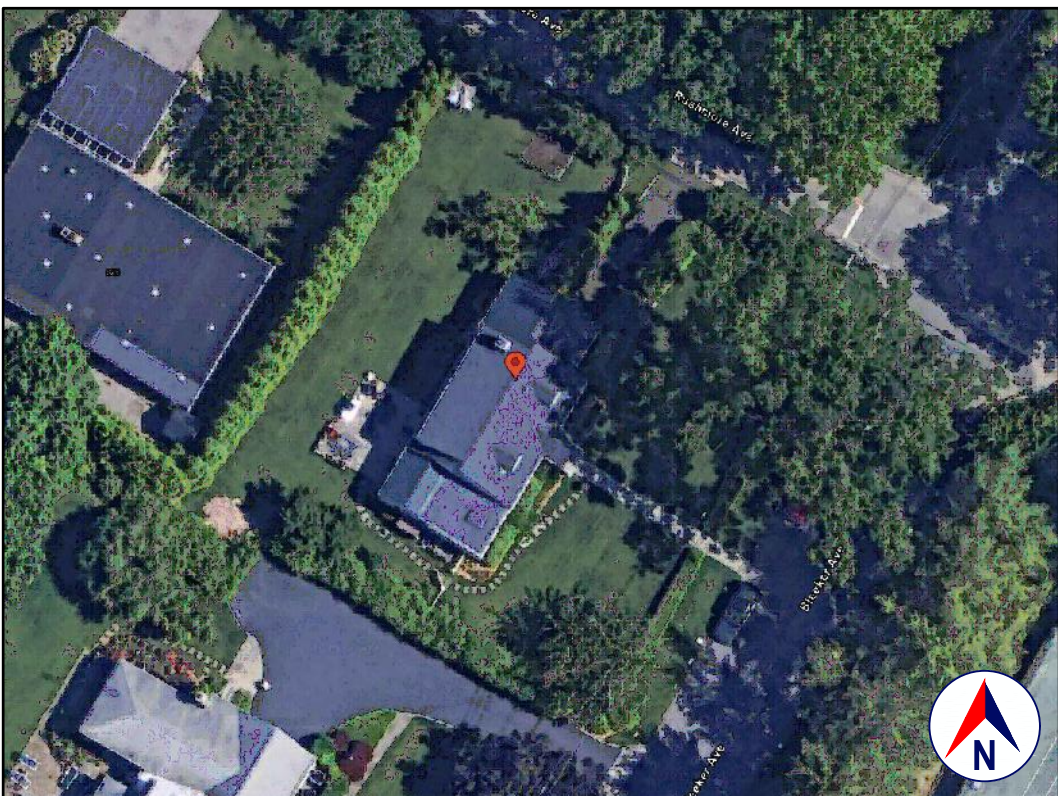


LOCATION
GOOGLE MAPS



SATELLITE VIEW
GOOGLE EARTH



TAX MAP AND TOPO
WESTCHESTER COUNTY GIS



EXISTING CONDITION
GOOGLE STREET VIEW

THIS DRAWING IS AS A SAMPLE ONLY
*** PERSONAL (CLIENT) INFORMATION WITHHELD

1.0 GENERAL REQUIREMENTS:

1.1 PROJECT SCOPE:
SHORTEN, REALIGN AND RAISE DRIVEWAY TO EXISTING GRADE, NEW PATIO AND WALKWAY.

1.2 DESIGN INTENT:
THE INVOLVEMENT OF OLIVER ENGINEERING IN THIS PROJECT IS: PROVIDE DESIGN AND DRAWINGS.

THESE (STRUCTURAL) DRAWINGS ADDRESS ONLY THE STRUCTURAL INTEGRITY, BASED ON THE STIPULATED LOADS, OF THE PROPOSED CONSTRUCTION. THESE DRAWINGS SHOULD ONLY BE USED IN CONJUNCTION WITH THE ARCHITECTURAL AND OTHER DRAWINGS. IT IS THE OVERALL INTENT OF (ALL OR) THE DRAWINGS TO CALL FOR COMPLETE AND FINISHED WORK, IN COMPLIANCE WITH THE NOTED CODES, AND TESTED AND GUARANTEED AND READY FOR OPERATION. THESE (STRUCTURAL) DRAWINGS ARE NOT INTENDED TO ADDRESS: BUILDING PLANNING; DIMENSIONAL COORDINATION; THERMAL OR MOISTURE PROTECTION; EGRESS; FIRE PROTECTION; MECHANICAL, HEAT, LIGHT AND VENTILATION; GENERAL BUILDING; OR ANY OTHER OTHER NON-STRUCTURAL ISSUES. REFER TO THE PATRICK D. MALLOY, IAI, LEED AP BD+C DRAWINGS FOR ALL SUCH ISSUES. THE ENGINEER HAS NOT BEEN ENGAGED TO SUPERVISE ANY WORK AND DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

1.3 EXISTING CONSTRUCTION TYPE:
THE EXISTING BUILDING, PER THE BUILDING CODE OF NEW YORK STATE, TABLE 601 IS CONSTRUCTION TYPE VB - CONSTRUCTION WHERE THE PRIMARY ELEMENTS ARE NOT REQUIRED TO BE FIRE RATED.

1.4 CLASSIFICATION OF PROPOSED WORK:
ALL PROPOSED WORK IS OUTSIDE THE EXISTING BUILDING ENVELOPE.

THE PROPOSED WORK IS OUTSIDE OF THE EXISTING BUILDING ENVELOPE, THE CODES REFERENCED BELOW APPLY TO ALL PROPOSED WORK.

1.5 ZONING, OCCUPANCY AND USE:
YEAR BUILT: 1954 (PER ZILLOW)
ZONING: R-15 ONE-FAMILY RESIDENCE
OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-3 *
EXISTING USE: SINGLE FAMILY
PROPOSED USE: SINGLE FAMILY (NO CHANGE)
ARCHITECTURAL REVIEW: REFER TO ARCHITECTURAL DRAWINGS

* WHERE THE OCCUPANTS ARE PRIMARILY PERMANENT IN NATURE AND NOT CLASSIFIED AS OCCUPANCY GROUP R-1, R-2, R-4 OR I, INCLUDING BUILDINGS THAT DO NOT CONTAIN MORE THAN TWO DWELLING UNITS.

1.6 COMPLIANCE:
ALL WORK SHALL BE IN COMPLIANCE WITH THE FOLLOWINGS CODES:
• GENERAL: 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS)
• EXISTING: EXISTING BUILDING CODE OF NEW YORK STATE (INTERNATIONAL EXISTING BUILDING CODE 2018 WITH AMENDMENTS)
• ENERGY: NOT APPLICABLE TO THESE DRAWINGS.
• PLUMBING: NOT APPLICABLE TO THESE DRAWINGS.
• ELECTRICAL: NOT APPLICABLE TO THESE DRAWINGS.
• DRAINAGE: NOT APPLICABLE TO THESE DRAWINGS.
• MAINTENANCE: NOT APPLICABLE TO THESE DRAWINGS
• MUNICIPAL CHAPTER 106, FIRE PREVENTION AND BUILDING CONSTRUCTION OF THE CODE OF THE VILLAGE OF MAMARONECK.
• OTHER ALL REFERENCED CODES, OTHER CODES AND REGULATIONS, FEDERAL, STATE AND LOCAL, THAT MAY APPLY.

1.7 AUTHORITY HAVING JURISDICTION:
THE AUTHORITY HAVING JURISDICTION, AS DEFINED IN SECTION 103.1 OF THE RESIDENTIAL CODE, AND WHICH SHALL PROVIDE FOR ADMINISTRATION AND ENFORCEMENT OF THE UNIFORM CODE AND ENERGY CODE BY LOCAL LAW, ORDINANCE, OTHER APPROPRIATE REGULATION, OR COMBINATION THEREOF, IS THE VILLAGE OF MAMARONECK. THE DULY APPOINTED BUILDING OFFICIAL OF THE VILLAGE OF MAMARONECK IS AUTHORIZED TO ENFORCE THE PROVISIONS OF THE CODE. THE BUILDING OFFICIAL MAY ADOPT POLICIES AND PROCEDURES IN ORDER TO CLARIFY THE APPLICATION OF THE PROVISIONS OF THE CODE. SUCH POLICIES AND PROCEDURES SHALL BE IN COMPLIANCE WITH THE INTENT AND PURPOSE OF THE CODE.

