA.

ASSUME FULL RESPONSIBILITY FOR ANY DAMAGE CAUSED TO EXISTING ELEMENTS AND MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.

CONDUCT ALL DEMOLITION OPERATIONS IN SUCH A MANNER AS TO PREVENT UNAUTHORIZED ENTRY OF ANY PERSONS AT ANY TIME; POST APPROPRIATE SIGNAGE AS REQUIRED.

LOCATE ALL UTILITY AND DRAINAGE LINES PRIOR TO COMMENCEMENT OF DEMOLITION AND PROTECT ALL ACTIVE LINES AS REQUIRED. IDENTIFY CLEARLY ANY WORK THAT MAY RESULT IN THE INTERRUPTION OF ANY SERVICES WITHIN THE AREA OF WORK OR IN ANY ADJACENT SPACE OR PROPERTY AND COORDINATE SUCH INTERRUPTIONS WITH ALL INVOLVED PARTIES.

NOTIFY THE OWNER, UTILITY COMPANIES, FIRE DEPARTMENT, ALARM COMPANIES, ETC. OF ANY WORK AFFECTING THEIR SYSTEMS AS REQUIRED BY ALL APPLICABLE CODES, RULES, AND REGULATIONS.

MASONRY AND CONCRETE

1. CONCRETE

STRUCTURAL CONCRETE AND CONCRETING PRACTICES SHALL CONFORM WITH THE LATEST EDITION OF ACI 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, ISSUED AND MAINTAINED BY THE AMERICAN CONCRETE INSTITUTE, AND AS NOTED BELOW.

ALL ACI REQUIREMENTS FOR HOT AND COLD WEATHERING CONCRETE MUST BE ADHERED TO.

STRENGTH:
CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS AS FOLLOWS UNLESS OTHERWISE NOTED ON THE DRAWINGS:
FOUNDATION WALLS, SLAB ON GRADE: 4000 PSI, NORMAL WEIGHT
FOOTINGS AND PIERS: 4000 PSI, NORMAL WEIGHT
CONCRETE ON METAL DECK: 4000 PSI, NORMAL WEIGHT
ALL OTHER CONCRETE: 4000 PSI, NORMAL WEIGHT

ALL EXPOSED CONCRETE SHALL HAVE AN AIR ENTRAINING AGENT.

COVER:
MINIMUM CONCRETE COVER SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE ON THE DRAWINGS:
SLABS: 3/4"
WALLS: 1"
COLUMNS: 1 1/2"
EXPOSED TO WEATHER OR EARTH: 2"
CONCRETE PLACED AGAINST EARTH: 3"

2. REINFORCING STEEL:

DETAILS SHALL BE IN ACCORDANCE WITH ACI-315, DETAILS AND DETAILING OF CONCRETE REINFORCEMENT UNLESS OTHERWISE NOTED ON THE DRAWINGS.

ALL REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60 UNLESS REQUIRED TO BE WELDED AS SHOWN ON PLANS.

ALL REINFORCING BARS REQUIRED TO BE WELDED SHALL CONFORM TO ASTM A706, GRADE 50.
WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
SUPPORT WIRE FABRIC WITH CHAIRS OR LIFTS DURING CONCRETE PLACEMENT TO INSURE PROPER POSITION IN SLAB.

ALL REINFORCEMENT SHALL BE SECURELY HELD IN PLACE WHILE PLACING CONCRETE. IF REQUIRED, ADDITIONAL BARS OR STIRRUPS SHALL BE PROVIDED BY THE CONTRACTOR TO FURNISH SUPPORT FOR ALL BARS. REINFORCEMENT SHALL BE SECURED IN THE PROPER LOCATION IN THE FORMS WITH TIE WIRE OR OTHER BAR SUPPORT SYSTEM TO PREVENT DISPLACEMENT DURING THE CONCRETE PLACEMENT OPERATION.

WHERE NOT SPECIFICALLY INDICATED ON THE DRAWINGS, SPLICING & EMBEDMENTS SHALL BE IN ACCORDANCE TABLE R608.5.4(1) LAP SPLICE AND TENSION DEVELOPMENT LENGTHS

STATEMENT OF DESIGN PROFESSIONAL:

THESE PLANS HAVE BEEN PREPARED IN CONFORMANCE WITH THE 2020 RESIDENTIAL CODE OF THE STATE OF NEW YORK.

VINCENT COAKLEY, P.E.
(STAMP AFFIXED AND SIGNED).

LIST OF DRAWINGS			
SHEET	DRAWING NAME	DATE	REVISION
C-01	COVER SHEET	04.02.2024	07.11.2025
S-01	SITE PLAN	04.02.2024	07.11.2025
S-02	DECK PLAN(S)	04.02.2024	07.11.2025
S-03	TYPICAL DETAILS	04.02.2024	07.11.2025

PROPERTY ADDRESS:

RYE BROOK, NY 10573
(VILLAGE OF RYE BROOK
DEPARTMENT OF BUILDING &
CODE ENFORCEMENT)

S-B-L:

135.84-1-20

CLIENT:

*** ***

TEL:

EMAIL:

DATE:

