



J-14430 FOL-23

DO NOT SCALE

Street Address:	122 Soundview Avenue Rye, NY 10580
Property Area:	0.18 Acres
Tax Map Designation:	Sheet 153.06 Block 3 Lot 86
Zoning District:	R-5 Single-Family Residence
Current Use:	Single-Family Residence
Proposed Use:	No Change; Single-Family Residence
Flood Insurance Zone:	FEMA Zone X - Not in 500-Year Flood Zone

Repair of damage from tree impact:
Remove and replace damaged structural and non-structural framing including walls, floors, roof and ceilings; Remove and replace exterior siding and trim; Remove and replace damaged interior wall and ceiling coverings (drywall), flooring, millwork, trim and finishes; Remove and replace or reinstate finishes and materials affected by moisture intrusion.

Flood Zone:	The property is not located in a Flood Zone
Protected Structure:	The property is not a protected structure and is not located within a Preservation District
Coastal Boundary:	The property is not located within a designated Coastal Boundary
Wetland:	The property is not located within 1000 feet of a wetland
Site Runoff:	The project will not involve the disturbance of more than 300 S.F. of land
Tree Removal:	No tree removal is proposed
Signage:	No signage is proposed
Exterior Appearance:	There will be no change to the exterior appearance of the structure - from its pre-damage condition.

This is a minor repair - to pre-damage condition - of an existing structure.
There will be no change to those dimensions regulated in *Table A Residence Districts of the Zoning Code of the City of Rye*:

Min Lot Area:	No Change
Floor Area Ratio:	No Change
Front Yard:	No Change
Side Yard(s):	No Change
Rear Yard:	No Change
Height in Stories:	No Change
Height in Feet:	No Change
Accessory Structures:	Not Applicable

The Authority having Jurisdiction is the City of Rye. Per the the *Residential Code of New York State*, the *Uniform Code shall be administered and enforced by the authority having jurisdiction.*

All work shall be in accordance with the *The local laws, ordinances and resolutions of the City of Rye known collectively as the "Code of the City of Rye"*, the 2020 edition of the *Residential Code of New York State*, and any other code or regulation having jurisdiction.

The following codes apply.

2020 Residential Code of New York State (IRC 2018 with amendments)
2020 Building Code of New York State (IBC 2018 with amendments)
2020 Energy Conservation Code of New York State (IECC 2018 with amendments)
2020 Mechanical Code of New York State (IECC 2018 with amendments)
National Electric Code (NFPA 70)

Parts of the codes are cited below, and in other areas in this document.

Per [NY] R105.2 *Building Permit*
No person or entity shall commence, perform, or continue any work that must conform with the Uniform Code and/or Energy Code unless:
Such person or entity has applied to the authority having jurisdiction for a building permit. And the authority has issued a building permit authorizing such work.

Per City of Rye Code, Section 68-8 D. (4)
All building and demolition permits shall be prominently displayed on the job site at all times during the progress of construction or demolition so as to be readily seen from adjacent thoroughfares. A set of approved drawings shall be kept on site in a four-inch diameter PVC pipe four feet long and shall be securely attached to a post.

Per City of Rye Code, Section 68-16 A.
Work for which a building permit has been issued hereunder shall be inspected for approval prior to enclosing or covering any portion thereof and upon completion of each stage of construction, including, but not limited to, building location, site preparation, site drainage, excavation, foundation, framing, superstructure, electrical, plumbing, and heating and air conditioning. It shall be the responsibility of the owner, applicant, or his agent to inform the inspector that the work is ready for inspection and to schedule such inspection.

Construction equipment and materials shall be stored and placed so as not to endanger the public, the workers or adjoining property for the duration of the construction project.

Waste materials shall be removed in a manner that prevents injury or damage to persons, adjoining properties and public rights-of-way.

Sanitary facilities shall be provided during construction, remodeling or demolition activities in accordance with the Plumbing Code of New York State.

Adjoining public and private property shall be protected from damage during construction, remodeling and demolition work. Protection shall be provided for footings, foundations, party walls, chimneys, eighths and roofs. Protections shall be made to control water runoff and erosion during construction or demolition activities.

The City of Rye Code Chapter 20 requires the *clear display of house or building numbers (hereinafter "house numbers")* from public streets for all properties that contain a principal building within the City of Rye in order to assist the general public or the authorities in identifying any property in case of an emergency, as well as for the welfare of the general public in conducting its normal affairs:

All Mechanical, Electrical and Plumbing (MEP) work shall be performed by licensed contractors and MEP Permits shall be obtained separately by those contractors.



EXTERIOR VIEWS

POST STORM DAMAGE

Oliver Engineering, P.C.
Design - Permit Applications - Legalizations
Code Compliance - Project Supervision
163 North Main Street, #207 Port Chester, NY 10573
(914) 774-9878 www.proeng.nyc info@proeng.nyc.com

RYE, NY 10580

Michael A. Gismondi, AIA
7-11 Legion Drive
Valhalla, NY 10595
914-494-8943
Email-mgismo6464@aol.com

DATE: 12.21.2020 ISSUE: FOR PERMIT

PROJECT NAME:
**TREE DAMAGE
REPAIR**

DRAWING NUMBER:
G-01

DRAWING NAME:
GENERAL

SCALE: AS NOTED DATE: 12.21.2020

NOTE:
THIS DRAWING IS VALID FOR
CONSTRUCTION IF (AND ONLY IF)
A PERMIT IS ISSUED, BASED ON
THIS DRAWING, BY THE CITY OF
RYE.

