

LOCATION
GOOGLE MAPS



TAX LOT
ROCKLAND COUNTY G.I.S.

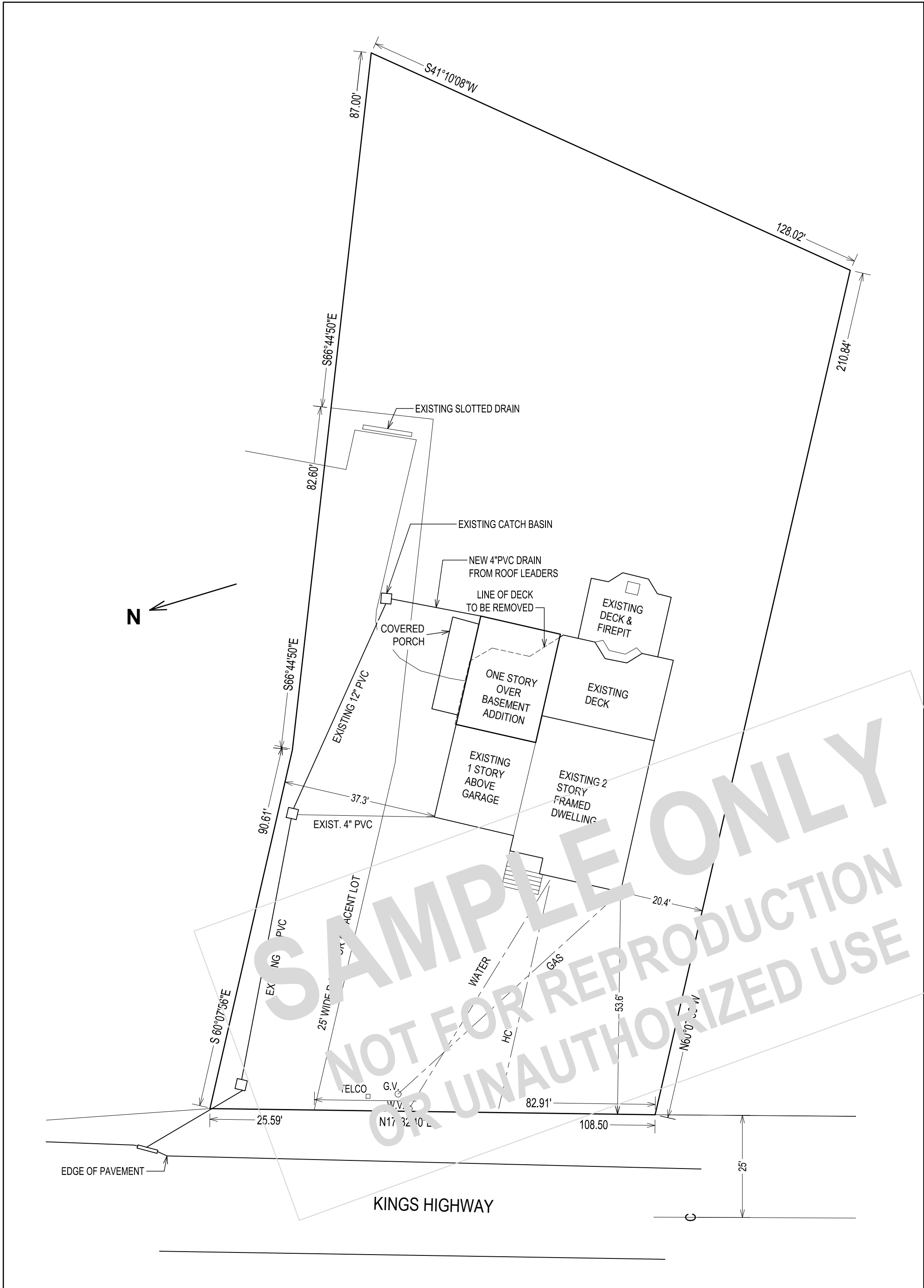


FRONT VIEW
GOOGLE STREET VIEW



REAR VIEW
03.30.2022

THIS DRAWING IS AS A SAMPLE ONLY
*** PERSONAL (CLIENT) INFORMATION WITHHELD



SITE PLAN
1" = 20'-0"

SITE PLAN DETAILS FROM ANTHONY R. CELENTANO "SURVEY & TOPOGRAPHY FOR PAGAN" SEP. 20, 2022

GISMONDI ARCHITECTS

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PROPERTY ADDRESS:

COTTAGE, NY 10989
(CLARKSTOWN D.O.B.)