04.02.2024

06.10.2025

07.11.2025

07.11.2025

07.11.2025

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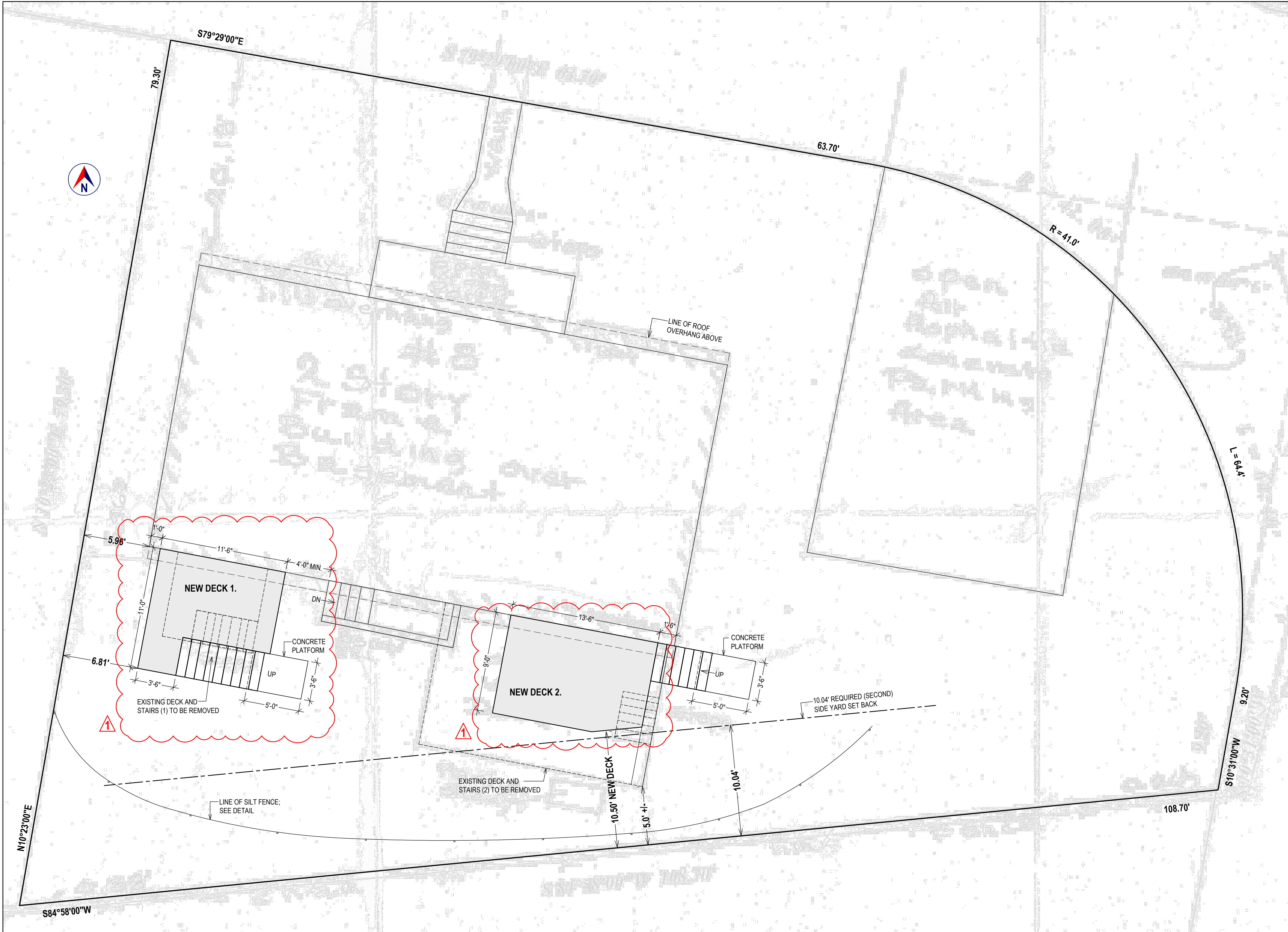
07.11.2025

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07.11.2025



SITE PLAN
BACKGROUND INFORMATION FROM SURVEY BY EDWARD G. MIHALCZO LAND SURVEYOR LLC, 01.19.2022
CONFIRM NEW DECK DOES NOT ENCROACH (10.04') REQUIRED SECOND SIDE YARD SETBACK
(ANGLED FACE OF NEW DECK TO BE PARALLEL WITH SETBACK LINE)
L.S. TO PROVIDE SURVEY AND STAKING AS REQUIRED
1" = 5'

AND PROPOSED COVERAGE AREAS						
	LOT AREA COVERAGE		IMPERVIOUS COVERAGE		DECK AREA	
	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
HOUSE FOOTPRINT	1,248.8	1,248.8	1,355.3	1,355.3		
FRONT PORCH			74.9	74.9		
FRONT STEPS AND WALKWAY			56.9	56.9		
DRIVEWAY			750.9	750.9		
BASEMENT ENTRY			28.9	32.8		
OPEN WOOD DECK 1			38.5	74.3	47.6	98.5
STEPS AND PLATFORM 1			16.2	40.2		
OPEN WOOD DECK 2			244.6	184.7	253.2	118.7
STEPS AND PLATFORM 2			14.0	31.5		
TOTAL:			2,580.2	2,581.5	300.8	217.2

* NUMBERS FOR SQUARE FOOTAGE FOR LOT AREA COVERAGE DO NOT ACCOUNT FOR ROOF OVERHANG.
** NUMBERS FOR SQUARE FOOTAGE FOR LOT IMPERVIOUS COVERAGE ACCOUNT FOR ROOF OVERHANG.

ZONING COMPLIANCE				
ADDRESS:	ZONE:	R2-F	MUNICIPALITY:	VILLAGE OF RYE BROOK
			TAXID:	135.84-1-20
	REQUIRED/PERMITTED	EXISTING	PROPOSED	
1. LOT INFORMATION				
LOT AREA (SF)		5,000.0	6,425.0	6,425.0
HORIZONTAL CIRCLED DIAMETER (FT)		50.0		NO CHANGE
LOT FRONTAGE (FT)		50.0		NO CHANGE
YARD SETBACKS (FT):				
FRONT YARD		20.0		NO CHANGE
REAR YARD		30.0		NO CHANGE
FIRST SIDE YARD		6.0	6.0	NO CHANGE
SECOND SIDE YARD		10.0	5.0	10.5
TOTAL OF TWO		16.0	11.0	16.5
SIDE YARD ADJOINING STREET		NOT APPLICABLE		
2. PRINCIPAL BUILDING INFORMATION				
GROSS FLOOR AREA (SF)				NO CHANGE
BUILDING HEIGHT				NO CHANGE
STORIES				NO CHANGE
HEIGHT TO PRINCIPAL EAVE (FT)				NO CHANGE
HEIGHT TO HIGHEST ROOF RIDGE (FT)				NO CHANGE
BUILDING COVERAGE:				
PRINCIPAL BUILDING AREA (SF)		1,927.5	1,248.8	NO CHANGE
PRINCIPAL BUILDING COVERAGE (%)		30.0%	19.4%	NO CHANGE
3. ACCESSORY BUILDING COVERAGE (%)				
NOT APPLICABLE: NO ACCESSORY BUILDING				NO CHANGE
4. DECK				
DECK AREA (SF)		224.9	300.8	217.2
DECK COVERAGE (%)		3.9%	4.7%	3.4%
5. IMPERVIOUS COVERAGE RATIOS				
BASE LOT (FIRST 5,000 S.F.)		2,200.0		
AREA OVERBASE (1,425 S.F. @ 35%)		499.0		
TOTAL (SF)		2,699.0	2,580.2	2,581.5