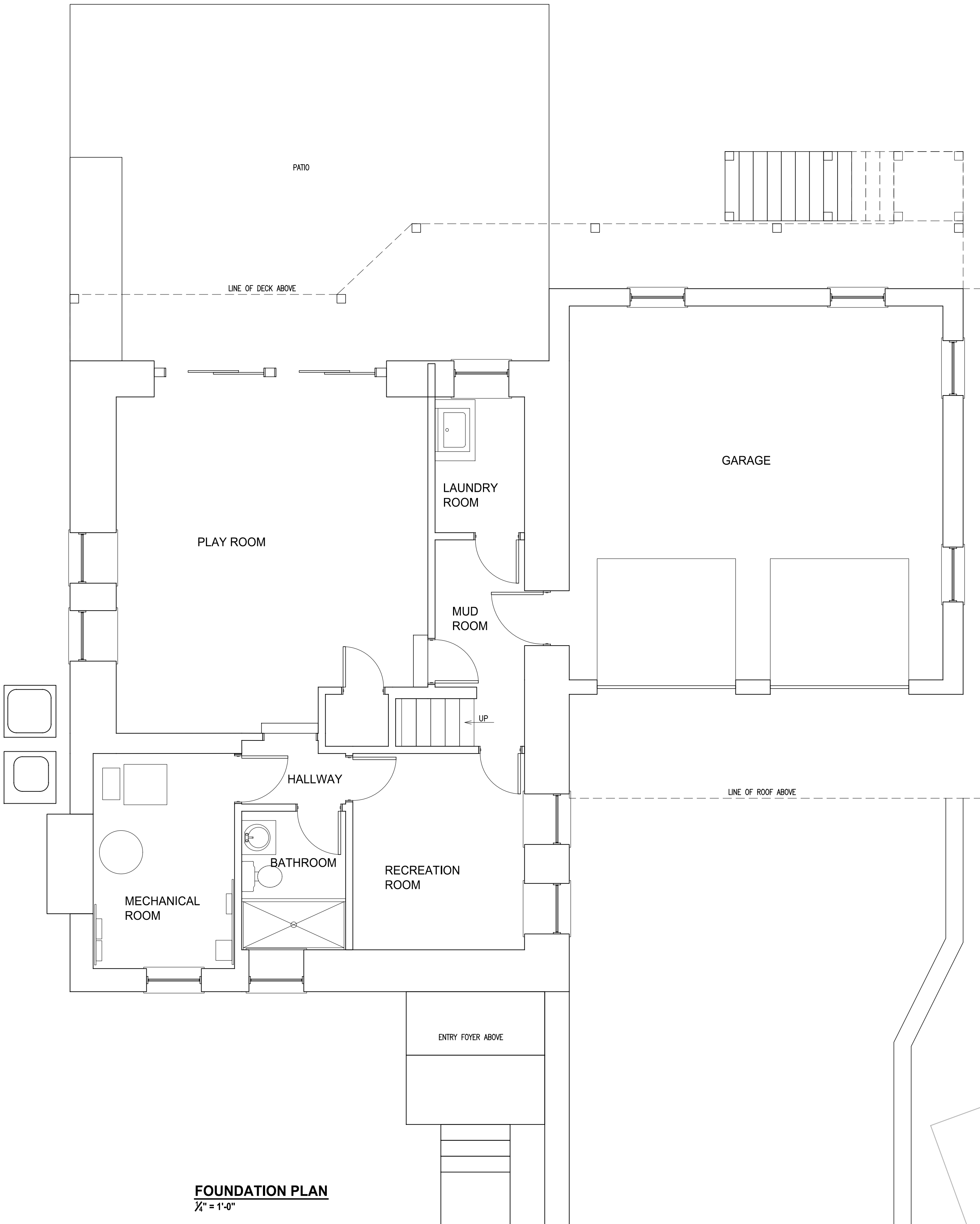
THIS DRAWING IS AS A SAMPLE ONLY
*** PERSONAL (CLIENT) INFORMATION WITHHELD



HVAC



FRONT STEP AND RAILING



FOUNDATION PLAN
1/8" = 1'-0"

STORM DAMAGE AND MOISTURE INTRUSION REPAIR.

SCOPE OF WORK IN BASEMENT:

- GENERAL:**
Replace all damaged framing, sheathing, siding, insulation, wall covering, millwork, trim and finishes.
The extent of structural damage is based on field observations and/or assumptions regarding the current condition at the site; Any additional damage, observed on further examination, or exposed on the removal of finishes, should be brought to the attention of the architect and the owner.
- DRYWALL & FINISHES:**
Install 5/8" gypsum board to all damaged areas, tape and float, prepare for paint. Seal/prime and two coats of paint on walls, ceiling, millwork and trim.
Sand, stain and finish wood flooring including stair treads.
- MILLWORK:**
Replace all damaged trim including baseboard and window and door casing; Detach and reset handrail at stairs to first floor.
- MECHANICAL ROOM:**
Test and check all breakers and rough wiring for faults.
Test, check and commission heating and cooling system.
Apply pressure test to all existing interior gas lines.
- PLUMBING:**
All Plumbing work is to be completed per PART VII of the 2020 New York State Residential Code and by a plumbing contractor licensed in Westchester County.
Plumbing work is to be filed under a separate permit.
- ELECTRICAL:**
Replace light fixtures and wiring per PART VIII and Chapter 34 of the 2020 New York State Residential Code, the National Fire Protection Association (NFPA 70-2017) and the 2017 National Electrical Code.
All Electrical work is to be performed by a licensed electrical contractor, licensed in Westchester County.
Electrical work is to be filed under a separate permit.