2.0 DESIGN CRITERIA:

2.1 DEAD LOAD:
PER 301.1, THE ACTUAL WEIGHTS OF MATERIALS AND CONSTRUCTION SHALL BE USED FOR DETERMINING DEAD LOAD; THE FOLLOWING APPROXIMATIONS (IN PSF) ARE USED FOR THIS PROJECT: USE:
FRAMED WALL ASSEMBLY: 15
ROOF /CEILING ASSEMBLY: 20
FLOOR ASSEMBLY: 15
ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.2 LIVE LOAD:
UNIFORMLY DISTRIBUTED LIVE LOADS SHALL BE PER TABLE R301.5 AND AS FOLLOWS* (IN PSF):
USE PSF OTHER
UNINHABITABLE SPACE WITHOUT STORAGE: 10 (-42"H, 24"W)
UNINHABITABLE ATTICS W/LIMITED STORAGE: 20
HABITABLE ATTICS & ATTICS W/FIXED STAIRS: 30
EXTERIOR BALCONIES & DECKS: 40
FIRE ESCAPES: 40
GUARDS & HANDRAILS: 200 (CONCENTRATED)
GUARD IN-FILL COMPONENTS: 50 (HORIZONTAL)
PASSENGER VEHICLE GARAGE: 50 (82,000LB/20SI)
ROOMS OTHER THAN SLEEPING ROOMS: 40
SLEEPING ROOMS: 40 (& 300LB/4SI)
STAIRS: 40
ROOF, PER 301.6 (INC. SNOW): 30
*SOME OF THE LOADS LISTED ABOVE MAY BE HIGHER THAN THOSE REQUIRED PER CODE.
ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.3 WIND LOAD:
WIND LOADS SHALL BE BASED ON THE ULTIMATE DESIGN WIND SPEED LISTED IN TABLE 301.2(1) AND ADJUSTED FOR HEIGHT AND EXPOSURE);
120 MPH, WIND LOADS WILL BE ALLOWED FOR IN: THE DESIGN LOAD PERFORMANCE REQUIREMENTS FOR WALL COVERINGS, ROOF COVERINGS, WINDOWS, SKYLIGHTS AND DOORS.
COMPONENT AND CLADDING LOADS WILL BE PER TABLE R301.2(2)

2.4 ALLOWABLE LIVE LOAD DEFLECTION:
THE ALLOWABLE LIVE LOAD DEFLECTION OF ALL STRUCTURAL MEMBERS, SHALL BE PER TABLE R301.7 AND AS FOLLOWS:
STRUCTURAL MEMBER ALLOWABLE DEFLECTION
RAFTERS HAVING SLOPES GRATER THAN 3:12 WHIT FINISHED L/180
CEILING NOT ATTACHED TO RAFTERS H/180
INTERIOR WALLS AND PARTITIONS L/360
FLOORS L/360
CEILING WITH BRITTLE FINISHES (INCLUDING PLASTER AND STUCCO) L/240
CEILING WITH FLEXIBLE FINISHES (INCLUDING GYPSUM BOARD) L/360
ALL OTHER STRUCTURAL MEMBERS L/240
EXTERIOR WALLS-WIND LOAD WITH PLASTER OR STUCCO FINISHES L/360
EXTERIOR WALLS-WIND LOAD WITH OTHER BRITTLE FINISHES H/240
EXTERIOR WALLS-WIND LOADS WITH FLEXIBLE FINISHES H/120
LINTELS SUPPORTING MASONRY VENEER WALLS L/600

2.5 CLIMATIC AND GEOGRAPHIC CRITERIA:
CLIMATIC AND DESIGN CRITERIA FOR THE VILLAGE OF MAMARONECK ARE PER TABLE R301.2(1) BELOW:

PER 2020 RESIDENTIAL CODE OF NEW YORK STATE, TABLE 301.2(1)									
(WIND) EXPOSURE CATEGORY: B					CLIMATE ZONE: 4A				
GROUND SNOW LOAD	WIND DESIGN				SUBJECT TO DAMAGE FROM				
	WIND SPEED MPH	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WINDBORNE DEBRIS ZONE	WEATHERING	FROST LINE DEPTH	TERMITES	WINTER DESIGN TEMP	ICE BARRIER UNDERLMT REQUIRED
30 PSF	115-120	NO	NO	NO	C	SEVERE	3'-6"	MOD/SEVERE	15
									YES
									MINIMAL
									615
									52.5°

3.0 CONTRACTOR'S RESPONSIBILITIES:

THE CONTRACTOR SHALL:
• PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR A COMPLETE AND FINISHED JOB.
• PROVIDE ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.
• OBTAIN AND PAY FOR ALL REQUIRED PERMITS - UNLESS OTHERWISE STIPULATED.
• PRIOR TO THE SUBMISSION OF ANY BID, AND BEFORE PROCEEDING WITH ANY WORK, VISIT THE SITE AND VERIFY AND FAMILIARIZE HIMSELF WITH ALL SITE DIMENSIONS AND CONDITIONS, WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION, METHODS AND ROUTES OF ACCESS, AND THE EXISTENCE AND EXTENT OF ANY OTHER RESTRICTIONS, AND BE RESPONSIBLE FOR THE VERIFICATION OF ALL SUCH CONDITIONS AND DIMENSIONS WHICH PERTAIN TO THE PROJECT.
• BRING ALL DISCREPANCIES IN CONDITIONS AND DIMENSIONS, BETWEEN THE APPROVED DRAWINGS AND ACTUAL FIELD CONDITIONS, TO THE IMMEDIATE ATTENTION OF THE OWNER, AND RECEIVE DIRECTION IN WRITING, BEFORE PROCEEDING WITH THE AFFECTED WORK.
• VERIFY THE AVAILABILITY, LOCATION LAYOUT AND CONDITION OF UTILITIES, INCLUDING SEWER, WATER, GAS AND ELECTRIC LINES, PRIOR TO THE SUBMISSION OF ANY BID.
• HAVE CONTROL OVER AND SUPERVISE AND DIRECT THE WORK, INCLUDING THAT OF ITS SUBCONTRACTORS, AND BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR JOBSITE SAFETY, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
• PRIOR TO THE COMMENCEMENT OF ANY WORK, VERIFY THE CONDITION OF ALL ADJOINING STRUCTURES WHICH MAY BE AFFECTED, AND PROVIDE ADEQUATE PROTECTION TO ANY STRUCTURE THAT MIGHT BE OTHERWISE AFFECTED.
• IN THE EVENT THAT DAMAGE IS CAUSED TO ANY STRUCTURE, FINISH, OR OTHER ELEMENT, RESTORE SUCH ELEMENTS TO THEIR ORIGINAL CONDITION.
• IF APPLICABLE, PROVIDE WEATHER PROTECTION, IN AN EFFECTIVE AND TIMELY MANNER, TO PROTECT THE PREMISES, PERSONNEL, MATERIALS AND INSTALLED WORK.
• BE A HOME IMPROVEMENT CONTRACTOR WITH A CURRENT LICENSE ISSUED BY THE WESTCHESTER COUNTY DEPARTMENT OF CONSUMER AFFAIRS.
• BE CERTIFIED AS A LEAD SAFE FIRM BY THE EPA PER 40 CFR 745.226.
• CARRY LIABILITY INSURANCE TO THE LIMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION AND ISSUE CERTIFICATE(S) OF INSURANCE AS REQUIRED BY THE HOMEOWNER AND/OR THAT AUTHORITY.
• CARRY WORKMAN'S COMPENSATION AND DISABILITY INSURANCE AS REQUIRED THE LAW AND ISSUE CERTIFICATE(S) AS REQUIRED BY THE HOMEOWNER AND/OR THE AUTHORITY HAVING JURISDICTION.

4.0 BUILDING PERMIT:

NO PERSON OR ENTITY SHALL COMMENCE, PERFORM, OR CONTINUE ANY WORK THAT MUST CONFORM WITH THE UNIFORM CODE AND/OR ENERGY CODE UNLESS:
1. SUCH PERSON OR ENTITY HAS APPLIED TO THE VILLAGE OF MAMARONECK FOR A BUILDING PERMIT.
2. THE VILLAGE OF MAMARONECK HAS ISSUED A BUILDING PERMIT AUTHORIZING SUCH WORK.
3. SUCH BUILDING PERMIT HAS NOT BEEN REVOKED OR SUSPENDED, AND
4. SUCH BUILDING PERMIT HAS NOT EXPIRED.
THE BUILDING PERMIT IS REQUIRED TO BE VISIBLY DISPLAYED AT THE WORKSITE AND TO REMAIN UNTIL THE PROJECT, AND ALL REQUIRED INSPECTIONS, HAVE BEEN COMPLETED.
THE APPROVED DRAWINGS MUST BE KEPT AT THE WORKSITE AND BE AVAILABLE FOR REVIEW AT THE TIME OF ANY REQUIRED INSPECTIONS.

5.0 CONSTRUCTION INSPECTIONS:

IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING PERMIT, OR THEIR DULY AUTHORIZED AGENT, TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION:

BUILDING DEPARTMENT OF THE VILLAGE OF MAMARONECK.
169 MT. PLEASANT AVENUE
MAMARONECK, NY 10543
TEL: (914) 777-7731
EMAIL: buildingdepartment@vomny.org
WEB SITE: www.village.mamaroneck.ny.us/building-department

ANY PERSON OR ENTITY PERFORMING WORK FOR WHICH A BUILDING PERMIT HAS BEEN ISSUED SHALL KEEP SUCH WORK ACCESSIBLE AND EXPOSED UNTIL THE WORK HAS BEEN INSPECTED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION, OR ITS AUTHORIZED AGENT, AT EACH ELEMENT OF THE CONSTRUCTION PROCESS THAT IS APPLICABLE TO THE WORK.

BUILDING PERMIT HOLDERS SHALL BE REQUIRED TO NOTIFY THE BUILDING OFFICIAL OF THE VILLAGE OF MAMARONECK WHEN CONSTRUCTION WORK IS READY FOR INSPECTION.