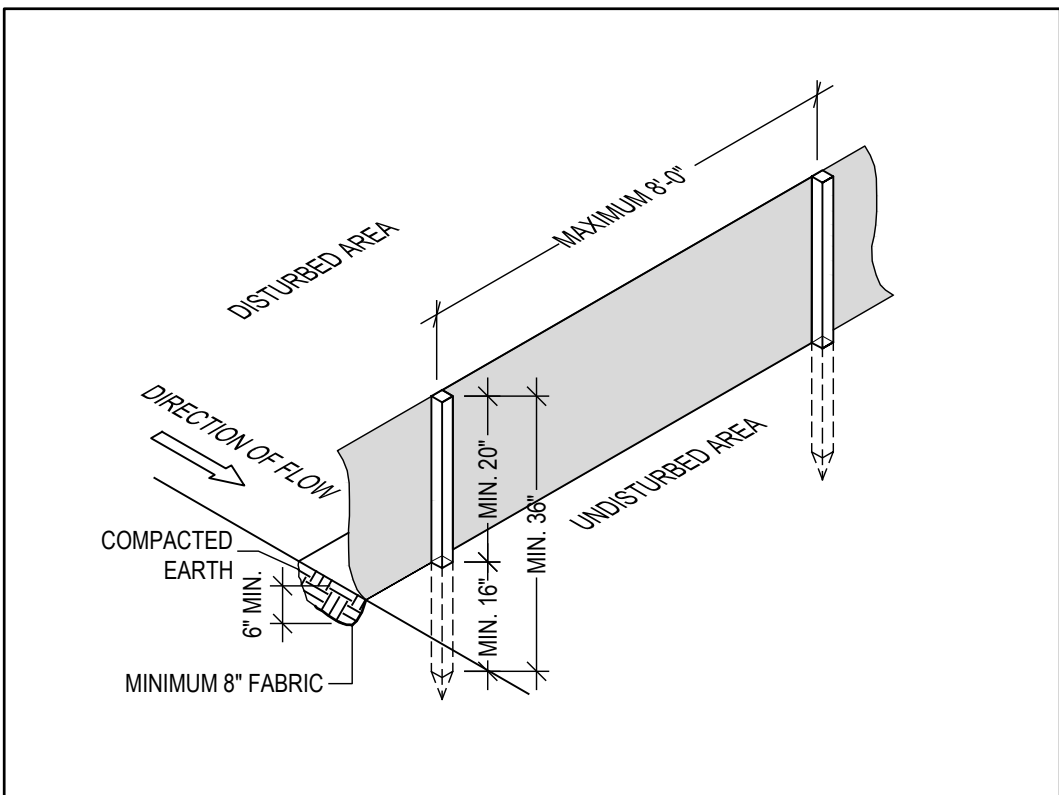
EROSION CONTROL:
THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYS DEC) PROVIDES MINIMUM STANDARDS AND SPECIFICATIONS FOR THE CONTROL OF STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.
EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, WITH ALL RELEVANT REGULATIONS OF THE VILLAGE OF RYE BROOK AND AS FOLLOWS:

THE SILT FENCE SHALL BE INSTALLED BEFORE UP-SLOPE GROUND COVER IS REMOVED.
FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE; A RUN OF SILT FENCE SHOULD FOLLOW THE CONTOUR AS CLOSELY AS POSSIBLE WITH THE ENDS TURNED UPSLOPE TO POND WATER BEHIND THE FENCE.

THE SILT FENCE FABRIC SHOULD BE BURIED AT LEAST 6" DEEP AND HAVE A TOTAL OF 8" (MINIMUM) FABRIC BELOW THE GROUND.

STAKES SHALL BE A MINIMUM OF 2X2 NOMINAL (1 1/2" X 1 1/2" ACTUAL) HARDWOOD AND OF SOUND QUALITY; THE STAKES SHALL BE PLACED ON THE DOWN-SLOPE SIDE OF THE GEOTEXTILE AND AT A MAXIMUM SPACING OF 8'-0" ON CENTER.

THE APPLICANT AND/OR CONTRACTOR SHALL ESTABLISH EROSION CONTROL AS NOTED IN THESE DRAWINGS AND SHALL MAINTAIN EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION UNTIL SUCH TIME THAT THE BUILDING INSPECTOR DEEMS THE LAND TO BE STABLE.



SEDIMENT FENCE DETAIL
NOT TO SCALE

PROPERTY ADDRESS:

RYE BROOK, NY 10573
(VILLAGE OF RYE BROOK
DEPARTMENT OF BUILDING &
CODE ENFORCEMENT)

S-B-L:
135.84-1-20

CLIENT:
*** ***

TEL: ***
EMAIL: ***

DATE: 04.02.2024
06.10.2025
07.11.2025
ISSUE: PRELIMINARY
FOR PERMIT
PER BD
COMMENTS

PROJECT NAME:
DECK(S)