EXTERIOR:

- GENERAL:**
Replace all damaged sheathing, siding and exterior, trim and finishes.
- SIDING:**
Install Housewrap or approved equal air/moisture barrier.
Install beveled siding to match existing.
Install fascia, soffit, trim boards and shutters to match existing.
- GUTTERS AND LEADERS:**
Install flashing, gutters and leaders to replace existing;
Use existing drains.
- FINISH:**
Seal, prime and paint all exterior siding, trim and shutters.
Replace damaged window screens.
- STEPS AND RAILINGS:**
Replace broken bluestone step.
Reset and repoint steps and walkway as required.
Reinstall/Replace railing to match existing.
Replace ornamental iron fencing and gate to match existing.

ELECTRICAL SERVICE:

- GENERAL:**
Replace damaged service mast, meter base, grounding rod, grounding conductors, carrier wires, overhead splice connectors and equipment that requires to replace the electrical service entrance.
- COMPLIANCE:**
All electrical work to be performed by a licensed electrical contractor; Obtain all necessary permits from Con Edison and from the City of Rye.

GAS SERVICE:

- GENERAL:**
Replace gas line, meter base, line and regulator(s) to provide new gas service.
- COMPLIANCE:**
All plumbing work to be performed by a licensed plumbing contractor; All installation of gas lines are to be pressure-tested as required; Obtain all necessary permits from Con Edison and from the City of Rye.

Oliver Engineering, P.C.
Design - Permit Applications - Legalizations
Code Compliance - Project Supervision
163 North Main Street, #207 Port Chester, NY 10573
(914) 774-9878 www.proeng.nyc info@proeng.nyc.com

PROPERTY OWNER:

RYE, NY 10580

ARCHITECT:

Michael A. Gismondi, AIA
7-11 Legion Drive
Valhalla, NY 10595
914-494-8943
Email-mgismo6464@aol.com

STAMP:

DATE: 12.21.2020
ISSUE: FOR PERMIT

PROJECT NAME:
TREE DAMAGE REPAIR

DRAWING NUMBER:
A-01

DRAWING NAME:
BASEMENT

SCALE: AS NOTED
DATE: 12.21.2020

NOTE:
THIS DRAWING IS VALID FOR CONSTRUCTION IF (AND ONLY IF) A PERMIT IS ISSUED, BASED ON THIS DRAWING, BY THE CITY OF RYE.



1. **GENERAL:**
Replace all damaged framing, sheathing, siding, insulation, wall covering, millwork, trim and finishes.
The extent of structural damage is based on field observations and/or assumptions regarding the current condition at the site; Any additional damage, observed on further examination, or exposed on the removal of finishes, should be brought to the attention of the architect and the owner.
2. **FRAMING :**
Replace damaged areas of exterior wall framing including studs, top and bottom plates & plywood sheathing.
All framing to be per *Section R602 Wood Wall Framing* and as follows:
R602.2 Grade
Studs shall be a minimum No. 3, standard or stud grade lumber.
Exception: Bearing studs not supporting floors and nonbearing studs shall be permitted to be utility grade lumber, provided that the studs are spaced in accordance with Table R602.3(5).
R602.3 Design and Construction
Components of exterior walls shall be fastened in accordance with tables r602.3(1) through r602.3(4). Wall sheathing shall be fastened directly to framing members and, where placed on the exterior side of an exterior wall, shall be capable of resisting the wind pressures listed in table r301.2(2) adjusted for height and exposure using table r301.2(3) and shall conform to the requirements of table r602.3(3).
3. **THERMAL AND MOISTURE PROTECTION:**
Install 4" R11 (in walls)
Fill all exposed cavities with insulation. ((NY) N1101.1, Exception 1.3. Existing ceiling, wall or floor cavities exposed during construction provided that these cavities are filled with insulation)
Per N1102.1.1 (R402.1.1) and the vapor retarder requirements of section R702.7, install class II vapor retarder.
4. **DRYWALL & FINISHES:**
Install 5/8" gypsum board to all damaged areas, tape and float, prepare for paint.
Seal/prime and two coats of paint on walls, ceiling, millwork and trim.
Sand, stain and finish wood flooring including stair treads.
5. **MILLWORK:**
Install new double-hung window to meet N1102.1.2 (R402.1.2) insulation and fenestration criteria
Replace all damaged trim including baseboard and window and door casing; Detach and reset handrail at stairs to second floor.
Detach and reset fireplace surround.
Remove hardwood flooring and screw down existing subfloor as required to eliminate squeaks; Replace hardwood flooring.
6. **KITCHEN:**
Detach and reset cabinetry including base, wall and full-height cabinets and countertops; Install new backsplash.
Detach and reset plumbing, fixtures and appliances
7. **PLUMBING:**
All Plumbing work is to be completed per PAT VII of the 2020 New York State Residential Code and by a plumbing contractor licensed in Westchester County.
Plumbing work is to be filed under a separate permit.
8. **ELECTRICAL:**
Replace light fixtures and wiring per NFPA 70 and Chapter 34 of the 2020 New York State Residential Code, the National Fire Protection Association (NFPA 70-2017) and the 2017 National Electrical Code.
All Electrical work is to be performed by a licensed electrical contractor, licensed in Westchester County.
Electrical work is to be filed under a separate permit.