THE BUILDING OFFICIAL SHALL MAKE THE REQUIRED INSPECTIONS OR SHALL HAVE THE AUTHORITY TO ACCEPT WRITTEN REPORTS OF INSPECTION BY APPROVED AGENCIES OR INDIVIDUALS.

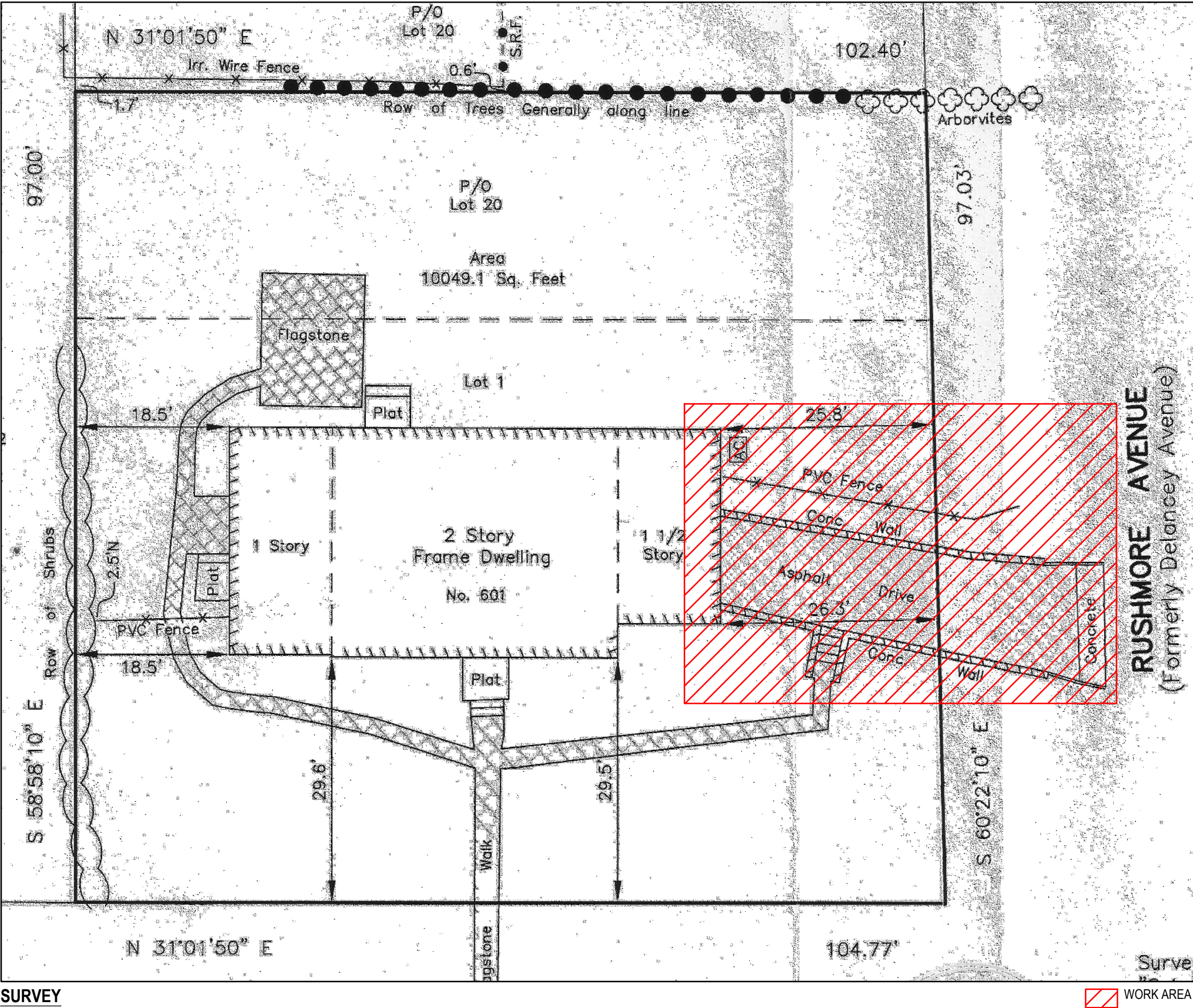
REQUIRED INSPECTIONS FOR THIS PROJECT MAY INCLUDE THE FOLLOWING, AS APPLICABLE, OR AS SPECIFIED IN THE CODE ENFORCEMENT PROGRAM OF THE VILLAGE OF MAMARONECK:

- WORKSITE PRIOR TO THE ISSUANCE OF A PERMIT
 - PLUMBING*
 - ELECTRICAL*
 - MECHANICAL
 - FRAMING (SUBSEQUENT TO THE INSPECTION & APPROVAL OF PLUMBING, ELECTRICAL & MECHANICAL)
 - FIRE RESISTANT CONSTRUCTION
 - FIRE RESISTANT PENETRATIONS
 - ENERGY CODE COMPLIANCE
 - A FINAL INSPECTION AFTER ALL WORK AUTHORIZED BY THE BUILDING PERMIT HAS BEEN COMPLETED
 - ANY OTHER INSPECTIONS AS REQUIRED BY THE VILLAGE OF MAMARONECK.
- ALL OF THE ABOVE INSPECTION MAY NOT BE REQUIRED FOR THIS, OR ANY GIVEN, PROJECT. A SCHEDULE OF REQUIRED INSPECTIONS IS AVAILABLE FROM THE BUILDING DEPARTMENT OF THE VILLAGE OF MAMARONECK.
- *THE WORK APPLICABLE TO SOME OF THE ABOVE INSPECTIONS (FOR INSTANCE PLUMBING AND ELECTRICAL) SHALL BE COMPLETED UNDER A SEPARATE PERMIT, FILED BY THE RELEVANT LICENSED CONTRACTORS.

AFTER INSPECTION, THE WORK OR A PORTION THEREOF SHALL BE NOTED AS SATISFACTORY AS COMPLETED, OR THE BUILDING PERMIT HOLDER SHALL BE NOTIFIED AS TO THE MANNER IN WHICH THE WORK FAILS TO COMPLY WITH APPLICABLE CODES, INCLUDING A CITATION OF THE SPECIFIC CODE PROVISION OR PROVISIONS THAT HAVE NOT BEEN MET.

IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO ASCERTAIN THE RESULTS OF REQUIRED INSPECTIONS.

CONSTRUCTION WORK NOT IN COMPLIANCE WITH APPLICABLE CODES SHALL BE REQUIRED TO REMAIN EXPOSED UNTIL IT HAS BEEN BROUGHT INTO COMPLIANCE WITH THE CODES, RE-INSPECTED, AND FOUND SATISFACTORY AS COMPLETED.



SURVEY
CLIENT-PROVIDED IMAGE
NOT TO SCALE

DEMOLITION:

THE CONTRACTOR SHALL:
DEMOLISH AND REMOVE ALL ELEMENTS NOTED IN THE DRAWINGS FOR DEMOLITION, AND AS REQUIRED FOR THE COMPLETION OF ALL WORK SHOWN ON THESE DRAWINGS.

ALLOW NO DEBRIS TO ACCUMULATE; HAUL AWAY FROM SITE ALL DEBRIS AT CONTRACTOR'S EXPENSE; REMOVE ALL DEBRIS ON A REGULAR BASIS AND MAINTAIN JOBSITE IN A CLEAN AND TIDY CONDITION.

FULLY PROTECT ALL STRUCTURES, BUILDING ELEMENTS, EQUIPMENT, APPLIANCES AND FINISHES THAT ARE TO REMAIN FROM DAMAGE CAUSED BY ANY OF THE CONTRACTOR'S ACTIVITIES.

PROTECT ALL ADJACENT AREAS, AND ALL NEIGHBORING PROPERTY, FROM DAMAGE, INJURY AND DISCOMFORT CAUSED BY DUST.

PROTECT ALL PUBLIC PROPERTIES AND PREMISES FROM DAMAGE AND PREVENT ANY ACCUMULATION OF DEBRIS, DUST OR RUBBISH IN ANY PUBLIC AREA.

ASSUME FULL RESPONSIBILITY FOR ANY DAMAGE CAUSED TO EXISTING ELEMENTS AND MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.

CONDUCT ALL DEMOLITION OPERATIONS IN SUCH A MANNER AS TO PREVENT UNAUTHORIZED ENTRY OF ANY PERSONS AT ANY TIME; POST APPROPRIATE SIGNAGE AS REQUIRED.

LOCATE ALL UTILITY AND DRAINAGE LINES PRIOR TO COMMENCEMENT OF DEMOLITION AND PROTECT ALL ACTIVE LINES AS REQUIRED. IDENTIFY CLEARLY ANY WORK THAT MAY RESULT IN THE INTERRUPTION OF ANY SERVICES WITHIN THE AREA OF WORK OR IN ANY ADJACENT SPACE OR PROPERTY AND COORDINATE SUCH INTERRUPTIONS WITH ALL INVOLVED PARTIES.

NOTIFY THE OWNER, UTILITY COMPANIES, FIRE DEPARTMENT, ALARM COMPANIES, ETC. OF ANY WORK AFFECTING THEIR SYSTEMS AS REQUIRED BY ALL APPLICABLE CODES, RULES, AND REGULATIONS.