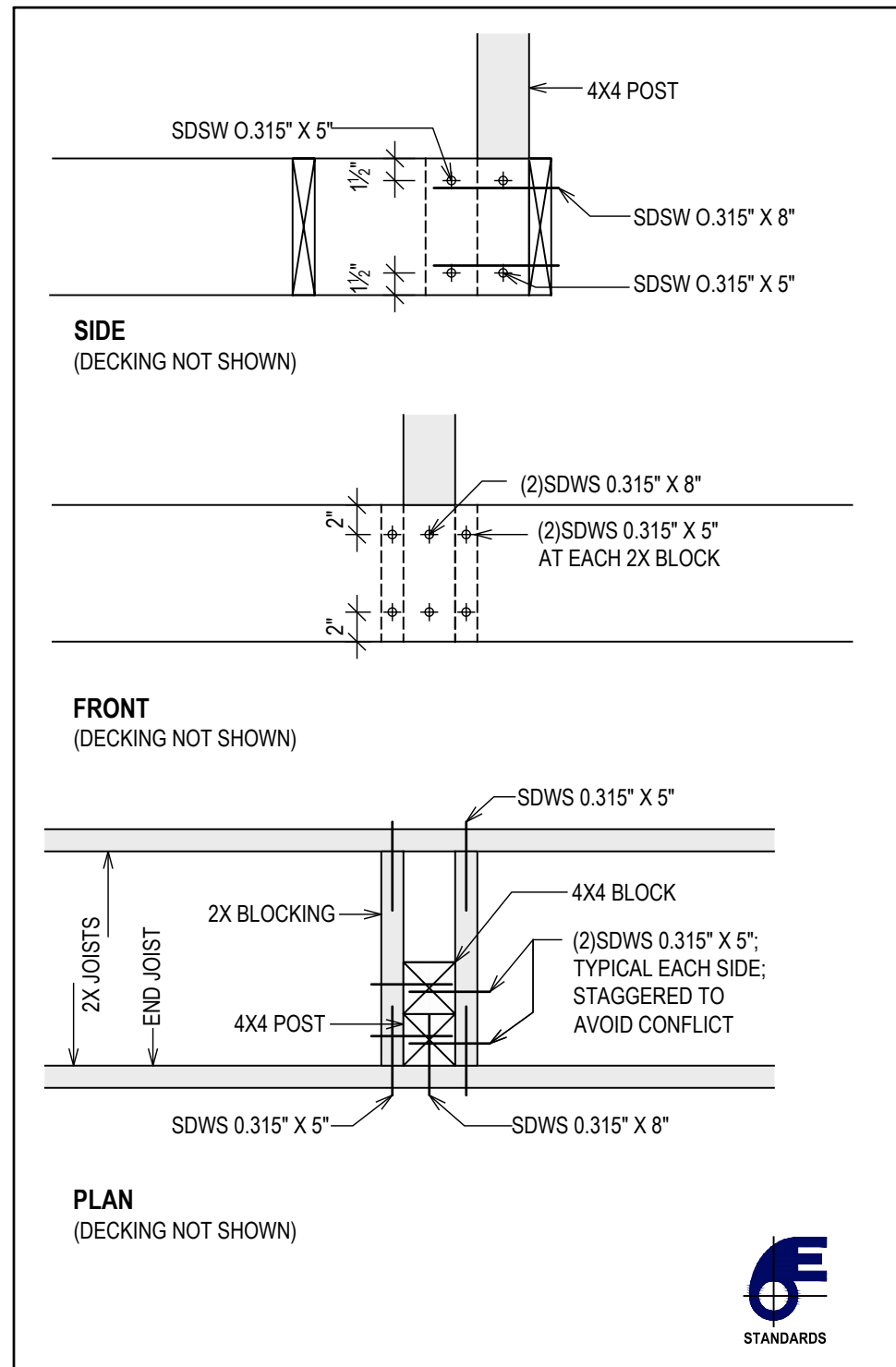
DRAWING NAME:
SITE PLAN

DRAWING NUMBER:
S-01

DATE:
04.02.2024

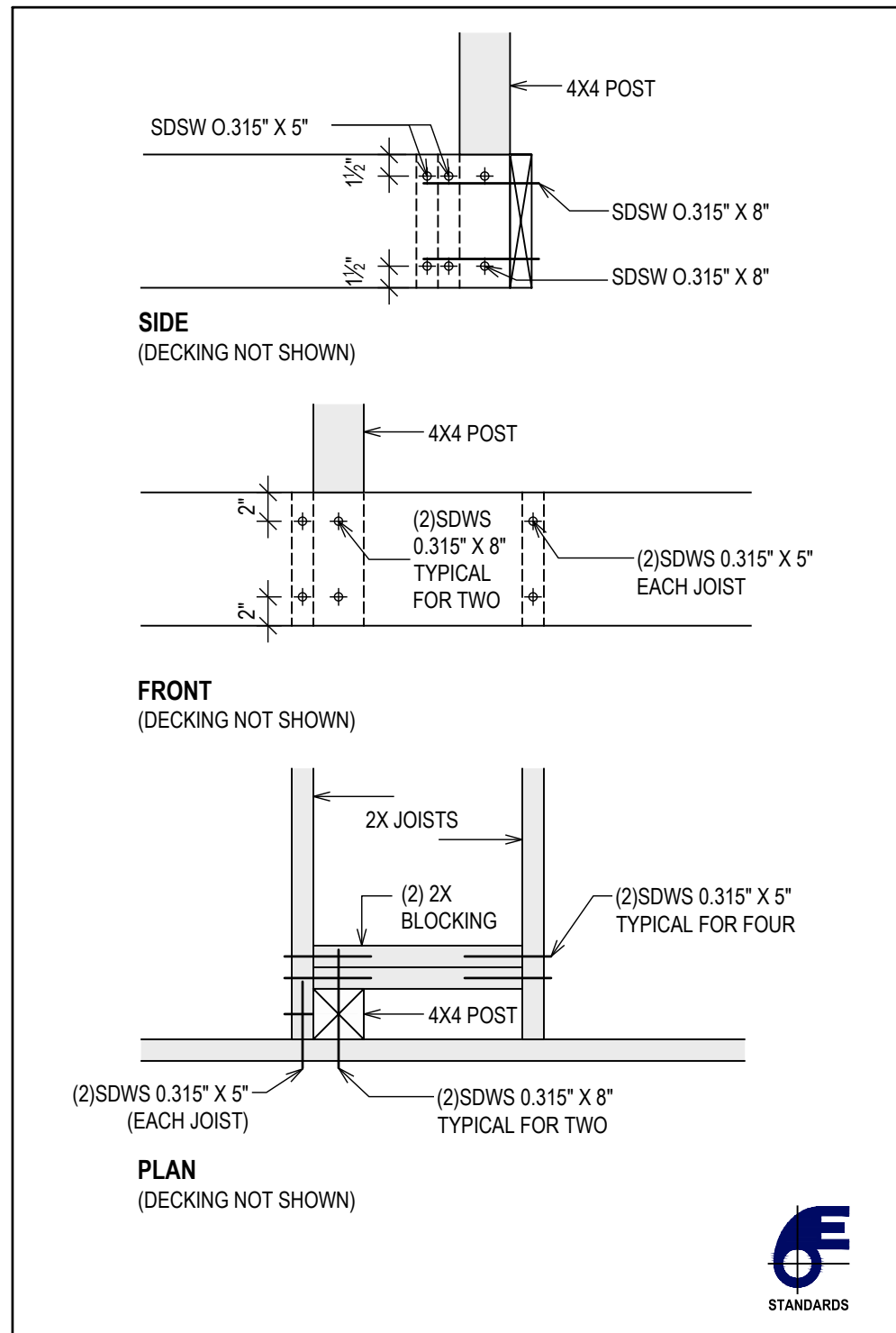
SCALE:
AS NOTED

NOTE:
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BROOK.