NOTE:
THIS DRAWING IS VALID FOR
CONSTRUCTION IF (AND ONLY IF)
A PERMIT IS ISSUED, BASED ON
THIS DRAWING, BY THE CITY OF
RYE.

WINDOWS:

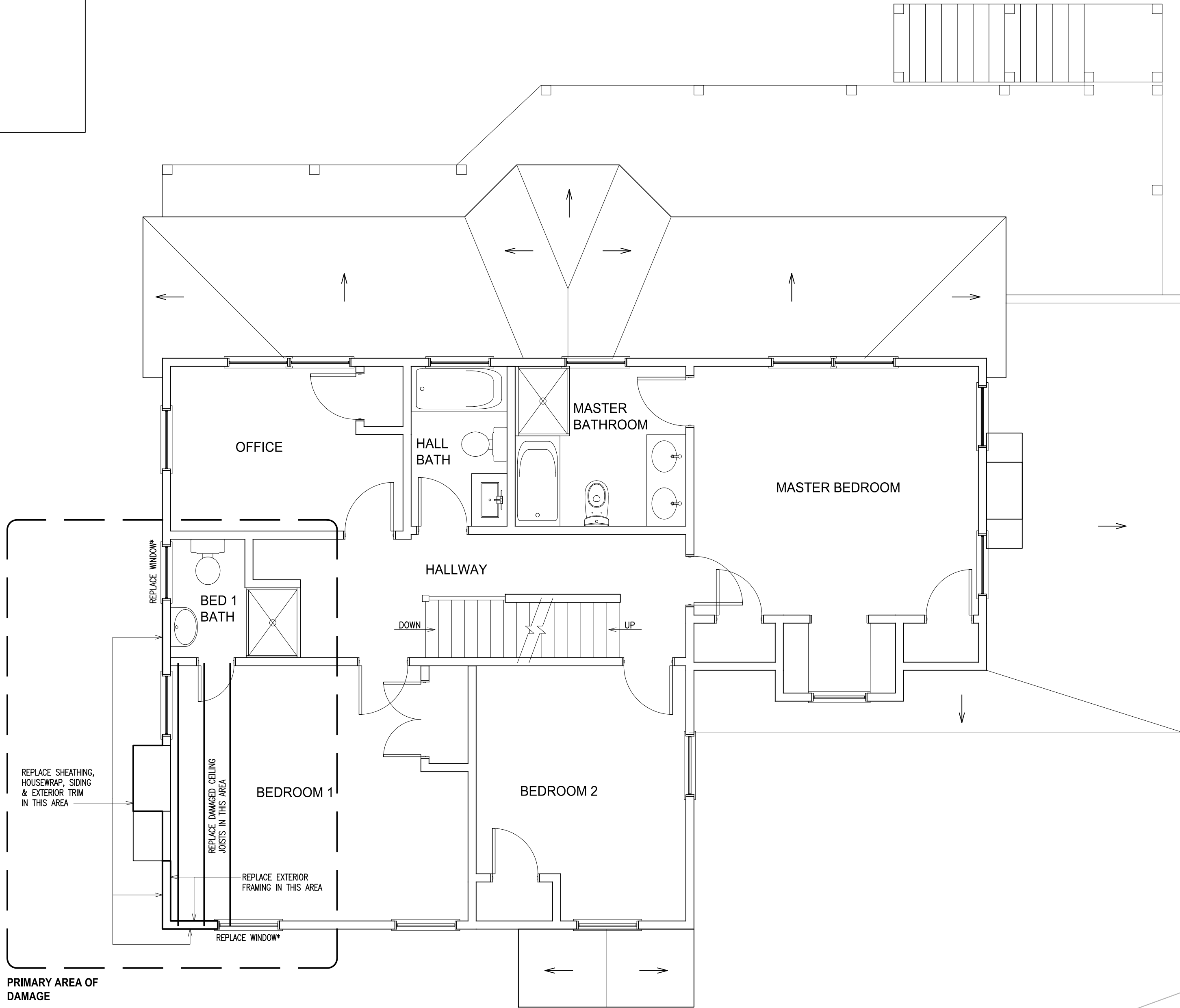
All new windows to be *Pella Architect* or *Lifestyle* series double-hung wood.
All new windows must meet the Fenestration Criteria of TABLE N1102.1.2 (R402.1.2) and as follows:
Fenestration U-Factor: Minimum 0.32 BTU/H/s.f./F
Solar Heat Gain Coefficient (SHGC): Minimum 0.4



BED 1 BATHROOM



BEDROOM 1



SECOND FLOOR PLAN
1/4" = 1'-0"

STORM DAMAGE AND MOISTURE INTRUSION REPAIR.
SCOPE OF WORK IN SECOND FLOOR:

- GENERAL:**
Replace all damaged framing, sheathing, siding, insulation, wall covering, millwork, trim and finishes.
The extent of structural damage is based on field observations and/or assumptions regarding the current condition at the site; Any additional damage, observed on further examination, or exposed on the removal of finishes, should be brought to the attention of the architect and the owner.
- FRAMING :**
Replace damaged areas of exterior wall framing including studs, top and bottom plates & plywood sheathing.
All framing to be per *Section R602 Wood Wall Framing* and as follows:
R602.2 Grade
Studs shall be a minimum No. 3, standard or stud grade lumber.
Exception: Bearing studs not supporting floors and nonbearing studs shall be permitted to be utility grade lumber, provided that the studs are spaced in accordance with Table R602.3(5).
R602.3 Design and Construction
Components of exterior walls shall be fastened in accordance with tables r602.3(1) through r602.3(4). Wall sheathing shall be fastened directly to framing members and, where placed on the exterior side of an exterior wall, shall be capable of resisting the wind pressures listed in table r301.2(2) adjusted for height and exposure using table r301.2(3) and shall conform to the requirements of table r602.3(3).
- THERMAL AND MOISTURE PROTECTION:**
Install 10" R30 foil-faced insulation (in ceiling) and 4" R11 (in walls)
Fill all exposed cavities with insulation. ((NY) N1101.1, Exception 1.3.
Existing ceiling, wall or floor cavities exposed during construction provided that these cavities are filled with insulation)
Per N1102.1.1 (R402.1.1) and the vapor retarder requirements of section R702.7, install class II vapor retarder.
- DRYWALL & FINISHES:**
Install 5/8" gypsum board to all damaged areas, tape and float, prepare for paint.
Seal/prime and two coats of paint on walls, ceiling, millwork and trim.
Sand, stain and finish wood flooring including stair treads.
- MILLWORK:**
Install new double-hung window(s) to meet N1102.1.2 (R402.1.2) insulation and fenestration criteria
Replace all damaged trim including baseboard and window and door casing.
- BATHROOM:**
Demolish tile floor, tile shower; Install new mud bed, new shower pan.
Repair drywall, re-tape and float as needed.
Remove and reset all plumbing fixtures.
Replace exhaust fan, lights and wiring; GFI and all wiring per NEC.
All tile installation per ANSI 108 and standards of the Tile Council of North America.
- PLUMBING:**
All Plumbing work is to be completed per PART VII of the 2020 New York State Residential Code and by a plumbing contractor licensed in Westchester County.
Plumbing work is to be filed under a separate permit.
- ELECTRICAL:**
Replace light fixtures and wiring per PART VII and Chapter 34 of the 2020 New York State Residential Code, the National Fire Protection Association (NFPA 70-2017) and the 2017 National Electrical Code.
All Electrical work is to be performed by a licensed electrical contractor, licensed in Westchester County.
Electrical work is to be filed under a separate permit.

Oliver Engineering, P.C.
Design - Permit Applications - Legalizations
Code Compliance - Project Supervision
163 North Main Street, #207 Port Chester, NY 10573
(914) 774-9878 www.proeng.nyc info@proeng.nyc.com

PROPERTY OWNER:

RYE, NY 10580

ARCHITECT:

Michael A. Gismondi, AIA
7-11 Legion Drive
Valhalla, NY 10595
914-494-8943
Email-mgismo6464@aol.com

STAMP:

DATE: 12.21.2020
ISSUE: FOR PERMIT

PROJECT NAME:
TREE DAMAGE REPAIR

DRAWING NUMBER:
A-03

DRAWING NAME:
SECOND FLOOR

SCALE: AS NOTED
DATE: 12.21.2020

NOTE:
THIS DRAWING IS VALID FOR CONSTRUCTION IF (AND ONLY IF) A PERMIT IS ISSUED, BASED ON THIS DRAWING, BY THE CITY OF RYE.



