

SITE PLAN
BACKGROUND INFORMATION FROM SURVEY BY ARISTOTLE BOURNAZOS, P.C. 08.12.1994
1" = 5'

SITE WORK

EXCAVATION SAFETY:

THE CONTRACTOR SHALL COMPLY WITH THE TRENCHING AND EXCAVATION REQUIREMENTS OF 29 CFR 1926.651 AND 1926.652 OR COMPARABLE OSHA-APPROVED STATE PLAN REQUIREMENTS. TRENCHES 5 FEET DEEP OR GREATER REQUIRE A PROTECTIVE SYSTEM UNLESS THE EXCAVATION IS MADE ENTIRELY IN STABLE ROCK.

THE CONTRACTOR SHALL HAVE A COMPETENT PERSON INSPECT EXCAVATIONS DAILY AND AS CONDITIONS CHANGE TO ENSURE ELIMINATION OF EXCAVATION HAZARDS.

A COMPETENT PERSON IS AN INDIVIDUAL WHO IS CAPABLE OF IDENTIFYING EXISTING AND PREDICTABLE HAZARDS OR WORKING CONDITIONS THAT ARE HAZARDOUS, UNSANITARY, OR DANGEROUS TO WORKERS, SOIL TYPES AND PROTECTIVE SYSTEMS REQUIRED, AND WHO IS AUTHORIZED TO TAKE PROMPT CORRECTIVE MEASURES TO ELIMINATE THESE HAZARDS AND CONDITIONS.

EXCAVATION - LOCATING UTILITIES - CALL 811:

NEW YORK STATE LAW (16 NYCRR PART 753) REQUIRES ALL EXCAVATORS TO PLACE A LOCATION REQUEST WITH DIG SAFELY NEW YORK AT LEAST TWO (2) FULL WORKING DAYS, BUT NO MORE THAN 10 WORKING DAYS BEFORE BEGINNING AN EXCAVATION PROJECT IN ORDER TO ENSURE ALL UNDERGROUND UTILITY LINES ARE PROPERLY MARKED BY THEIR OWNERS.

A LOCATION REQUEST MAY BE PLACED, AND THE PROCESS OF MARKING UNDERGROUND UTILITIES MAY BE TRACKED, BY USING THE ONLINE LOCATION REQUEST PROGRAM, EXACTIX. OR, THE EXCAVATOR MAY CALL 811 TO PLACE THE LOCATION REQUEST.

- NOTIFY: NOTIFY 811 ONLINE WITH EXACTIX OR BY CALLING 811.
- WAIT: AT LEAST TWO DAYS FOR UTILITIES TO RESPOND (NOT INC. THE DAY YOU CALL).
- CONFIRM: CHECK ALL UTILITIES HAVE RESPONDED.
- RESPECT: ADHERE TO UTILITY MARKS AND FLAGS.
- DIG W/CAUTION: DIG CAREFULLY AROUND BURIED UTILITIES.

NOTE:
THE CITY OF NEW ROCHELLE MAY REQUIRE THE CONTRACTOR TO PROVIDE A "DIG SAFELY" CODE 753 CASE NUMBER.

EROSION CONTROL:

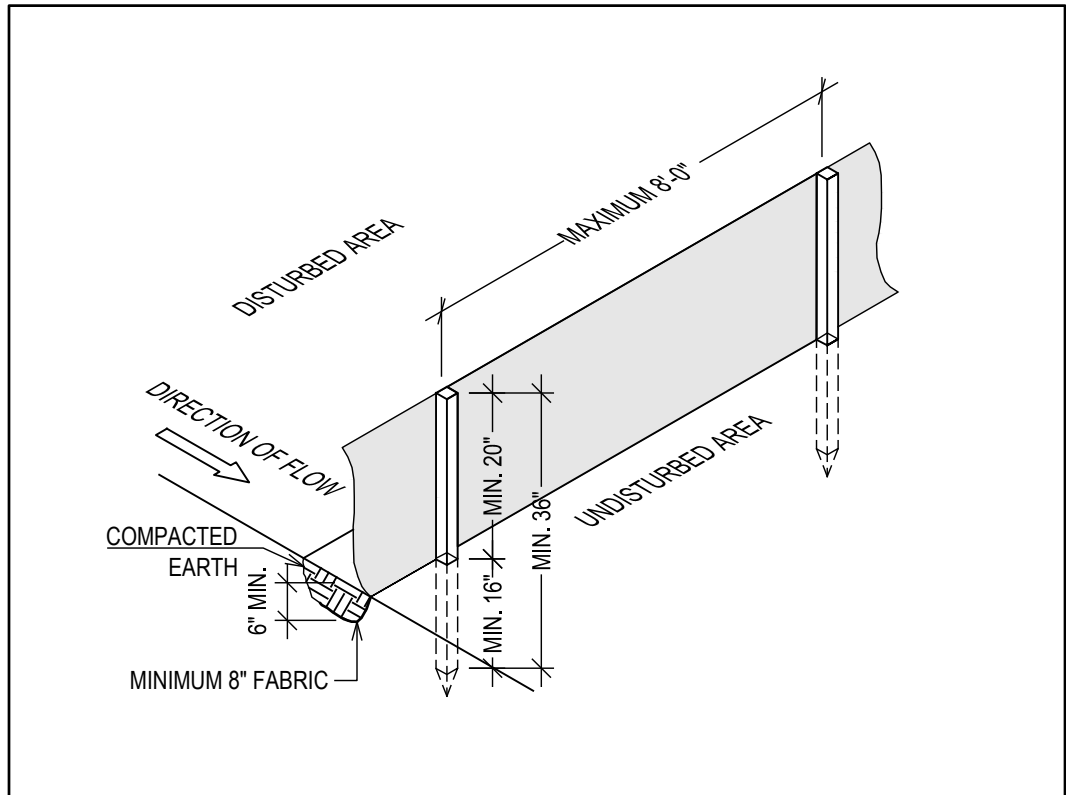
THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYS DEC) PROVIDES MINIMUM STANDARDS AND SPECIFICATIONS FOR THE CONTROL OF STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY. EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, WITH ALL RELEVANT REGULATIONS OF THE CITY OF NEW ROCHELLE AND AS FOLLOWS:

THE SILT FENCE SHALL BE INSTALLED BEFORE UP-SLOPE GROUND COVER IS REMOVED. FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE; A RUN OF SILT FENCE SHOULD FOLLOW THE CONTOUR AS CLOSELY AS POSSIBLE WITH THE ENDS TURNED UPSLOPE TO POND WATER BEHIND THE FENCE.

THE SILT FENCE FABRIC SHOULD BE BURIED AT LEAST 6" DEEP AND HAVE A TOTAL OF 8" (MINIMUM) FABRIC BELOW THE GROUND.

STAKES SHALL BE A MINIMUM OF 2X2 NOMINAL (1 1/2" X 1 1/2" ACTUAL) HARDWOOD AND OF SOUND QUALITY; THE STAKES SHALL BE PLACED ON THE DOWN-SLOPE SIDE OF THE GEOTEXTILE AND AT A MAXIMUM SPACING OF 8'-0" ON CENTER.

THE APPLICANT AND/OR CONTRACTOR SHALL ESTABLISH EROSION CONTROL AS NOTED IN THESE DRAWINGS AND SHALL MAINTAIN EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION UNTIL SUCH TIME THAT THE BUILDING INSPECTOR DEEMS THE LAND TO BE STABLE.



SEDIMENT FENCE DETAIL
NOT TO SCALE

BUILDING AND IMPERVIOUS AREA COVERAGE				
	BUILDING COVERAGE		IMPERVIOUS COVERAGE	
	EXISTING	PROPOSED	EXISTING	PROPOSED
HOUSE FOOTPRINT	1,996.7	1,996.7	2,220.2	2,220.2
REAR PATIO & CONC. WALK			523.9	523.9
FRONT DRIVEWAY			351.4	351.4
FRONT PLATFORM				5.0
FRONT STEPS			144.5	143.6
FORNT WALKWAY				
TOTAL:	1,996.7	1,996.7	3,240.0	3,244.1