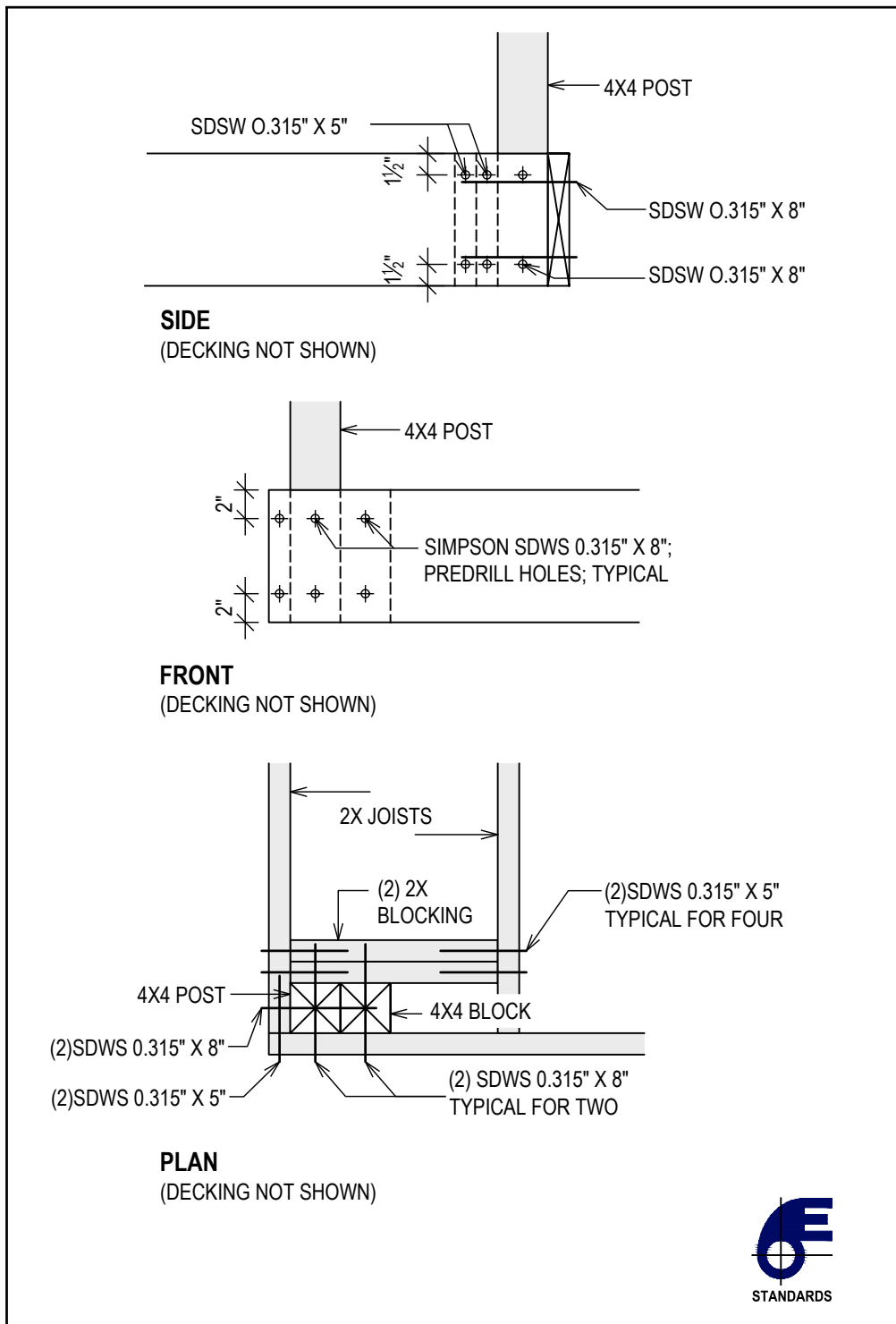
1. LINE POST ATTACHMENT (JOISTS PARALLEL)

1" = 1'-0"



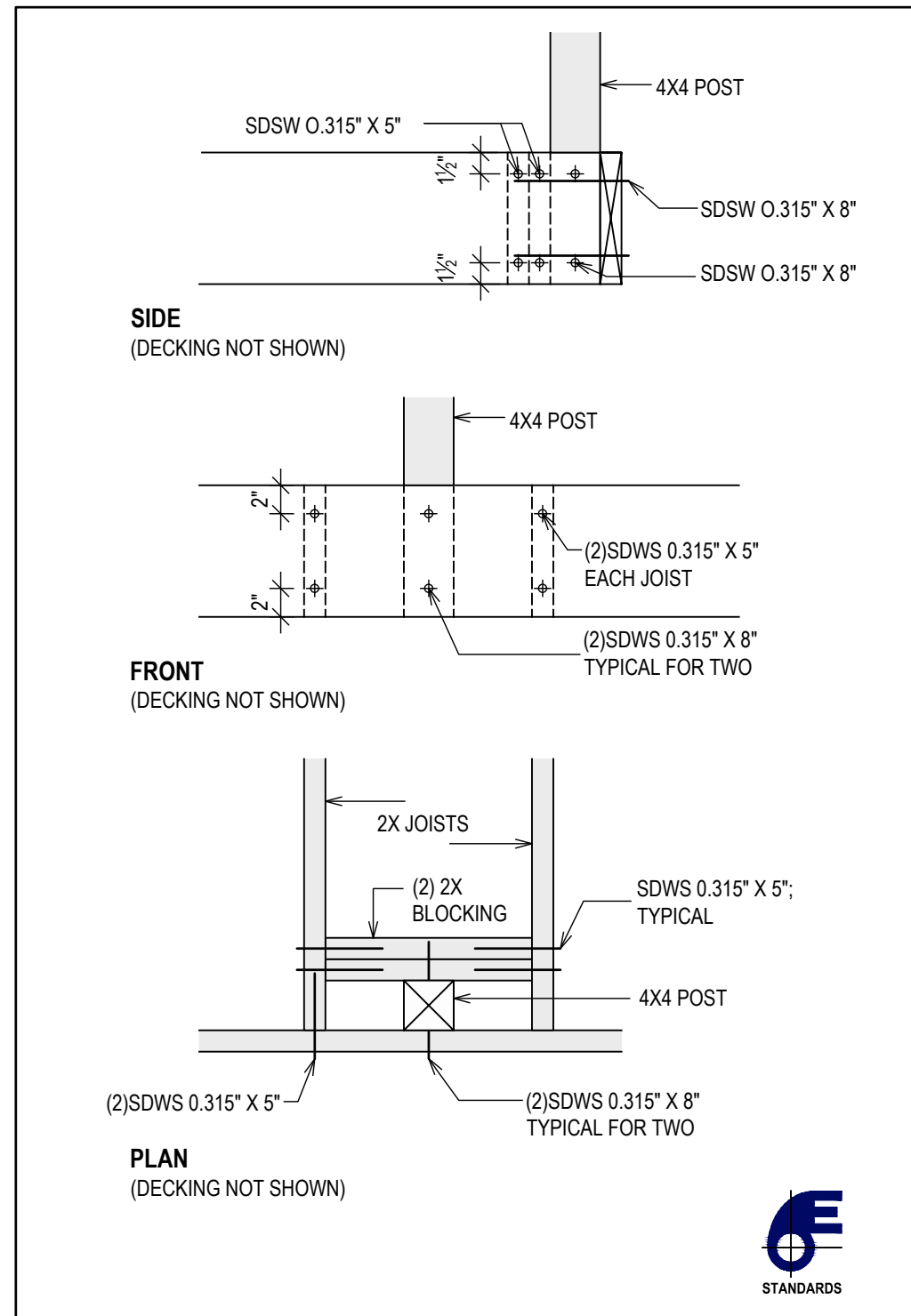
2. LINE POST ATTACHMENT

1" = 1'-0"



3. CORNER POST ATTACHMENT

1" = 1'-0"



4. POST BETWEEN JOISTS

1" = 1'-0"

GUARD RAILS:

HEIGHT:
GUARDS SHALL BE NOT LESS THAN 36" IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE.
HEIGHT EXCEPTIONS:
GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT OF NOT LESS THAN 34" MEASURED VERTICALLY FROM A LINE CONNECTING THE NOSINGS.
WHERE THE TOP OF THE GUARD SERVES AS A HANDRAIL ON THE OPEN SIDES OF STAIRS, THE TOP OF THE GUARD SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38 INCHES AS MEASURED VERTICALLY FROM A LINE CONNECTING THE NOSINGS.
OPENINGS:
GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER.
EXCEPTIONS:
THE TRIANGULAR OPENINGS AT THE OPEN SIDE OF STAIR, FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD, SHALL NOT ALLOW PASSAGE OF A SPHERE 6" IN DIAMETER.
GUARDS ON THE OPEN SIDE OF STAIRS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4 3/8" IN DIAMETER.