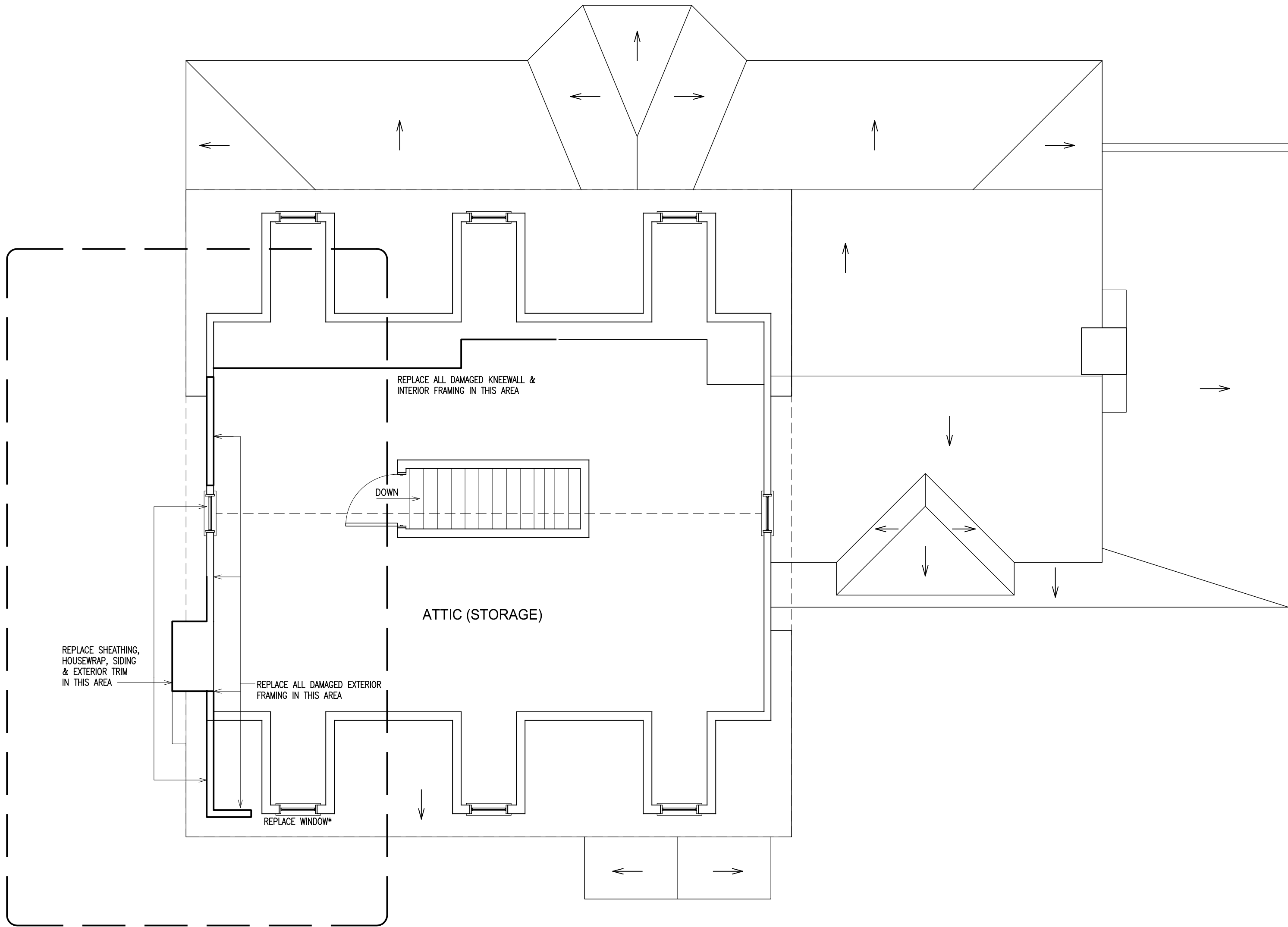
FRONT DORMER - TO BE REBUILT



REPLACE WINDOW; REFRAME WALL



REPLACE DAMAGED FRAMING



PRIMARY AREA OF DAMAGE

THIRD FLOOR - AND PARTIAL ROOF - PLAN
1/4" = 1'-0"

STORM DAMAGE AND MOISTURE INTRUSION REPAIR.
SCOPE OF WORK IN ATTIC:

- GENERAL:**
Replace all damaged framing, sheathing, siding, insulation, wall covering, millwork, trim and finishes.
The extent of structural damage is based on field observations and/or assumptions regarding the current condition at the site; Any additional damage, observed on further examination, or exposed on the removal of finishes, should be brought to the attention of the architect and the owner.
- FRAMING :**
Replace damaged areas of exterior wall framing including studs, top and bottom plates & plywood sheathing.
All framing to be per *Section R602 Wood Wall Framing* and as follows:
R602.2 Grade
Studs shall be a minimum No. 3, standard or stud grade lumber.
Exception: Bearing studs not supporting floors and nonbearing studs shall be permitted to be utility grade lumber, provided that the studs are spaced in accordance with Table R602.3(5).
R602.3 Design and Construction
Components of exterior walls shall be fastened in accordance with tables R602.3(1) through R602.3(4). Wall sheathing shall be fastened directly to framing members and, where placed on the exterior side of an exterior wall, shall be capable of resisting the wind pressures listed in table R301.2(2) adjusted for height and exposure using table R301.2(3) and shall conform to the requirements of table R602.3(3).
- THERMAL AND MOISTURE PROTECTION:**
Install 10" R30 foil-faced insulation (in ceiling) and 4" R11 (in walls)
Fill all exposed cavities with insulation. ((NY) N1101.1, Exception 1.3.
Existing ceiling, wall or floor cavities exposed during construction provided that these cavities are filled with insulation
Per N1102.1.1 (R402.1.1) and the vapor retarder requirements of section R702.7, install class II vapor retarder.
- DRYWALL & FINISHES:**
Install 5/8" gypsum board, tape and float, prepare for paint.
Seal/prime and two coats of paint on walls, ceiling, millwork and trim.
Sand, stain and finish wood treads on stairs.
Install new carpet and padding.
- MILLWORK:**
Detach, adjust and refit all doors; detach and refit wood stair handrail
Install new double-hung window to meet N1102.1.2 (R402.1.2) insulation and fenestration criteria
Replace built-in bookcase; replace all damaged trim including baseboard and window and door casing.
- ELECTRICAL:**
Replace light fixtures and wiring per Part VIII and Chapter 34 of the 2020 New York State Residential Code, the National Fire Protection Association (NFPA 70-2017) and the 2017 National Electrical Code.
All Electrical work is to be performed by a licensed electrical contractor, licensed in Westchester County.
Electrical work is to be filed under a separate permit.

Oliver Engineering, P.C.