ZONING COMPLIANCE				
ADDRESS:	ZONE	RT-10A	MUNICIPALITY:	CITY OF NEW ROCHELLE
	REQUIRED	EXISTING	PROPOSED	
LOT INFORMATION				
LOT AREA (SF)		10,000.0	7,500.0	NO CHANGE
LOT FRONTAGE (FT)		100.0		NO CHANGE
YARD SETBACKS (FT):				
FRONT YARD		25.0	25.6	NO CHANGE
REAR YARD		30.0		NO CHANGE
FIRST SIDE YARD		8.0	8.0	NO CHANGE
SECOND SIDE YARD		12.0	8.1	NO CHANGE
TOTAL OF TWO		20.0	14.1	NO CHANGE
SIDE YARD ADJOINING STREET				
PRINCIPAL BUILDING INFORMATION				
GROSS FLOOR AREA (SF)				NO CHANGE
BUILDING HEIGHT				NO CHANGE
STORES				NO CHANGE
HEIGHT TO PRINCIPAL EAVE (FT)				NO CHANGE
HEIGHT TO HIGHEST ROOF RIDGE (FT)				NO CHANGE
BUILDING COVERAGE				
PRINCIPAL BUILDING COVERAGE (SF)		2,250.0	1,996.7	NO CHANGE
PRINCIPAL BUILDING COVERAGE (%)		30.0%	26.6%	NO CHANGE
ACCESSORY BUILDING COVERAGE (SF)				NO CHANGE
ACCESSORY BUILDING COVERAGE (%)				NO CHANGE
ACCESSORY STRUCTURES				
DETACHED GARAGE		NOT APPLICABLE		
SETBACKS				
TO PRINCIPAL BUILDING (FT)		"		
TO SIDE LOT LINE (FT)		"		
TO REAR LOT LINE (FT)		"		
BUILDING HEIGHT				
HEIGHT TO PRINCIPAL EAVE (FT)		"		
HEIGHT TO HIGHEST ROOF RIDGE (FT)		"		
IMPERVIOUS SURFACE COVERAGE				
IMPERVIOUS SURFACE COVERAGE (SF)		3,750.0	3,240.0	3,244.1
IMPERVIOUS SURFACE COVERAGE (%)		50%	43.2%	43.3%

PROPERTY ADDRESS:

SCARSDALE, NY 10583
(CITY OF NEW ROCHELLE
BUILDINGS DEPARTMENT)

S-B-L:

CLIENT:
*** **

TEL: ***
EMAIL: dan.cadwallader
kelly@gmail.com

DATE: 05.05.2025
06.19.2025
ISSUE: PRELIMINARY
FOR PERMIT

PROJECT NAME:
EXTEND FRONT PORCH

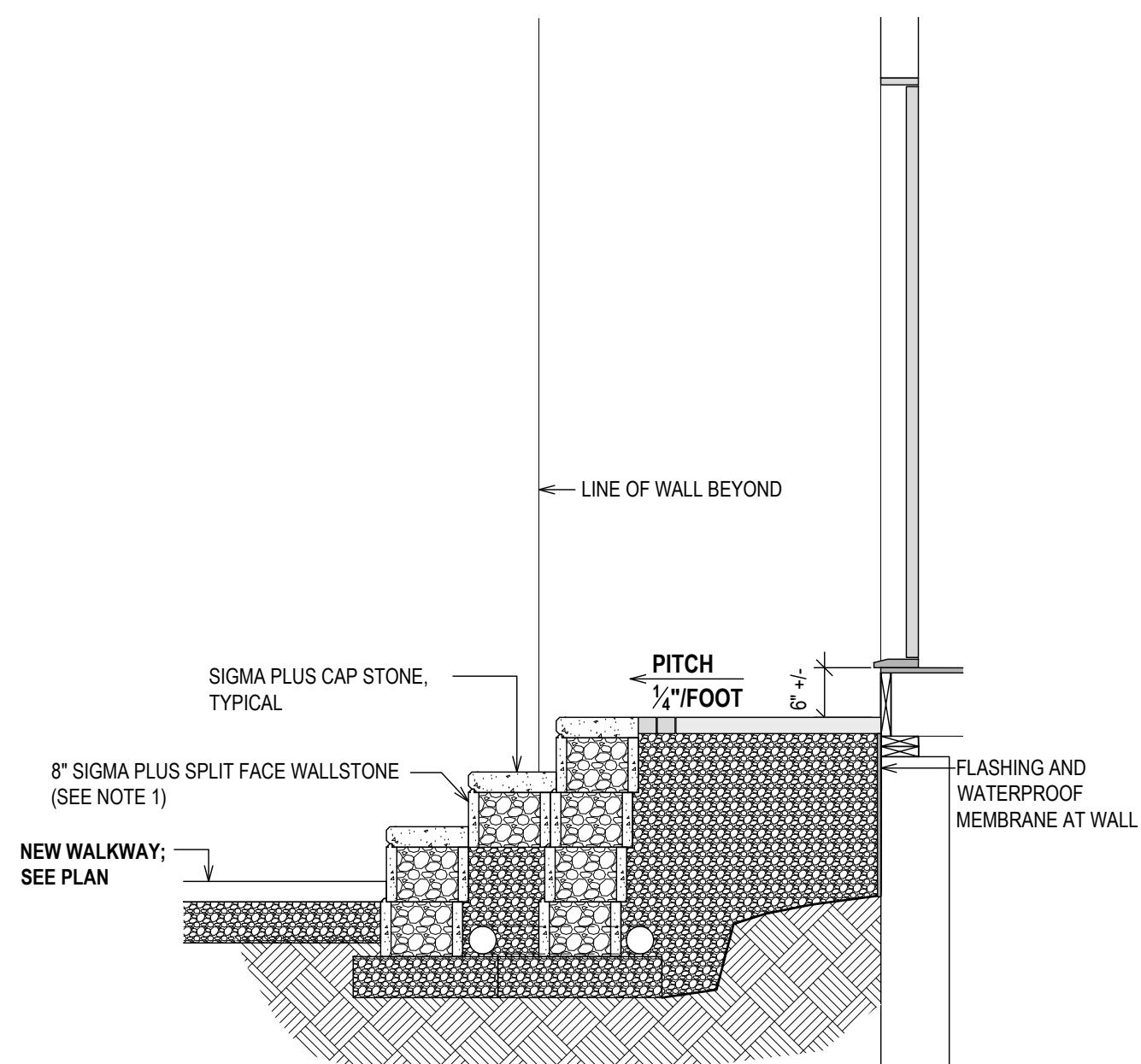
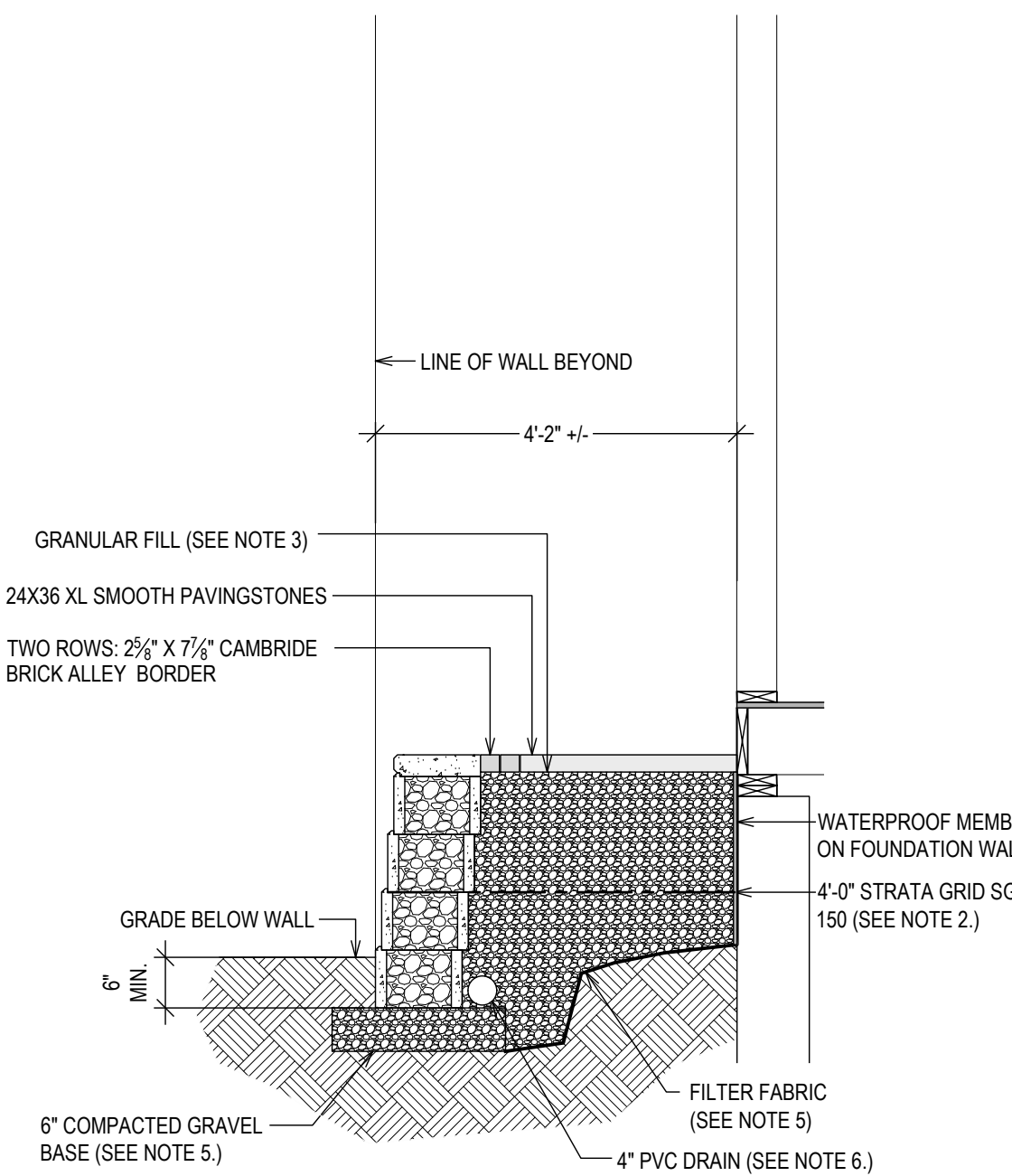
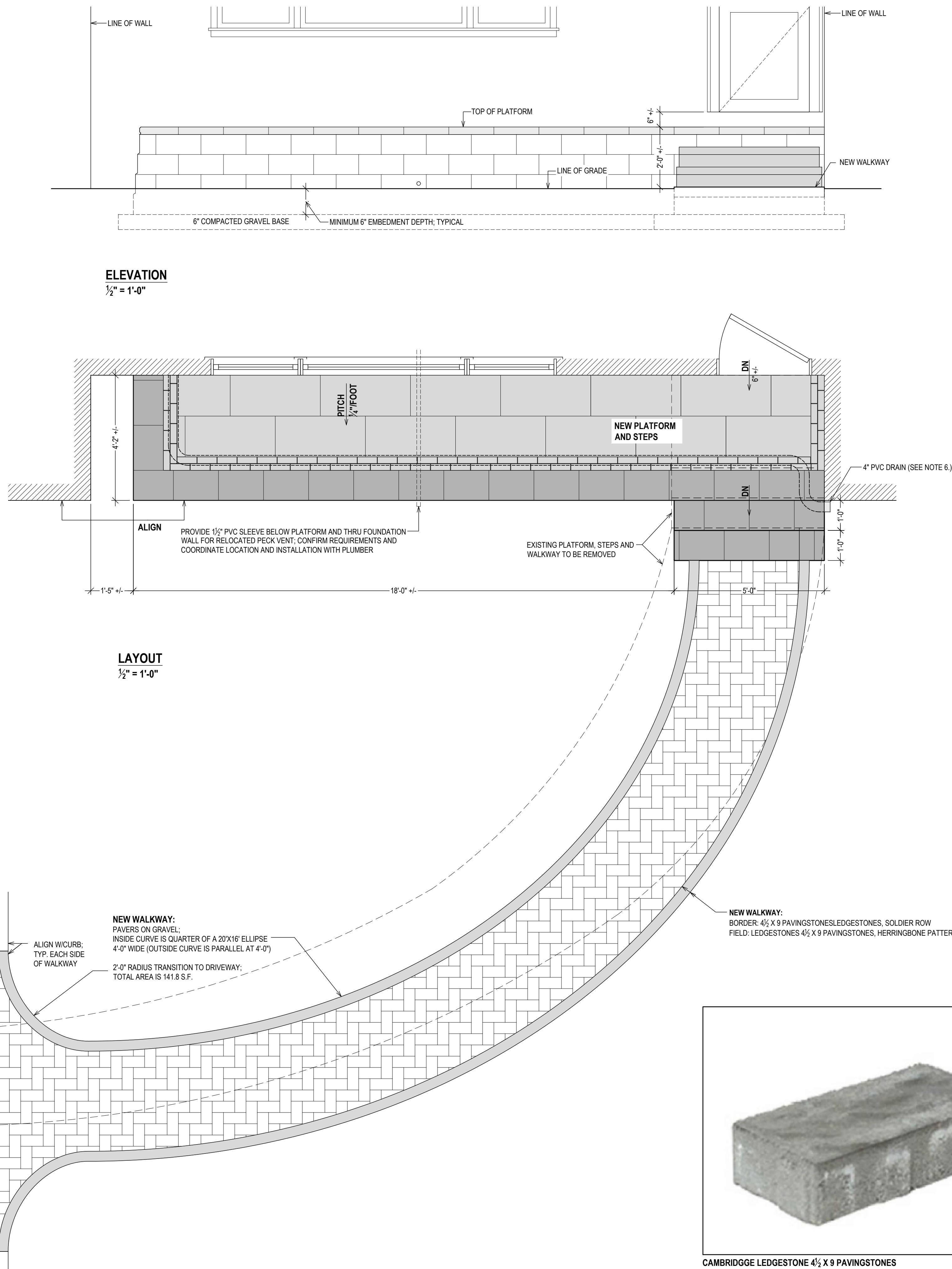
DRAWING NAME:
SITE PLAN