HAND RAILS:

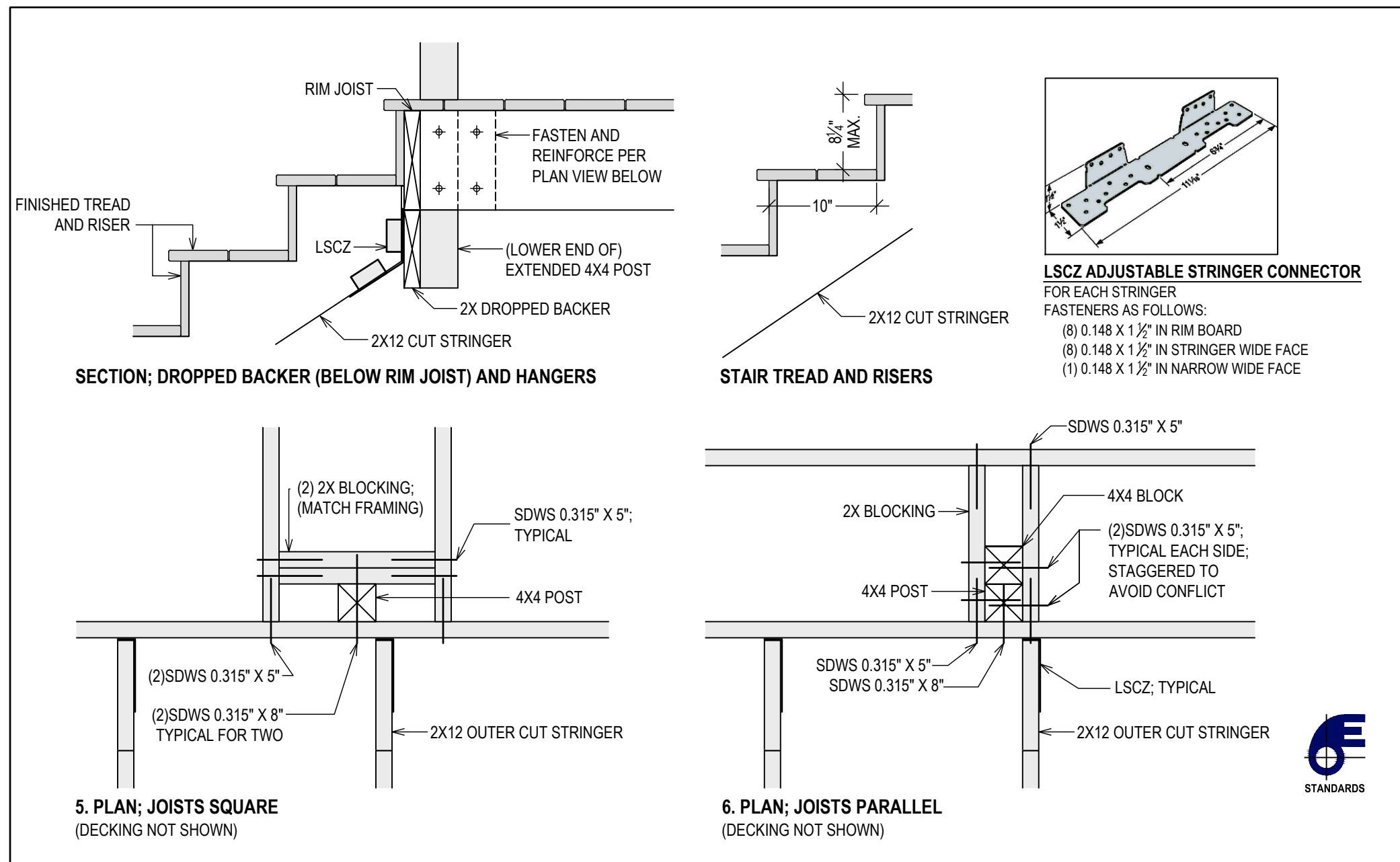
HEIGHT:
HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38".
GRIP SIZE:
REQUIRED HANDRAILS SHALL BE OF ONE OF THE FOLLOWING TYPES (I OR II) OR PROVIDE EQUIVALENT GRASPABILITY.
TYPE I.
HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF NOT LESS THAN 1 1/2" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER OF NOT LESS THAN 4" AND NOT GREATER THAN 6" AND A CROSS SECTION OF NOT MORE THAN 2 1/2". EDGES SHALL HAVE A RADIUS OF NOT LESS THAN 0.01".
TYPE II.
HANDRAILS WITH A PERIMETER GREATER THAN 6 1/2" SHALL HAVE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN 3/4" MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND HAVE A DEPTH OF NOT LESS THAN 3/4" WITHIN 1/2" BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR NOT LESS THAN 3/2" TO A LEVEL THAT IS NOT LESS THAN 1 1/2" BELOW THE TALLEST PORTION OF THE PROFILE. THE WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE NOT LESS THAN 1 1/2" AND NOT MORE THAN 2 1/2". EDGES SHALL HAVE A RADIUS OF NOT LESS THAN 0.01".
CONTINUITY:
HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.
EXCEPTIONS:
HANDRAIL CONTINUITY SHALL BE PERMITTED TO BE INTERRUPTED BY A NEWEL POST AT A TURN IN A FLIGHT WITH WINDERS, AT A LANDING, OR OVER THE LOWEST TREAD.

PLASTIC COMPOSITE MATERIALS:

PLASTIC COMPOSITE EXTERIOR DECK BOARDS, STAIR TREADS, GUARDS AND HANDRAILS SHALL COMPLY WITH THE REQUIREMENTS OF R507.2.2 OF THE RESIDENTIAL CODE AND OF ASTM D7032.
LABELING:
PLASTIC OR COMPOSITE EXTERIOR DECK BOARDS, STAIR TREADS, HANDRAILS AND GUARDS, OR THEIR PACKAGING, SHALL BEAR A LABEL THAT INDICATES COMPLIANCE WITH ASTM D7032 AND INCLUDES THE MAXIMUM ALLOWABLE SPAN DETERMINED IN ACCORDANCE WITH ASTM D7032.
INSTALLATION:
THEY SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
APPROVAL:
NEW POSTS (TRIM) AND RAILINGS TO BE COMPOSITE MATERIAL, COMPLIANT WITH THE ABOVE REQUIREMENTS, AND TO BE APPROVED BY OWNER PRIOR TO INSTALLATION.
RAILS TO BE TIMBERTECH CLASSIC COMPOSITE SERIES OR OTHER APPROVED BY OWNER.