Design - Permit Applications - Legalizations

Code Compliance - Project Supervision

163 North Main Street, #207 Port Chester, NY 10573

(914) 774-9878 www.proeng.nyc info@proeng.nyc.com

PROPERTY OWNER:

RYE, NY 10580

ARCHITECT:

Michael A. Gismondi, AIA
7-11 Legion Drive
Valhalla, NY 10595
914-494-8943
Email-mgismo6464@aol.com

STAMP:

DATE: 12.21.2020

ISSUE: FOR PERMIT

PROJECT NAME:

TREE DAMAGE REPAIR

DRAWING NUMBER:

A-04

DRAWING NAME:

ATTIC

SCALE: AS NOTED

DATE: 12.21.2020

NOTE:

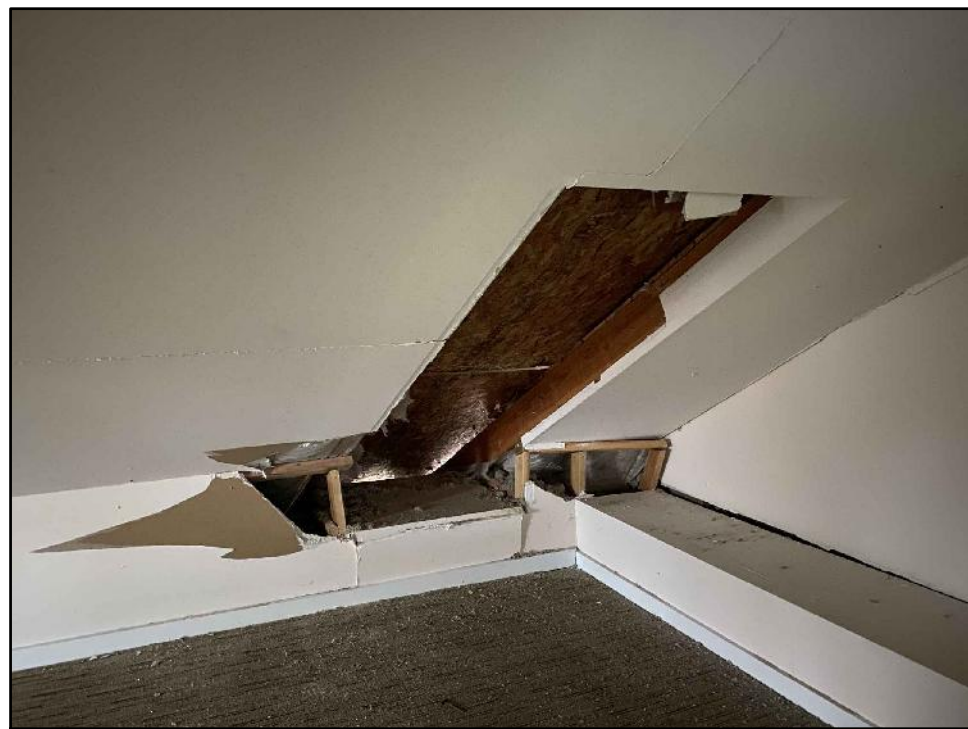
THIS DRAWING IS VALID FOR CONSTRUCTION IF (AND ONLY IF) A PERMIT IS ISSUED, BASED ON THIS DRAWING, BY THE CITY OF RYE.