S-B-L:

CLIENT:

DATE:	ISSUE:
04.03.2022	FOR REVIEW
03.19.2024	AS-BUILT
04.10.2024	FOR REVIEW

PROJECT NAME:
ADDITION

DRAWING NAME:
COVER SHEET

DRAWING NUMBER:
C.01

SCALE:	DATE:
AS NOTED	10.12.2022

NOTE:
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TYPICAL MUD SILL:
DOUBLE 2X6 PRESSURE TREATED MUD SILL
LAP JOINTS MIN. 3'-0"
½" GALVANIZED ANCHOR BOLTS W/NUTS & WASHERS:
MAX. 3'-0" CENTERS
MAX. 1'-0" FROM EACH END
MIN. TWO PER PIECE
MINIMUM EMBEDMENT LENGTH 12"

TYPICAL WATERPROOFING: —
TUFF-N-DRI SYSTEM* OR EQUAL PER
MANUFACTURERS INSTRUCTIONS
FOUNDATION WATERPROOFING;
FROM GRADE TO HIGHER OF TOP OF FOOTING
BELOW THE TOP OF THE BASEMENT FLOOR

TYPICAL FOOTING DRAIN:

4" PERFORATED PVC PIPE;
WITH FILTER FABRIC;
DISCHARGE TO SITE DRAINAGE SYSTEM —
1" WASHED GRAVEL & FILTER MEMBRANE —



FOUNDATION WALL:
10" REINFORCED CONCRETE FOUNDATION WALL AS FOLLOWS:
10" WIDE, 3,000 PSI CONCRETE; SEE CONCRETE GENERAL NOTES
REINFORCEMENT EACH FACE:
 #5 BARS VERTICAL @ 3'-0" ON CENTER
 #5 BARS HORIZONTAL @ 3'-0" O.C.
 INC. ONE BAR WITHIN 1'-0" OF TOP OF WALL.
SEE GENERAL NOTES FOR STEEL GRADE, COVER, LAPS AND INSTALLATION
ALL STEEL TO BE IN ACCORDANCE WITH ACI 318;
TYPICAL FOR ALL FOUNDATION WALLS.

— **BASEMENT FLOOR SLAB:**
4" CONCRETE SLAB W/6X6 10/10 WWM
AND VAPOR BARRIER ON 6" GRAVEL

TYPICAL FOOTING:
— 24"x12" STRIP FOOTING; THREE #5 BARS LONGITUDINAL;
TRANSVERSE BARS @ 4'-0";
ON UNDISTURBED SOIL WITH MINIMUM BEARING CAPACITY OF 2,000 PSF;
PROVIDE 2X4 KEY; TYPICAL FOR ALL STRIP FOOTINGS.

TYPICAL FOUNDATION SECTION - FLOOR BELOW GRADE
 $\frac{1}{2}" = 1'-0"$

SEE SHEET S-04.



[NY] N1102.1.2 (R402.1.2) Climate Zone Criteria

The building thermal envelope shall meet the requirements of Table N1102.1.2 based on the climate zone specified in Section N1101.7. In Climate Zone 6, the building thermal envelope shall meet either the requirements of the Climate Zone 6 option 1st row in Table N1102.1.2 or the requirements of the Climate Zone 6 option 2nd row in Table N1102.1.2.