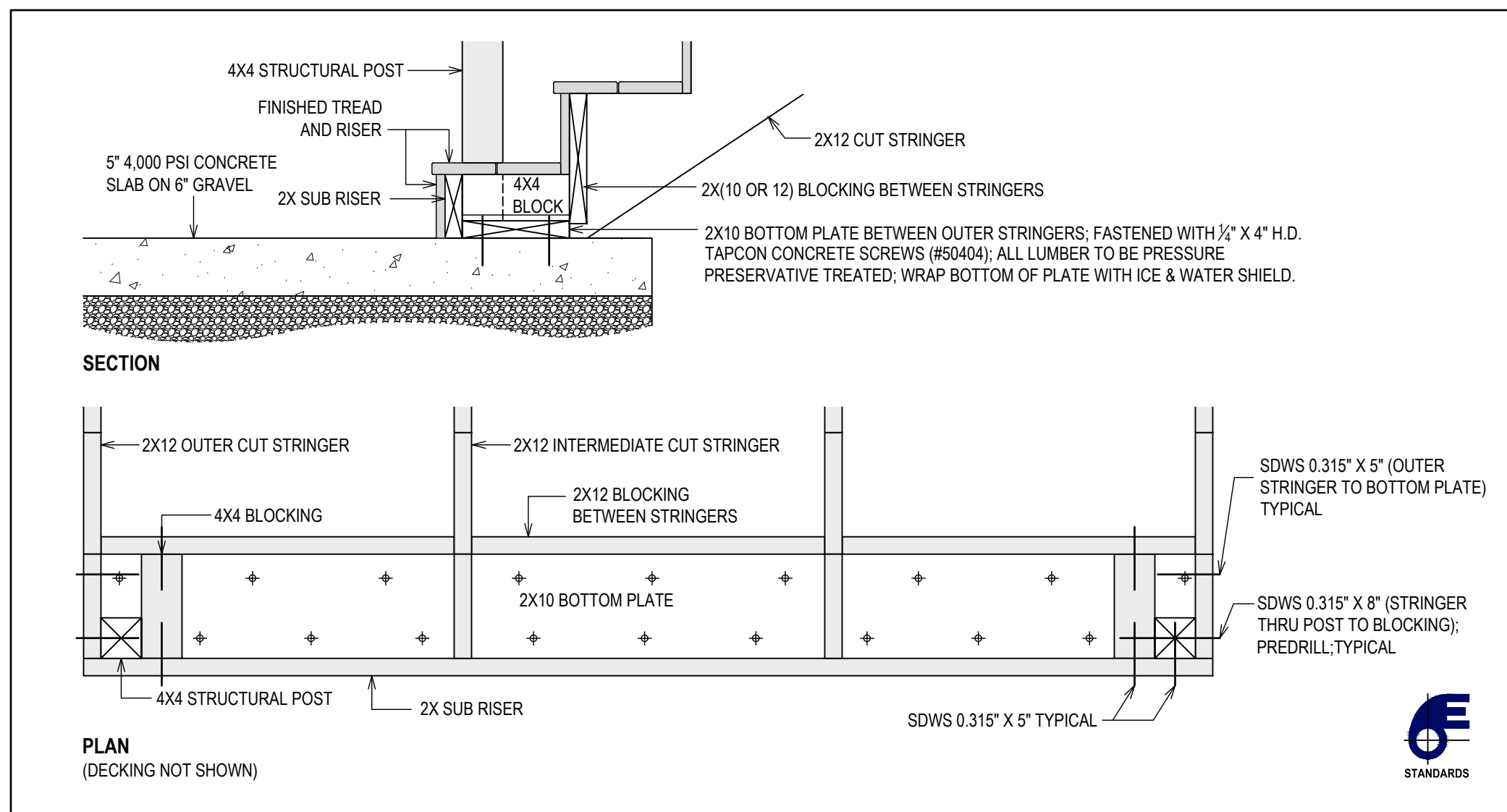
EXTERIOR DECK STRUCTURE

LOADING:
DECKS SHALL BE DESIGNED FOR A LIVE LOAD OR 40 PSF.
FOOTINGS:
FOOTINGS SHALL BEAR ON UNDISTURBED EARTH WITH A MINIMUM BEARING CAPACITY OF 2,500 PSF AND AT A MINIMUM OF 42" BELOW GRADE; OR BEAR ON SOLID ROCK.
CONCRETE AND REBAR SHALL BE PER THE GENERAL NOTES ON SHEET C-01.
WOOD MATERIALS:
UNLESS OTHERWISE NOTED, ALL WOOD MATERIALS (NOTED HEREIN AS PT) SHALL BE NO. 2 GRADE PRESSURE-PRESERVATIVE-TREATED SOUTHERN PINE, HEM-FIR, OR OTHER APPROVED, OR BETTER LUMBER, PRESERVATIVE-TREATED IN ACCORDANCE WITH SECTION R317
BEAMS:
BEAM PILES SHALL BE FASTENED TOGETHER WITH TWO ROWS OF 10D (3" x 0.128") NAILS MINIMUM AT 16" ON CENTER ALONG EACH EDGE OR AS NOTED.
THE ENDS OF BEAMS SHALL HAVE NOT LESS THAN 1 1/2" OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3" OF BEARING ON CONCRETE OR MASONRY FOR THE ENTIRE WIDTH OF THE BEAM. WHERE MULTIPLE-SPAN BEAMS BEAR ON INTERMEDIATE POSTS, EACH PLY SHALL HAVE FULL BEARING ON THE POST.
JOISTS:
SPANS FOR WOOD DECK JOISTS, SHALL BE AS SHOWN IN THESE DRAWINGS; THE MAXIMUM JOIST SPACING MAY ALSO BE LIMITED BY THE DECKING MATERIALS.
EACH JOIST SHALL BE SECURED TO THE BEAM WITH A MINIMUM OF (3) 10D (3" x 0.128") TOE NAILS.
RIM JOISTS SHALL BE SECURED TO THE END OF EACH JOIST WITH NOT FEWER THAN THREE 10D (3" x 0.128") NAILS OR THREE NO. 10 X 3" LONG WOOD SCREWS.
DECKING:
WOOD DECKING SHALL BE ATTACHED TO EACH SUPPORTING MEMBER WITH NOT LESS THAN TWO 8D THREADED NAILS OR TWO NO. 8 WOOD SCREWS.
SPACING FOR JOISTS SUPPORTING PLASTIC COMPOSITE DECKING SHALL BE IN ACCORDANCE WITH SECTION R507.2 AND MANUFACTURER'S INSTRUCTIONS.
HARDWARE:
ALL HARDWARE AND FASTENERS USED IN EXTERIOR DECK CONNECTIONS SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL AND SHALL BE INSTALLED IN ACCORDANCE WITH THESE DRAWINGS AND MANUFACTURERS' INSTRUCTIONS.