ROOF AT REAR DORMER



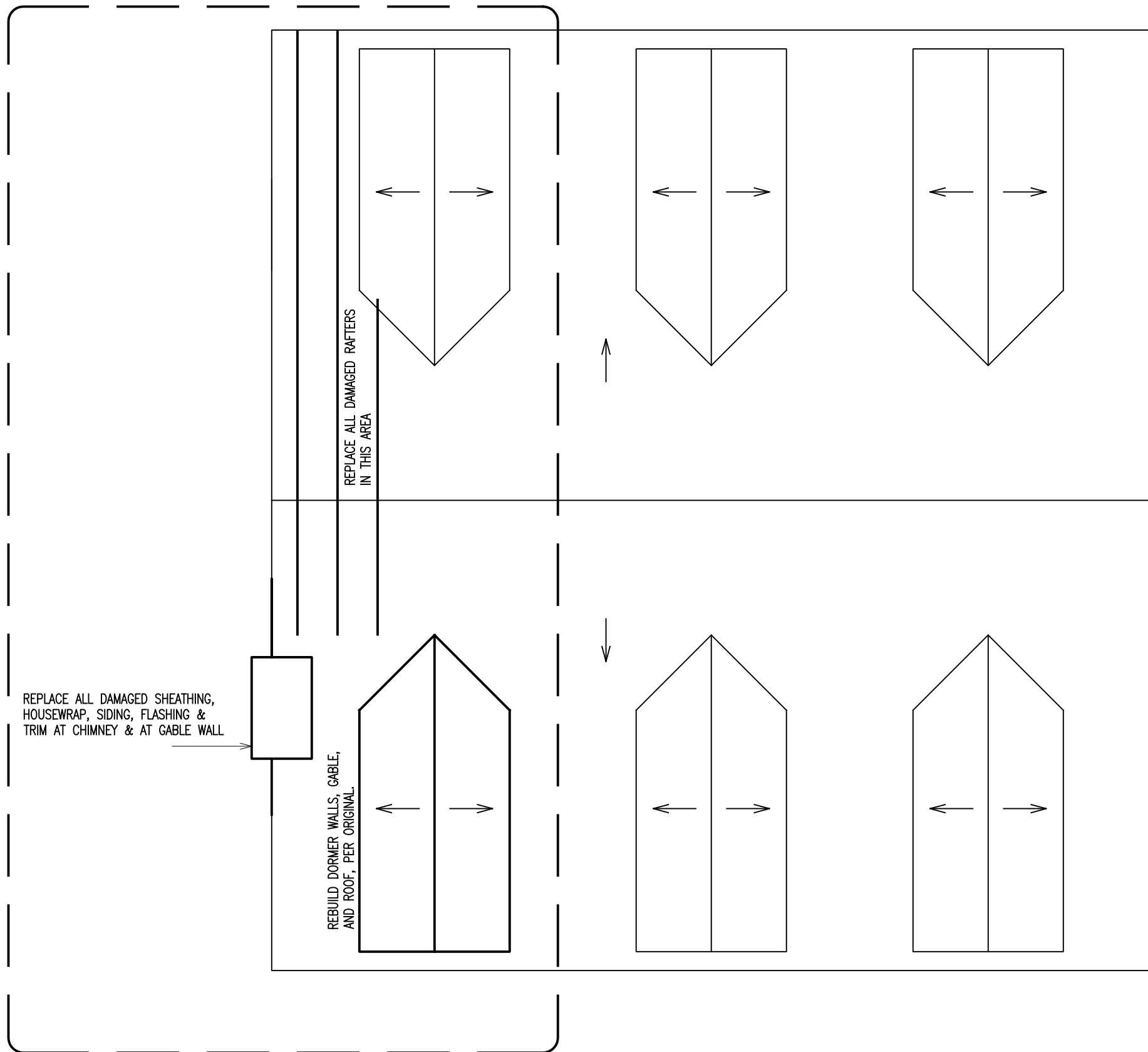
GABLE AND ROOF



FRONT DORMER - TO BE REBUILT



WALL FRAMING, SIDING, WINDOWS, CHIMNEY, DORMER (MISSING) & ROOF



PRIMARY AREA OF DAMAGE

HIGH ROOF PLAN
1/4" = 1'-0"

STORM DAMAGE AND MOISTURE INTRUSION REPAIR.

ROOF AND EXTERIOR:

- GENERAL:**
Replace all damaged framing, sheathing, siding, insulation, wall covering, millwork, trim and finishes.
The extent of structural damage is based on field observations and/or assumptions regarding the current condition at the site; Any additional damage, observed on further examination, or exposed on the removal of finishes, should be brought to the attention of the architect and the owner.
- FRAMING :**
Replace damaged areas of exterior wall framing including studs, top and bottom plates & plywood sheathing.
All framing to be per *Section R602 Wood Wall Framing* and as follows:
R602.2 Grade
Studs shall be a minimum No. 3, standard or stud grade lumber.
Exception: Bearing studs not supporting floors and nonbearing studs shall be permitted to be utility grade lumber, provided that the studs are spaced in accordance with Table R602.3(5).
R602.3 Design and Construction
Components of exterior walls shall be fastened in accordance with tables r602.3(1) through r602.3(4). Wall sheathing shall be fastened directly to framing members and, where placed on the exterior side of an exterior wall, shall be capable of resisting the wind pressures listed in table r301.2(2) adjusted for height and exposure using table r301.2(3) and shall conform to the requirements of table r602.3(3).
- DORMER:**
Rebuild dormer in existing location and to existing design - match other dormers; Remove and replace damaged /missing rafters, ridge beam, dormer walls, ceiling joists, roof and wall sheathing.
- ROOF:**
Remove existing shingle and replace with matching laminated composite shingle; Include ridge vent, ice and water shield, drip edge, ridge cap, flashing, step flashing, (pipe and vent) flashing boot(s).
- CHIMNEY:**
Install copper flashing to chimney chase; Install flue cap; Clean and inspect chimney flue and fireplace; Correct any deficiencies.
- THERMAL AND MOISTURE PROTECTION:**
Fill all exposed cavities with insulation. ((NY) N1101.1, Exception 1.3.
Existing ceiling, wall or floor cavities exposed during construction provided that these cavities are filled with insulation)
Per N1102.1.1 (R402.1.1) and the vapor retarder requirements of section R702.7, install class II vapor retarder.
- HVAC:**
Replace existing 2-ton Central air condenser unit with Bryant 13 SEER unit on new 36"x36" condenser pad;
Evacuate system, replace lineset, recharge system;
Detach and reset air handler, remove furnace and AC coil; reinstall and tie into existing chimney; Replace gas coil;
Inspect service and/or replace existing ductwork; Install new 2" furnace supply duct.

PROPERTY OWNER:

RYE, NY 10580

ARCHITECT:

Michael A. Gismondi, AIA
7-11 Legion Drive
Valhalla, NY 10595
914-494-8943
Email-mgismo6464@aol.com

STAMP:

DATE: 12.21.2020
ISSUE: FOR PERMIT

PROJECT NAME:
TREE DAMAGE REPAIR

DRAWING NUMBER:
A-05

DRAWING NAME:
ROOF

SCALE: AS NOTED
DATE: 12.21.2020

NOTE:
THIS DRAWING IS VALID FOR CONSTRUCTION IF (AND ONLY IF) A PERMIT IS ISSUED, BASED ON THIS DRAWING, BY THE CITY OF RYE.