[NY] TABLE N1102.1.2 (R402.1.2)

INSULATION AND FENESTRATION REQUIREMENTS BY CLIMATE ZONE

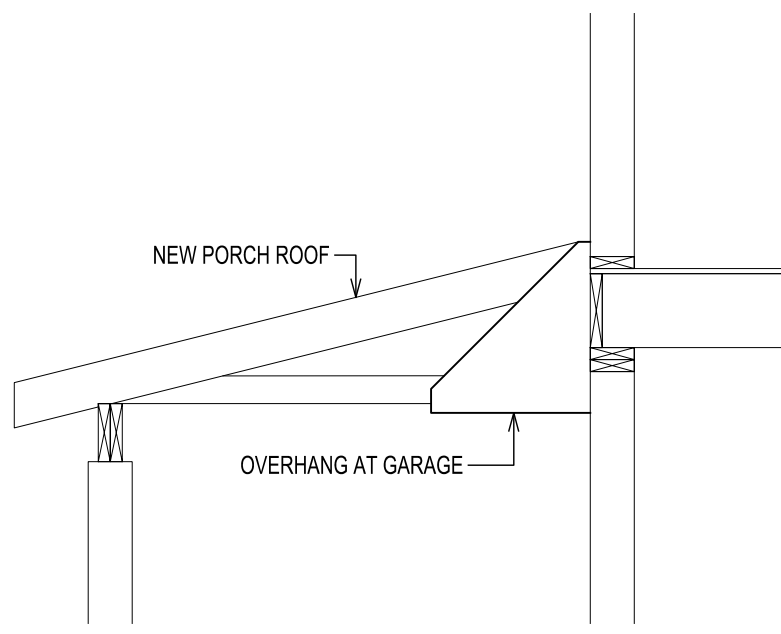
CLIMATE ZONE	FENESTRATION U-FACTOR ^a	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^c	CEILING ROOFING R-VALUE	WALL R-VALUE ^d	FLOOR R-VALUE	BASEMENTS WALL R-VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^e WALL R-VALUE
4	0.32	0.55	0.40	49	20 or 13 + 5 ^f	8/13	19	10/13	10, 2 ft 10/13

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SECTION A
1/2" = 1'-0"

FLOOR:
MATCH NEW FLOOR HEIGHT TO EXISTING FIRST FLOOR.
3/4" T&G AVANTECH OSB SUBFLOOR GLUED AND NAILED.
2X10 @ 16" ON CENTER.
DOUBLE 2X8 PRESSURE TREATED SILL PLATE.