SITE WORK

EXCAVATION SAFETY:

THE CONTRACTOR SHALL COMPLY WITH THE TRENCHING AND EXCAVATION REQUIREMENTS OF CFR 1926.651 AND 1926.652 OR COMPARABLE OSHA-APPROVED STATE REGULATIONS. TRENCHES 5 FEET DEEP OR GREATER REQUIRE A PROTECTIVE SYSTEMS, UNLESS THE EXCAVATION MADE ENTIRELY IN STABLE ROCK.

THE CONTRACTOR SHALL HAVE A COMPETENT PERSON IN THE TRENCHES DAILY AND AS CONDITIONS CHANGE TO DETERMINE THE NECESSITY OF EXCAVATION HAZARDS.

A COMPETENT PERSON IS AN INDIVIDUAL WHO IS CAPABLE OF IDENTIFYING EXISTING AND PREDICTABLE HAZARDS OR WORKING CONDITIONS THAT ARE HAZARDOUS, UNSANITARY, OR DANGEROUS TO WORKERS. TOILETS AND PROTECTIVE SYSTEMS REQUIRED, AND WHO IS AUTHORIZED TO TAKE PROMPT CORRECTIVE MEASURES TO ELIMINATE THESE HAZARDS AND CONDITIONS.

LIST OF DRAWINGS			
SHEET	DRAWING NAME	DATE	REVISION
C-01	COVER SHEET	07.30.2025	11.17.2025
S-01	SITE PLAN	07.30.2025	11.17.2025
S-02	DRIVEWAY LAYOUT AND PATIO	07.30.2025	11.17.2025
S-03	SECTIONS	07.30.2025	11.17.2025

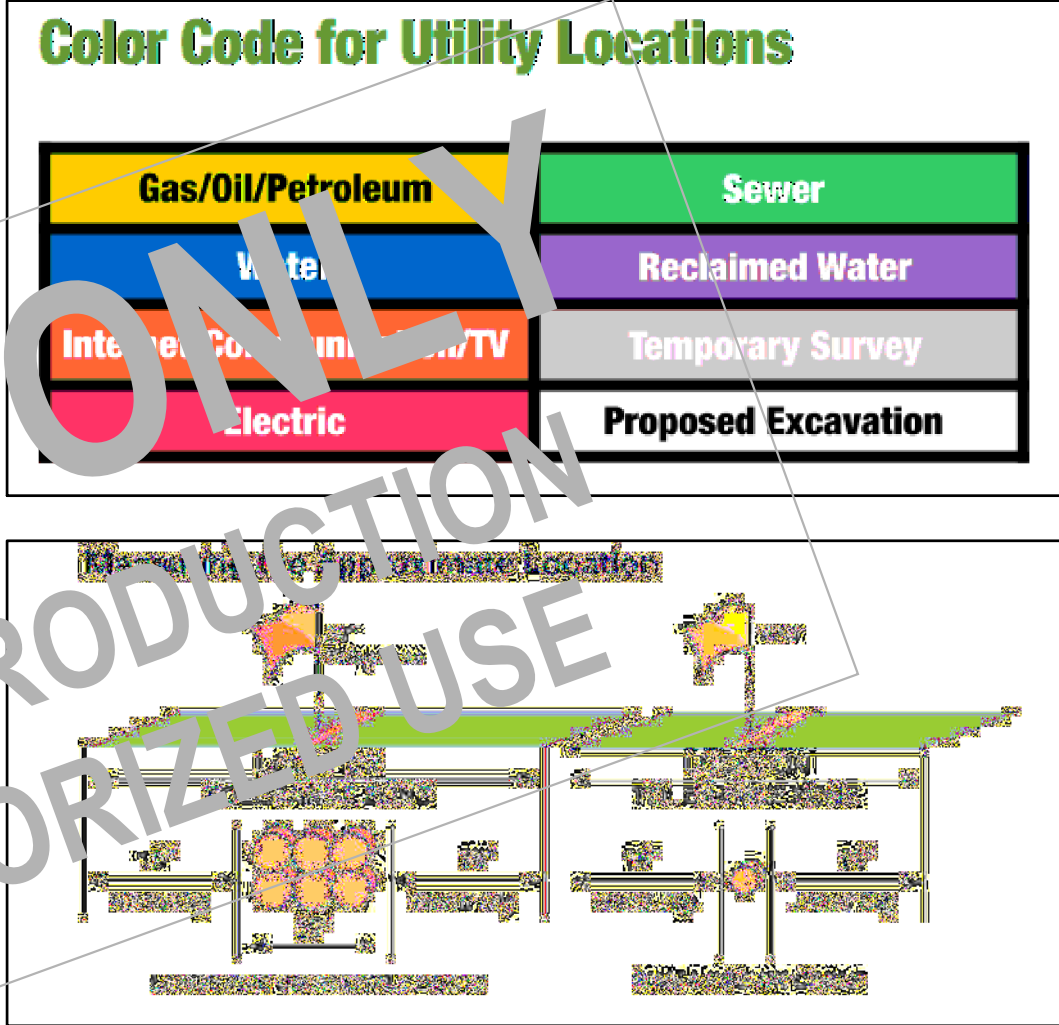
EXCAVATION - LOCATING UTILITIES - CALL 811:

NEW YORK STATE LAW (16 NYCRR PART 753) REQUIRES ALL EXCAVATORS TO PLACE A LOCATION REQUEST WITH DIG SAFELY NEW YORK AT LEAST TWO (2) FULL WORKING DAYS, BUT NO MORE THAN 10 WORKING DAYS BEFORE BEGINNING AN EXCAVATION PROJECT IN ORDER TO ENSURE ALL UNDERGROUND UTILITY LINES ARE PROPERLY MARKED BY THEIR OWNERS.

A LOCATION REQUEST MAY BE PLACED, AND THE PROCESS OF MARKING UNDERGROUND UTILITIES MAY BE TRACKED, BY USING THE ONLINE LOCATION REQUEST PROGRAM, EXACTIX. OR, THE EXCAVATOR MAY CALL 811 TO PLACE THE LOCATION REQUEST.

- NOTIFY: NOTIFY 811 ONLINE WITH EXACTIX OR BY CALLING 811.
- WAIT: AT LEAST TWO DAYS FOR UTILITIES TO RESPOND (NOT INC. THE DAY YOU CALL).
- CONFIRM: CHECK ALL UTILITIES HAVE RESPONDED.
- RESPECT: ADHERE TO UTILITY MARKS AND FLAGS.
- DIG WAUTION: DIG CAREFULLY AROUND BURIED UTILITIES.

NOTE:
THE VILLAGE OF MAMARONECK MAY REQUIRE THE CONTRACTOR TO PROVIDE A "DIG SAFELY" CODE 753 CASE NUMBER.



STATEMENT OF DESIGN PROFESSIONAL:

THESE PLANS HAVE BEEN PREPARED IN CONFORMANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS).

VINCENT COAKLEY, P.E.
(STAMP AFFIXED AND SIGNED).

PROPERTY ADDRESS:

MAMARONECK, NY 10543
(VILLAGE OF MAMARONECK
BUILDING DEPARTMENT)

S-B-L:

CLIENT:

*** ***

TEL:

EMAIL:

DATE:

07.30.2025

09.03.2025

11.17.2025

ISSUE:

PRELIMINARY

FOR REVIEW

FOR PERMIT

PROJECT NAME:

DRIVEWAY, STAIRS AND

RETAINING WALL

DRAWING NAME:

COVER SHEET

DRAWING NUMBER:

C-01

DATE:

07.30.2025

SCALE:

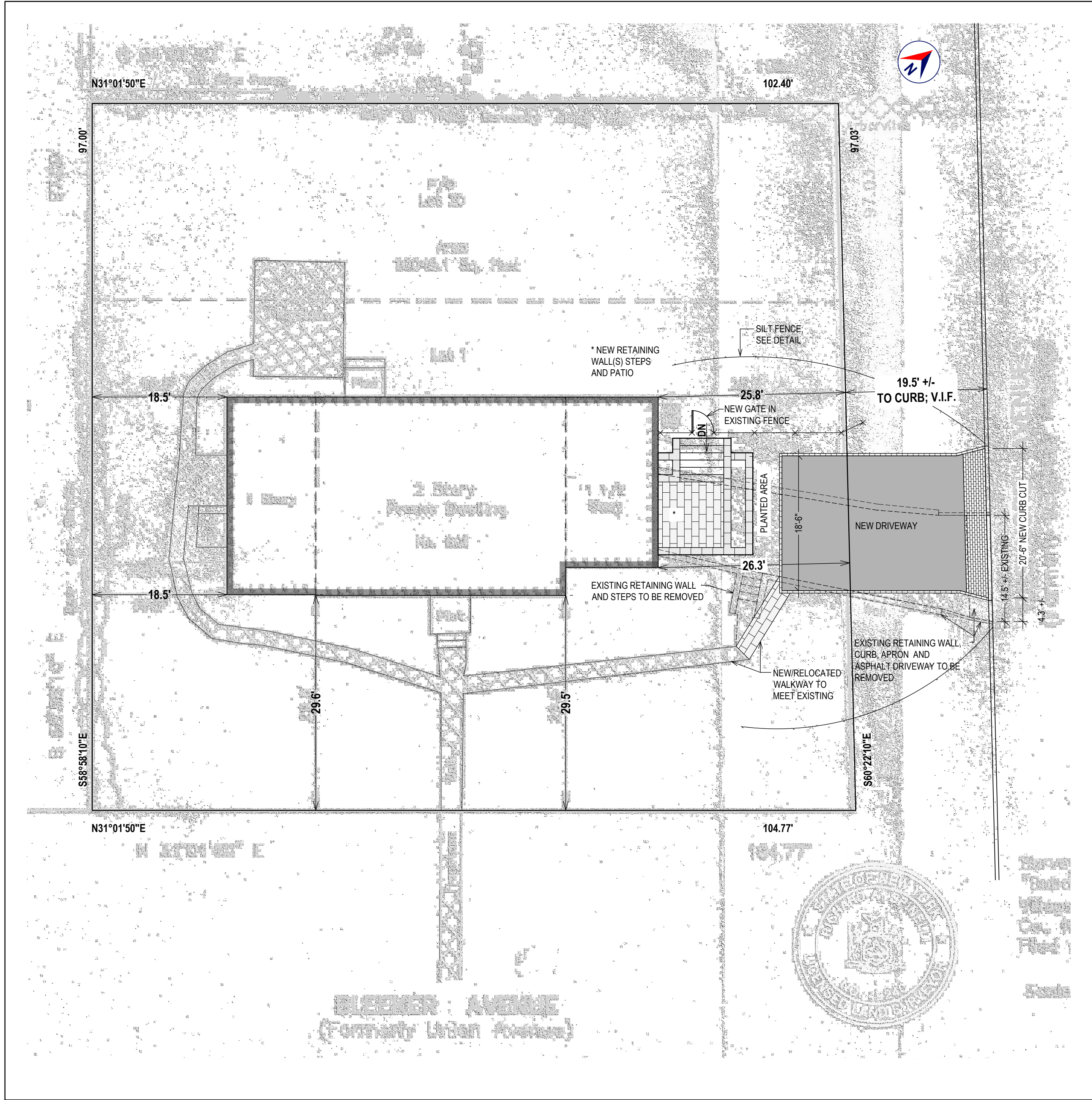
AS NOTED

NOTE:

THIS DRAWING IS VALID FOR CONSTRUCTION IF (AND ONLY IF) A PERMIT IS ISSUED, BASED ON THIS DRAWING, BY THE VILLAGE OF MAMARONECK.

Oliver Engineering, P.C.

Design - Permit Applications - Legalizations
Code Compliance - Project Supervision
188 North Main Street | Port Chester, NY 10573
(914) 774-5878 | www.proeng.nyc | vc@proeng.nyc



SITE PLAN
BACKGROUND INFORMATION FROM SURVEY BY RICHARD A. SPINELLI 04.29.2014
1" = 10'

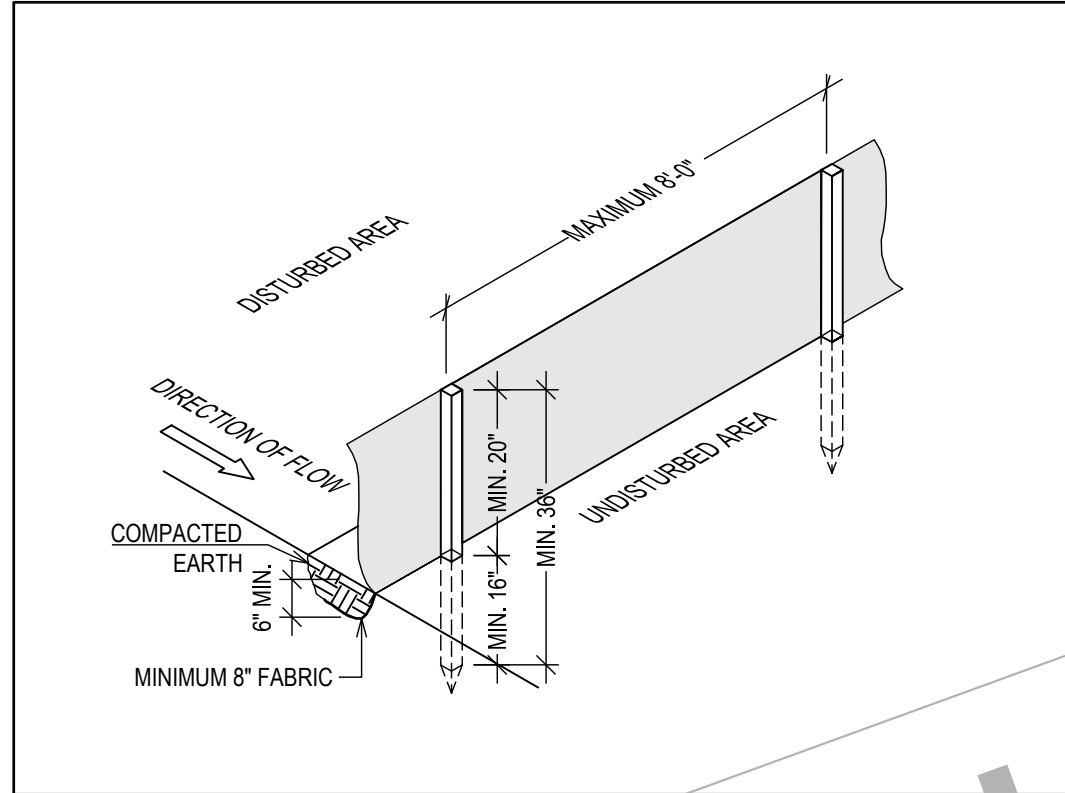
EROSION CONTROL:
THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYS DEC) PROVIDES MINIMUM STANDARDS AND SPECIFICATIONS FOR THE CONTROL OF STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY. EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, WITH ALL RELEVANT REGULATIONS OF THE VILLAGE OF MAMARONECK AND AS FOLLOWS:

THE SILT FENCE SHALL BE INSTALLED BEFORE UP-SLOPE GROUND COVER IS REMOVED. FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE; A RUN OF SILT FENCE SHOULD FOLLOW THE CONTOUR AS CLOSELY AS POSSIBLE WITH THE ENDS TURNED UPSLOPE TO POND WATER BEHIND THE FENCE.

THE SILT FENCE FABRIC SHOULD BE BURIED AT LEAST 6" DEEP AND HAVE A TOTAL OF 8" (MINIMUM) FABRIC BELOW THE GROUND.

STAKES SHALL BE A MINIMUM OF 2X2 NOMINAL (1 1/2" X 1 1/2" ACTUAL) HARDWOOD AND OF SOUND QUALITY; THE STAKES SHALL BE PLACED ON THE DOWN-SLOPE SIDE OF THE GEOTEXTILE AND AT A MAXIMUM SPACING OF 8'-0" ON CENTER.

THE APPLICANT AND/OR CONTRACTOR SHALL ESTABLISH EROSION CONTROL AS NOTED IN THESE DRAWINGS AND SHALL MAINTAIN EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION UNTIL SUCH TIME THAT THE BUILDING INSPECTOR DEEMS THE LAND TO BE STABLE.



SEDIMENT FENCE DETAIL
NOT TO SCALE

LOT AREA COVERAGE AND IMPERVIOUS COVERAGE **				
	LOT AREA COVERAGE		IMPERVIOUS COVERAGE **	
	EXISTING	PROPOSED	EXISTING	PROPOSED
HOUSE FOOTPRINT	1580 *	1,580	1,580.0	1,580.0
PLASTER AND WALKWAY			554.8	564.3
PLATFORMS AND STEPS (FRONT, REAR AND SIDE)			67.9	87.9
RETAINING WALL			50.2	53.0
STAIRS			10.6	35.9
PATIO				81.0
DRIVEWAY			291.7	156.3
TOTAL:	1,580	1,580	2,575.2	2,568.4

* SCALED FROM SURVEY.
** ONLY AREAS WITHIN THE PROPERTY BOUNDARY WERE CONSIDERED IN THE IMPERVIOUS COVERAGE ANALYSIS.
*** THE AREAS ARE ONLY APPROXIMATE.