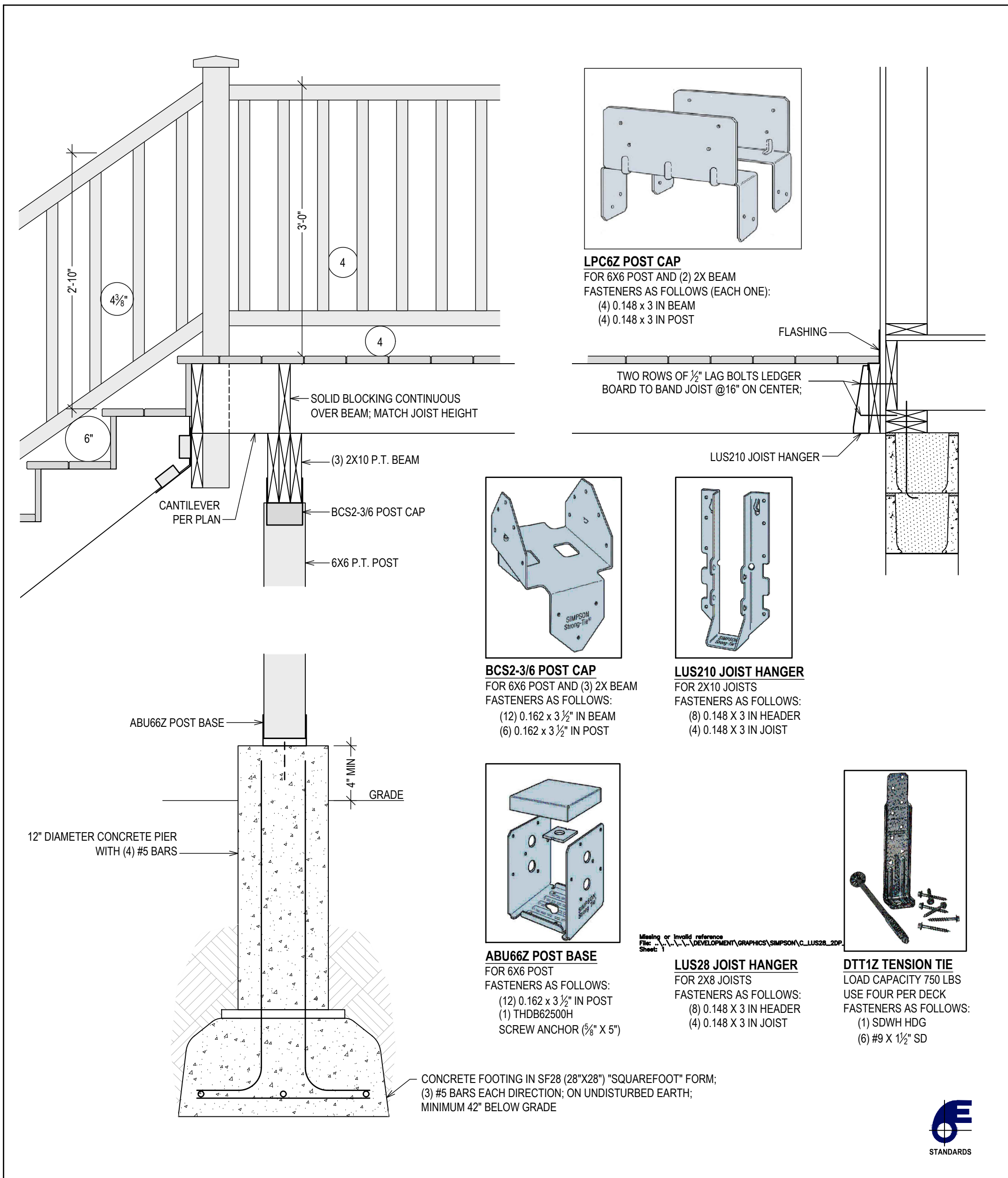
5. & 6. TOP OF STAIR POST & STRINGER ATTACHMENT

1" = 1'-0"



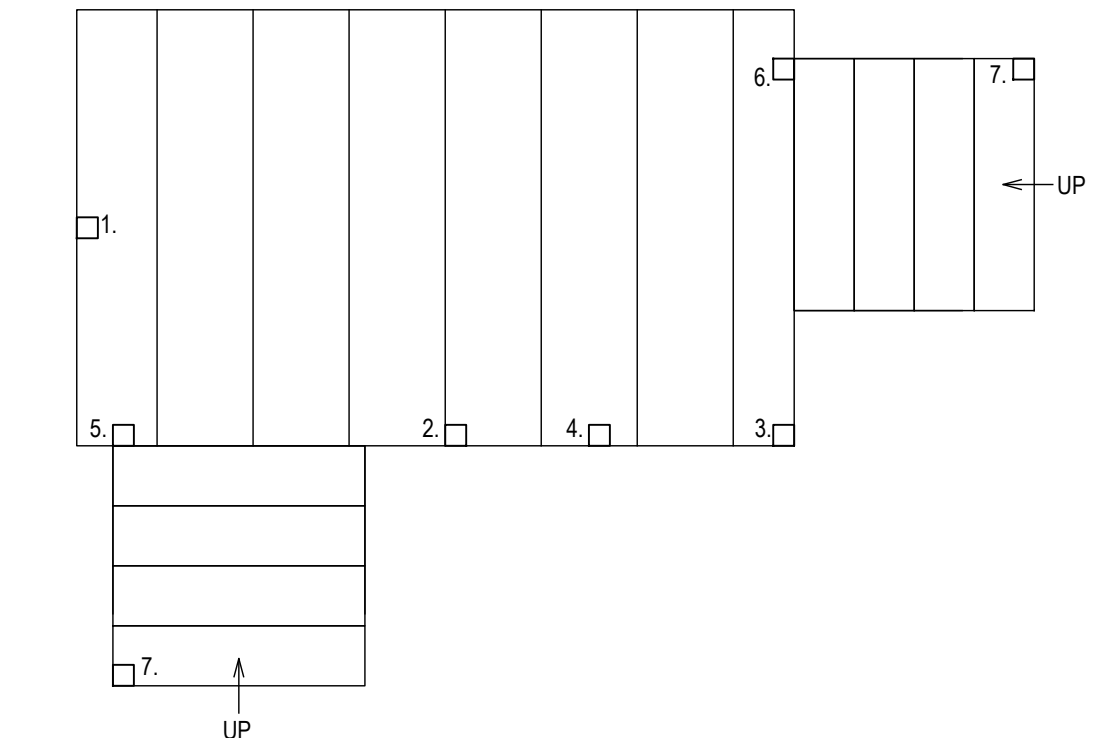
7. BOTTOM STAIR POST ATTACHMENT

1" = 1'-0"



DECK SECTION: FOOTING, GUARD RAIL, STRUCTURE AND CONNECTIONS

1" = 1'-0"



TYPICAL POST LOCATION CONNECTION DETAILS
(SEE DETAILS 1. THRU 7.)

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PROJECT NAME:
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DRAWING NAME:
DETAILS

DRAWING NUMBER:
S-03

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