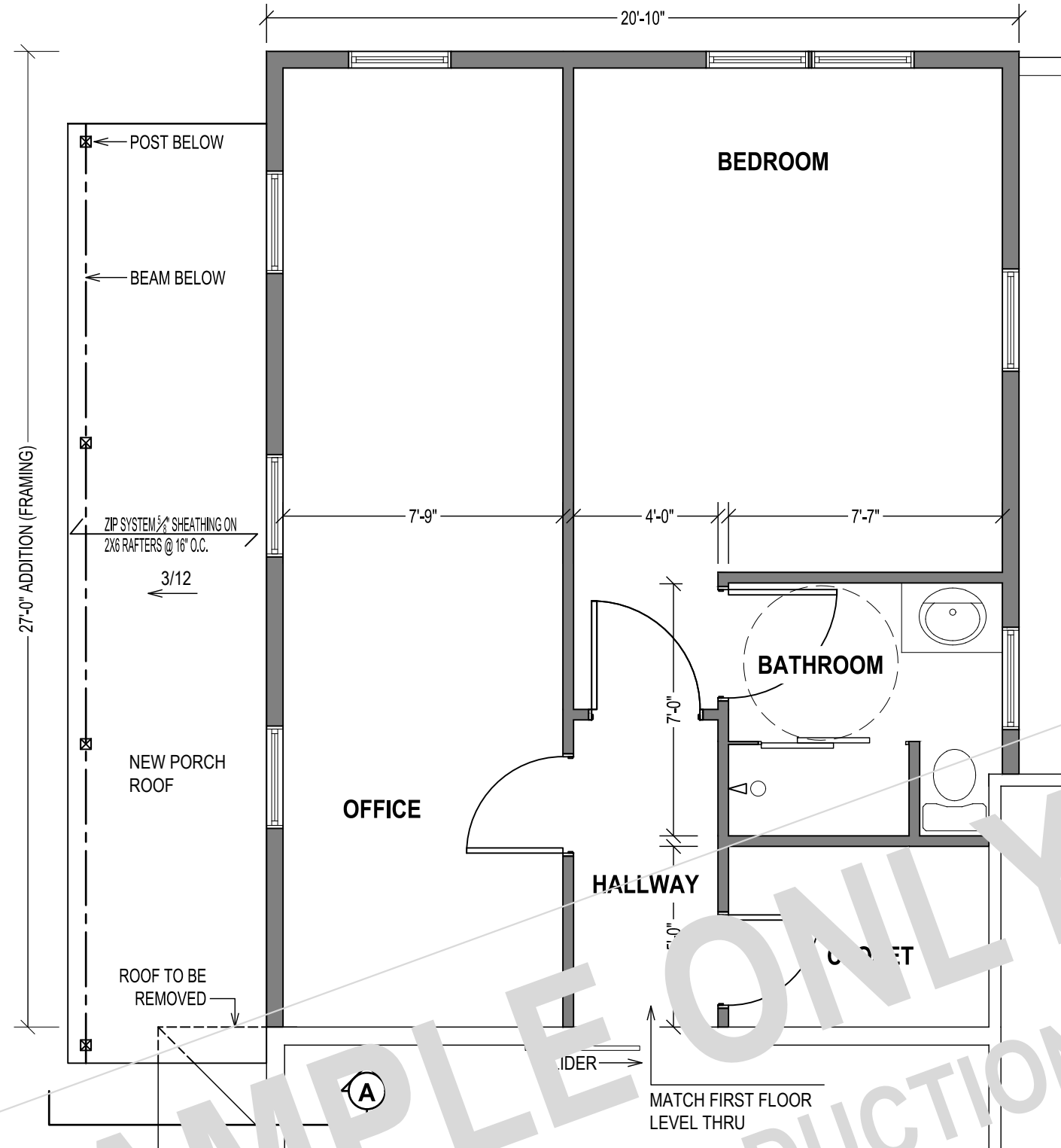
WALLS:
FINISHED CEILING HEIGHT 10'-0".
2X6 EXTERIOR WALLS, 1/2" SHEATHING.
2X4 FRAMED INTERIOR WALLS.
1/2" DRYWALL, THREE COAT TAPE AND SPACKLE.

EXTERIOR:
SIDING TO MATCH EXISTING.
EXTERIOR TRIM TO MATCH EXISTING.

INTERIOR FINISH:
2 1/2" STRIP HARDWOOD FLOORING TO MATCH EXISTING
DOORS AND TRIM TO MATCH EXISTING.

THERMAL ENVELOPE:
PROVIDE FENESTRATION, INSULATION AND
VAPOR BARRIER PER NEW YORK STATE
ENERGY CODE.
THIS NOTE APPLIES TO ALL SHEETS.

FRAMING DETAILS:
SEE SHEET S-04.



FIRST FLOOR
1/2" = 1'-0"

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FIRST FLOOR

DRAWING NUMBER:
S.02

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CEILING:

2X8 RAFTER TIES @ 16" ON CENTER; PROVIDE BLOCKING AT 7'-0" ON CENTER MINIMUM. PROVIDE ACCESS PANEL TO ATTIC. 2X6 COLLAR TIES AT MINIMUM EVERY OTHER RAFTER AND AT MINIMUM $\frac{2}{3}$ ROOF HEIGHT.

ROOF:

ROOF COVERING PER R905; FIBERGLASS SHINGLES, MINIMUM 30-YEAR; MATCH EXISTING. $\frac{1}{2}$ " PLYWOOD SHEATHING. 2X8 RAFTERS @ 16" ON CENTER, 2X10 RIDGE BEAM, 2X8 RAFTER TIES AT MAXIMUM $\frac{1}{3}$ ROOF HEIGHT.

MATCH PITCH OF EXISTING ROOF. SOFFITS OT MATCH EXISTING.