ZONING COMPLIANCE				
ADDRESS	ZONE	R 15	MUNICIPALITY: VILLAGE OF MAMARONECK	
			REQUIRED	PROPOSED
1. DISTRICT R-15 ONE-FAMILY				
2. MINIMUM LOT AREA (SF)		15,000	10,049.1	NO CHANGE
3. MINIMUM LOT WIDTH AND FRONTAGE (FT)		100	104.77	NO CHANGE
4. MINIMUM LOT DEPTH (FT)		100	102.4	NO CHANGE
5. MINIMUM HABITABLE FLOOR AREA (ONE STORY) (SF)		1,650	---	NO CHANGE
6. (MAXIMUM HEIGHT OF PRINCIPAL BUILDING STORES		2.5	---	NO CHANGE
7. (MAXIMUM HEIGHT OF PRINCIPAL BUILDING FEET		35	---	NO CHANGE
8. FRONT (SF)		25	29.5	NO CHANGE
9. LESSER SIDE (FT)		15	18.5	NO CHANGE
10. TWO SIDES COMBINED (FT)		35	44.3 +/-	NO CHANGE
11. REAR (FT)		30	40 +/-	NO CHANGE
12. MAXIMUM COVERAGE ALL BUILDINGS (AS PERCENTAGE OF LOT AREA)		35.0%	15.7%	NO CHANGE
12A. MAXIMUM BUILDING COVERAGE AND SURFACES (AS PERCENTAGE OF LOT AREA)		35.0%	1580*	NO CHANGE
12B. MAXIMUM BUILDING COVERAGE AND SURFACES (AS PERCENTAGE OF LOT AREA)		45	25.6%	25.5%
BUILDING COVERAGE TO IMPERVIOUS SURFACES		4,522.1	2,575.2	2,568.4
13. OTHER REQUIREMENTS				
14. MAXIMUM LOT AREA FOR			SEE 342.27.1 OF DEMUNICIPAL CODE	

SCALED FROM SURVEY.

PROPERTY ADDRESS:

MAMARONECK, NY 10543
(VILLAGE OF MAMARONECK BUILDING DEPARTMENT)

S-B-L:

CLIENT:
*** ***

TEL: ***
EMAIL: ***

DATE: 07.30.2025
09.03.2025
11.17.2025
ISSUE: PRELIMINARY
FOR REVIEW
FOR PERMIT

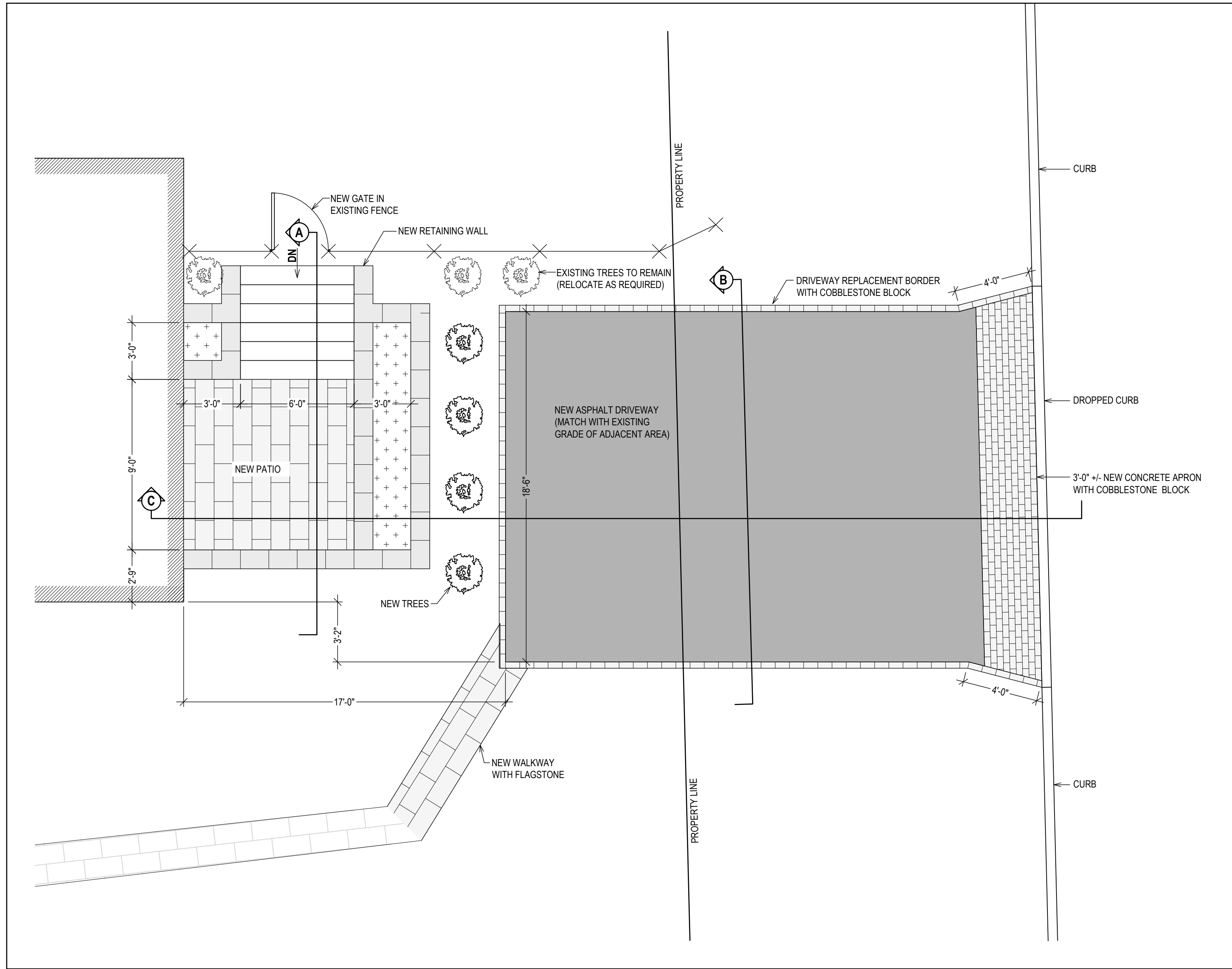
PROJECT NAME:
DRIVEWAY, STAIRS AND RETAINING WALL

DRAWING NAME:
SITE PLAN

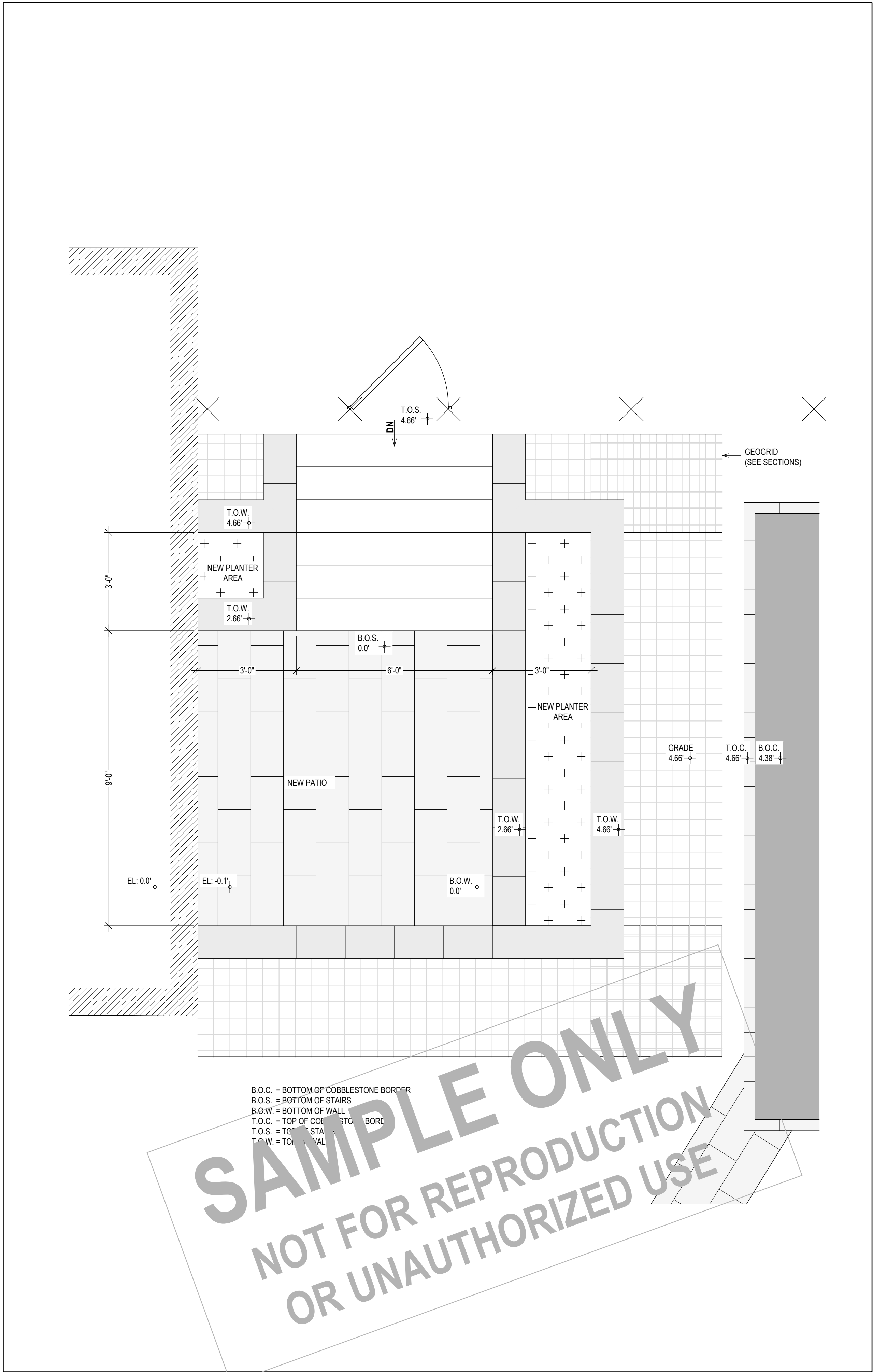
DRAWING NUMBER:
S-01

DATE: 07.30.2025
SCALE:
AS NOTED

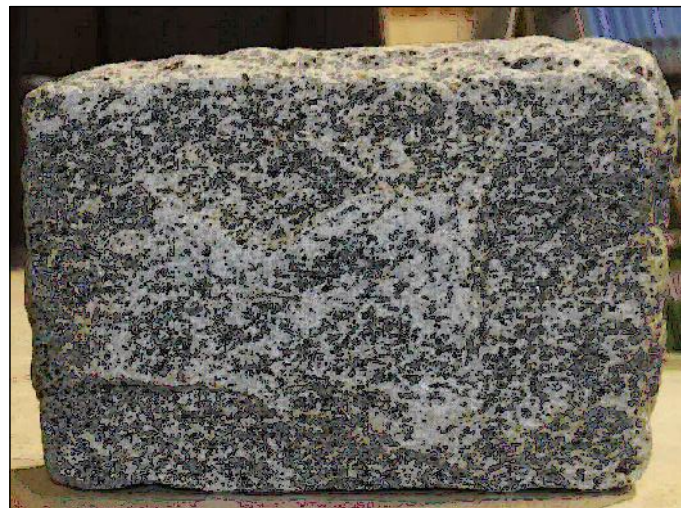
NOTE:
THIS DRAWING IS VALID FOR CONSTRUCTION IF (AND ONLY IF) A PERMIT IS ISSUED, BASED ON THIS DRAWING, BY THE VILLAGE OF MAMARONECK.



LAYOUT
1/4" = 1'-0"



PATIO
1/2" = 1'-0"



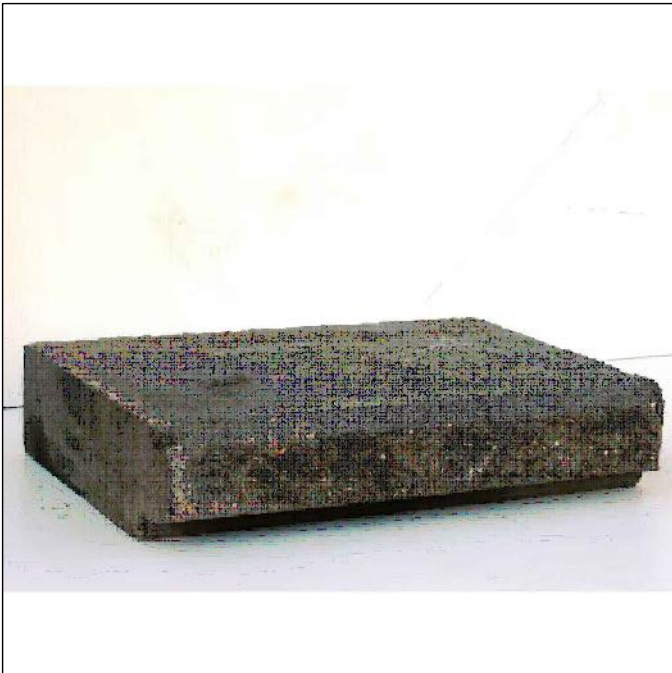
JUMBO BELGIUM BLOCK 10"X4"X7"
DRIVEWAY BORDER AND NEW APRON



FLAGSTONE - BLUE STONE
PATIO AND WALKWAY



AB CLASSIC UNIT 18"X12"X8"
NEW RETAINING WALL



AB CAP 18"X12"X4"
NEW RETAINING WALL

NOTE: THE SPECIFICATIONS ARE INTENDED AS SUGGESTIONS ONLY AND MAY OR MAY NOT BE APPROPRIATE FOR THE APPLICATION.
ALL SUCH ITEMS SHALL BE SELECTED AND APPROVED IN WRITING BY THE OWNER PRIOR TO PURCHASE AND INSTALLATION.

FINISHES

PROPERTY ADDRESS:

MAMARONECK, NY 10543
(VILLAGE OF MAMARONECK
BUILDING DEPARTMENT)

S-B-L:

CLIENT:
*** **

TEL: ***
EMAIL: ***

DATE: 07.30.2025
09.03.2025
11.17.2025
ISSUE: PRELIMINARY
FOR REVIEW
FOR PERMIT

PROJECT NAME:
DRIVEWAY, STAIRS AND
RETAINING WALL

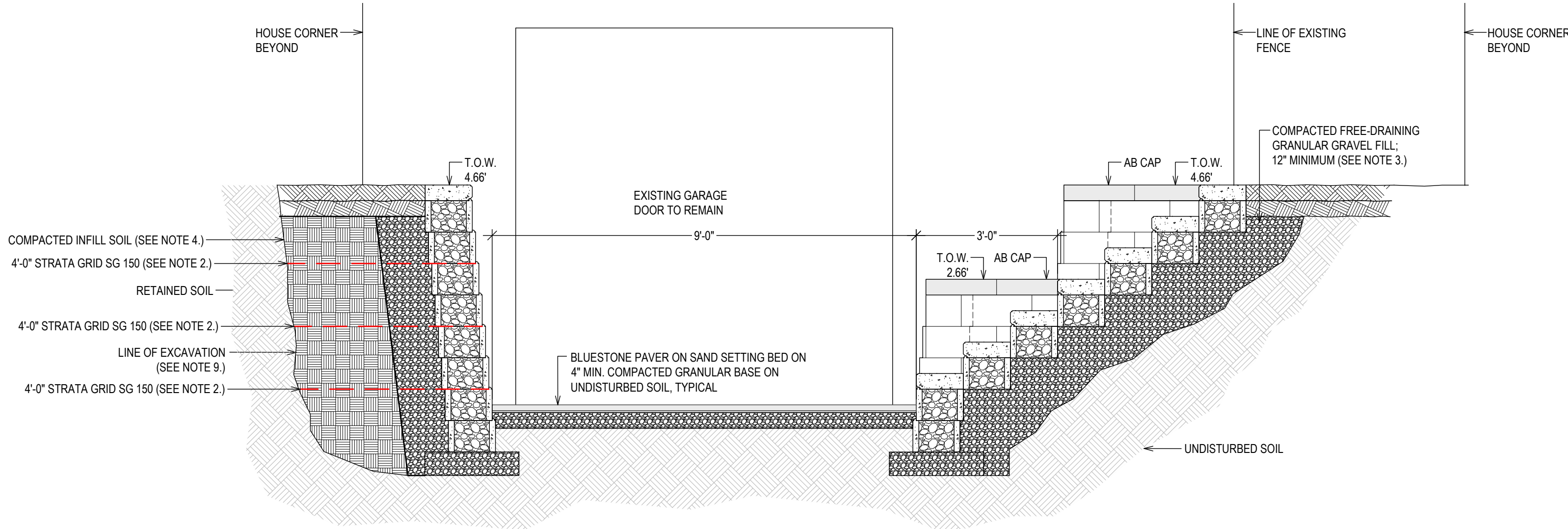
DRAWING NAME:
DRIVEWAY LAYOUT AND
PATIO

DRAWING NUMBER:
S-02

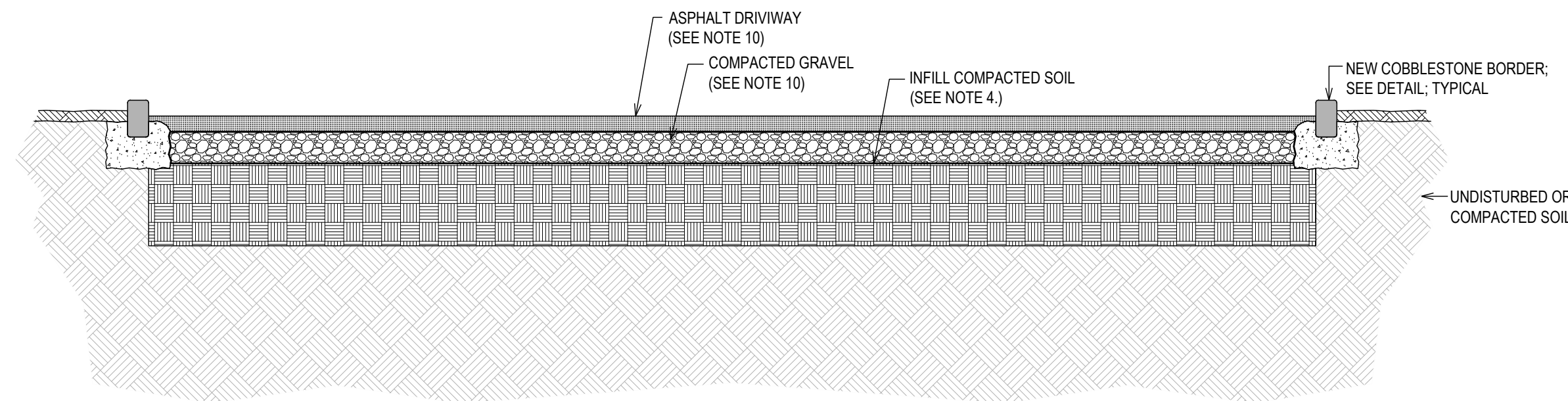
DATE:
07.30.2025

SCALE:
AS NOTED

NOTE:
THIS DRAWING IS VALID FOR
CONSTRUCTION IF (AND ONLY IF) A
PERMIT IS ISSUED, BASED ON THIS
DRAWING, BY THE VILLAGE OF
MAMARONECK.