DRAINAGE:

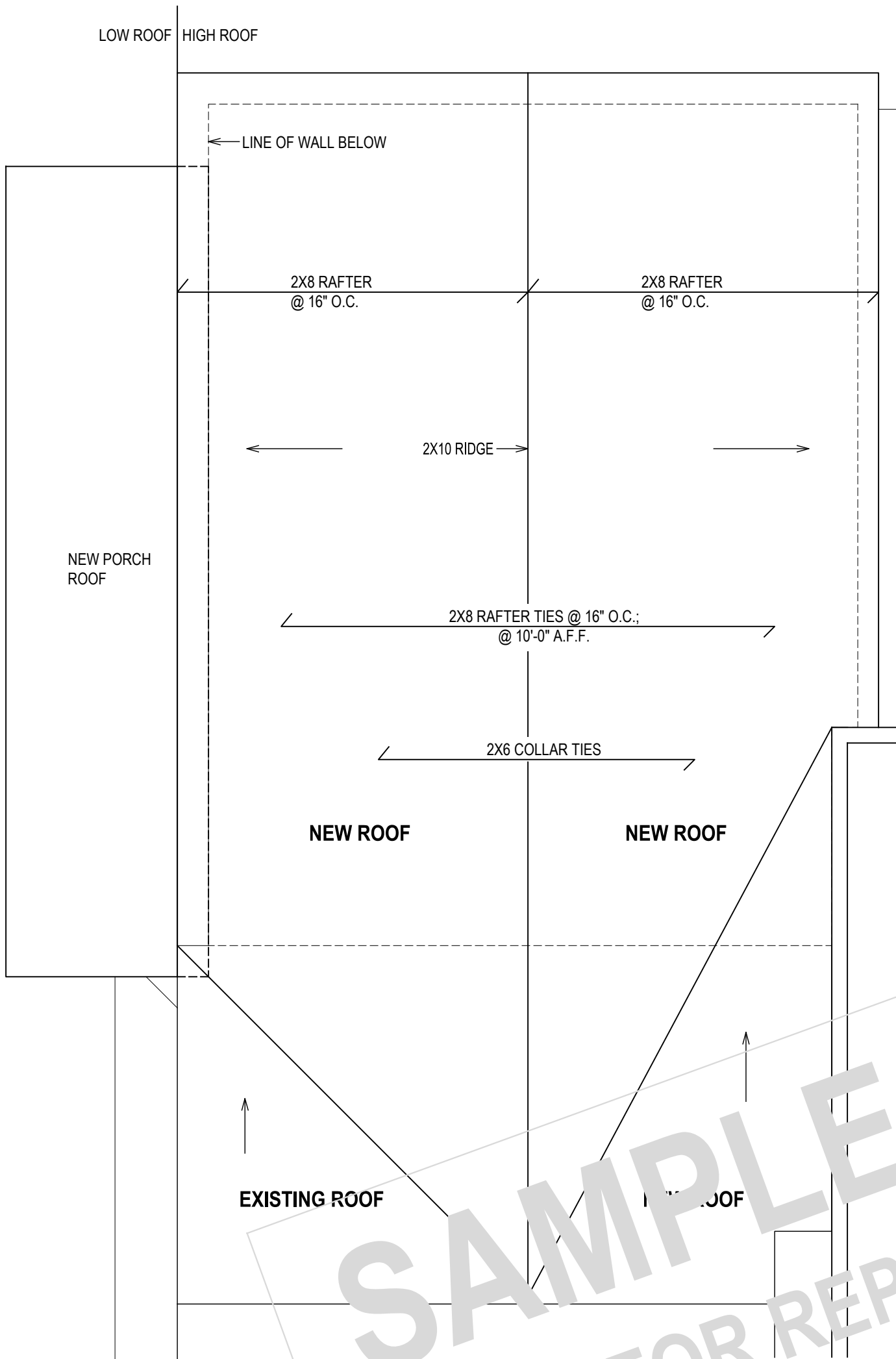
PROVIDE GUTTERS AND LEADERS. DRYWELL OR AS REQUIRED.

THERMAL ENVELOPE:

PROVIDE FENESTRATION, INSULATION AND VAPOR BARRIER PER NEW YORK STATE ENERGY CODE. THIS NOTE APPLIES TO ALL SHEETS.

FRAMING DETAILS:

SEE SHEET S.04.