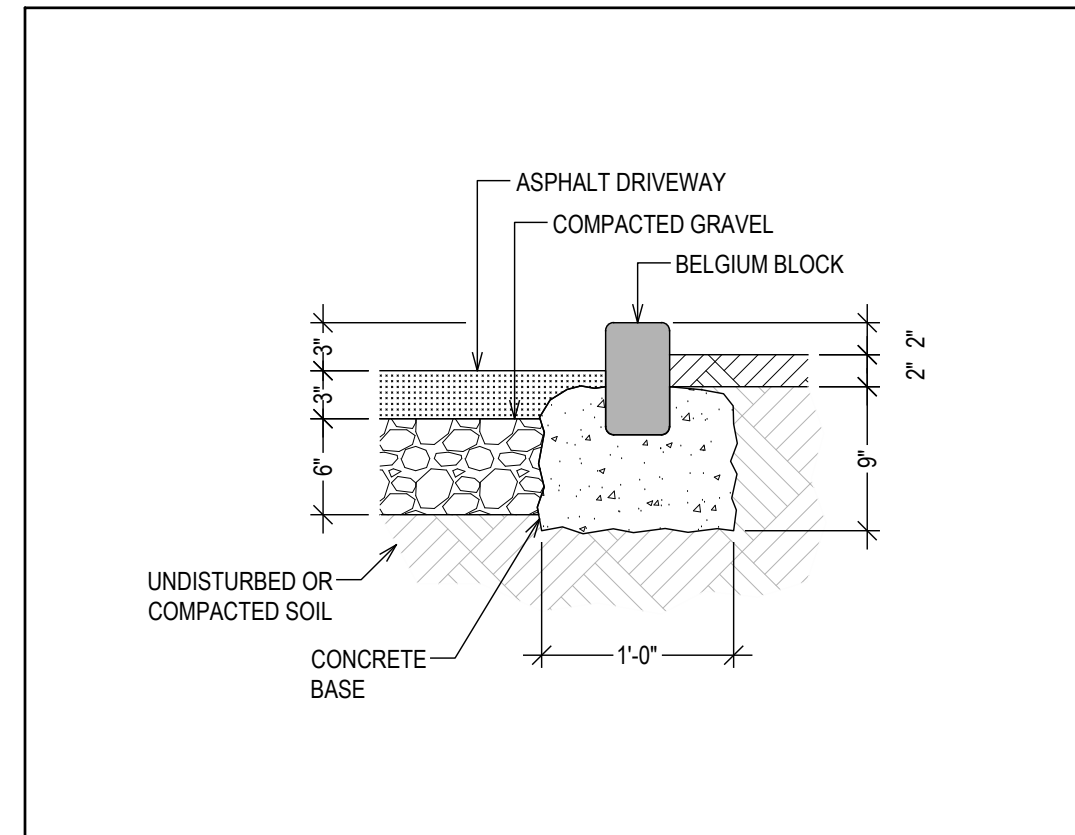
SECTION A
1/2" = 1'-0"



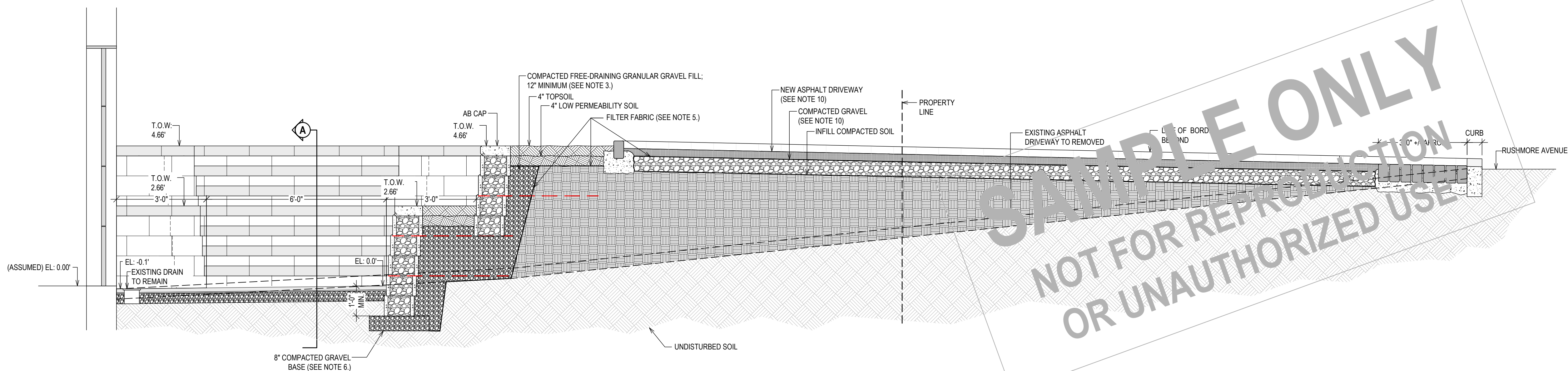
SECTION B
1/2" = 1'-0"

SRW (SEGMENTAL RETAINING WALL) SECTION NOTES

- 1. SEGMENTAL BLOCK:**
ALLAN BLOCK AB CLASSIC, 6 DEGREES BATTER; INSTALL PER MANUFACTURERS INSTRUCTIONS; FILL CORES WITH GRANULAR FILL.
- 2. GEOGRID:**
STRATA GRID SG 150, TENSILE STRENGTH; INSTALL PER MANUFACTURERS INSTRUCTIONS.
- 3. GRANULAR FILL:**
WELL-GRADED COMPACTIBLE AGGREGATE, 3/4" TO 1 1/2" WITH NO MORE THAN 10% FINES (PASSING THE #200 SIEVE); MATERIAL BEHIND AND IN THE BLOCKS MAY BE THE SAME MATERIAL.
- 4. INFILL SOIL:**
INFILL (REINFORCED SOIL ZONE) SOILS SHALL BE COHESIONLESS, FREE DRAINING MATERIALS (LESS THAN 50% PASSING A NUMBER 40 SIEVE AND LESS THAN 10% PASSING A NUMBER 200 SIEVE); THE INTIRE REINFORCED ZONE SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE STANDARD PROCTOR DENSITY. COMPACTION SHALL BE IN LIFTS NOT EXCEEDING 8".
- 5. FILTER FABRIC:**
FILTER FABRIC SHALL BE MINIMUM 8 OZ. NONWOVEN GEOTEXTILE WITH MINIMUM TENSILE STRENGTH OF 205 LBS (PER ASTM D463), 95 LB PUNCTURE RESISTANCE (PER ASTM D4833) AND WATER FLOW RATE OF 90 GPM/SF (PER ASTM D4491).
- 6. GRAVEL BASE:**
MAY BE THE SAME MATERIAL AS THE GRANULAR FILL.
TOP OF BASE SHALL BE LOCATED TO ALLOW BOTTOM WALL UNITS TO BE BURIED TO PROPER DEPTH NOTED.
BASE MATERIAL SHALL BE INSTALLED ON UNDISTURBED NATIVE SOILS OR SUITABLE REPLACEMENT FILLS COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR (ASTM D698).
- 7. DRAIN:**
4" PERFORATED PVC PIPE WITH FILTER SOCK; (IF REQUIRED).
- 8. ELEVATION:**
(FROM WESTCHESTER COUNTY GIS AND/OR SURVEY TOPO):
MAINTAIN MINIMUM EMBEDMENT DEPTH, GEOGRID LOCATION & EXTENT, AND MAXIMUM WALL HEIGHT, PER SECTION.
- 9. EXCAVATION:**
SEE GENERAL NOTES ON EXCAVATION SAFETY, AND LOCATING UTILITIES, ON SHEET C-01.
- 10. DRIVEWAY:**
3" ASPHALT DRIVEWAY ON 6" WELL-GRADED COMPACTED SUB-BASE, 1/4" TO 3" ON UNDISTURBED OR COMPACTED SOIL.



DRIVEWAY BORDER DETAIL
1" = 1'-0"



SECTION C
1/2" = 1'-0"

PROPERTY ADDRESS:

MAMARONECK, NY 10543
(VILLAGE OF MAMARONECK
BUILDING DEPARTMENT)

S-B-L:

CLIENT:
*** ***

TEL: ***
EMAIL: ***

DATE: 07.30.2025
09.03.2025
11.17.2025
ISSUE: PRELIMINARY
FOR REVIEW
FOR PERMIT

PROJECT NAME:
DRIVEWAY, STAIRS AND
RETAINING WALL

DRAWING NAME:
SECTIONS

DRAWING NUMBER:
S-03

DATE:
07.30.2025

SCALE:
AS NOTED

NOTE:
THIS DRAWING IS VALID FOR
CONSTRUCTION IF (AND ONLY IF) A
PERMIT IS ISSUED, BASED ON THIS
DRAWING, BY THE VILLAGE OF
MAMARONECK.