ROOF PLAN

$\frac{1}{4}" = 1'-0"$

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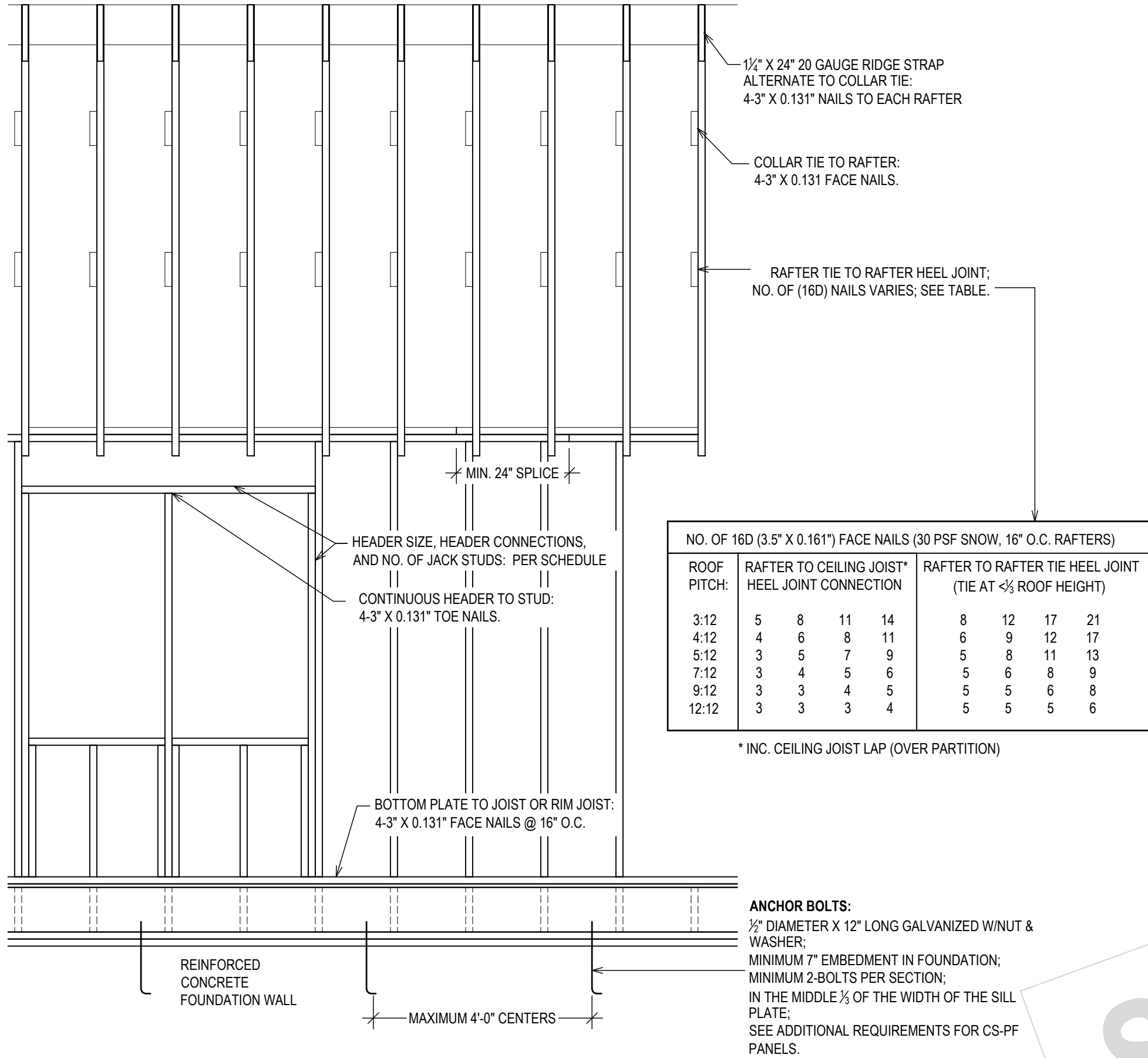
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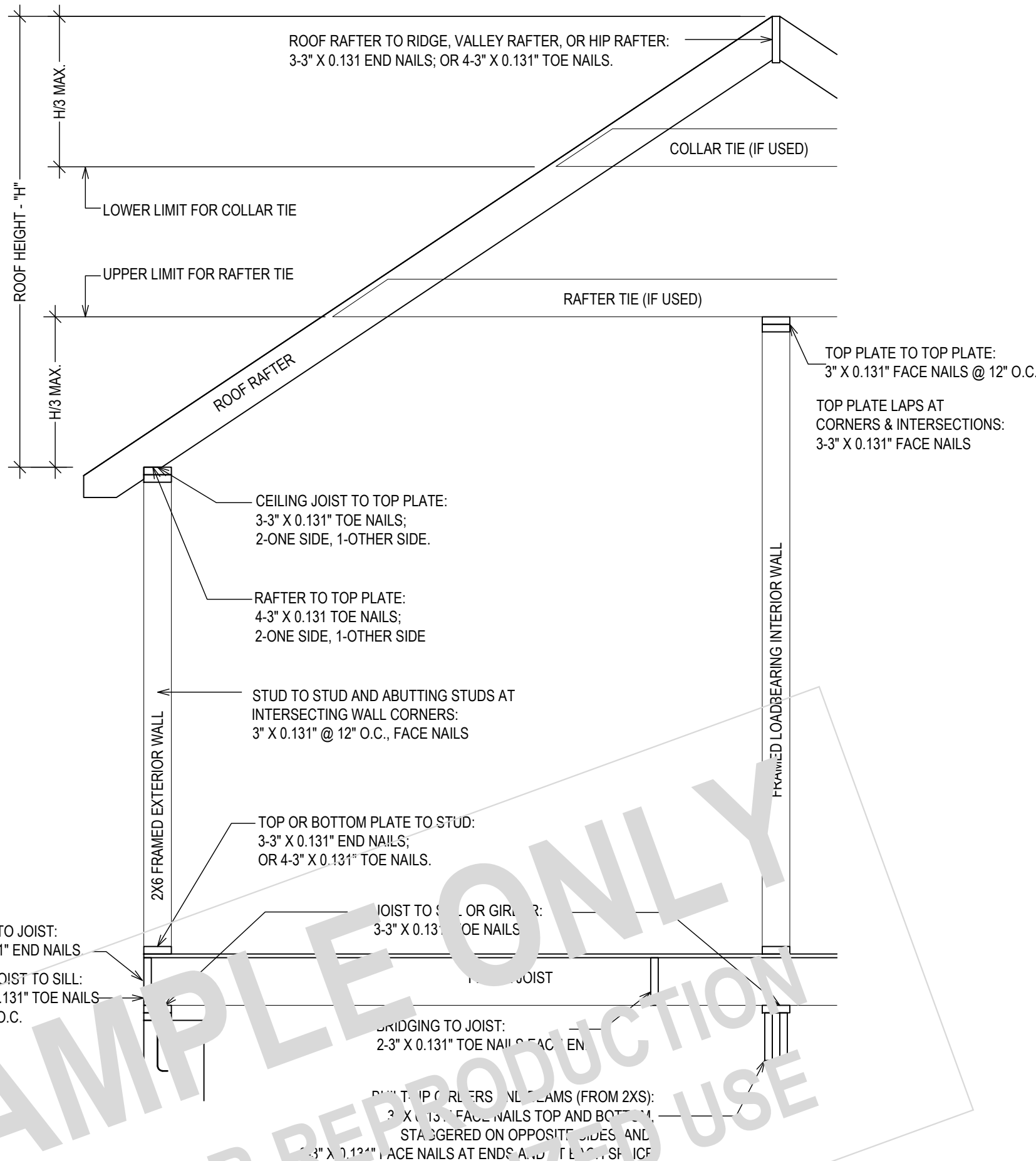
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TYPICAL FRAMING DETAILS & FASTENERS

1/2" = 1'-0"



FRAMING NAILS:

EQUIVALENT ALTERNATIVE FASTENERS (FRAMING NAILS)
MAY BE USED PER SCHEDULE R602.3(1)

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