DRAWING NUMBER:
S-01

DATE:
06.19.2025
SCALE:
AS NOTED

NOTE:
THIS DRAWING IS VALID FOR
CONSTRUCTION IF (AND ONLY IF) A
PERMIT IS ISSUED, BASED ON THIS
DRAWING, BY THE CITY OF NEW
ROCHELLE.

Oliver Engineering, P.C.
Design - Permit Applications - Legalizations
Code Compliance - Project Supervision
188 North Main Street | Port Chester, NY 10573
(914) 774-9878 | www.proeng.nyc | vc@proeng.nyc



SRW (SEGMENTAL RETAINING WALL) SECTION NOTES

- 1. SEGMENTAL BLOCK:**
CAMBRIDGE SIGMA 8 PLUS SPLIT FACE; INSTALL PER MANUFACTURERS INSTRUCTIONS; FILL CORES WITH GRANULAR FILL.
- 2. GEOGRID:**
STRATA GRID SG 150, TENSILE STRENGTH; INSTALL PER MANUFACTURERS INSTRUCTIONS. (NOT APPLICABLE TO THIS DRAWINGS)
- 3. GRANULAR FILL:**
WELL-GRADED COMPACTIBLE AGGREGATE, 3/4" TO 1 1/2" WITH NO MORE THAN 10% FINES (PASSING THE #200 SIEVE); MATERIAL BEHIND AND IN THE BLOCKS MAY BE THE SAME MATERIAL.
- 4. FILTER FABRIC:**
FILTER FABRIC SHALL BE MINIMUM 8 OZ. NONWOVEN GEOTEXTILE WITH MINIMUM TENSILE STRENGTH OF 205 LBS (PER ASTM D463), 95 LB PUNCTURE RESISTANCE (PER ASTM D4833) AND WATER FLOW RATE OF 90 GPM/SF (PER ASTM D4491).
- 5. GRAVEL BASE:**
MAY BE THE SAME MATERIAL AS THE GRANULAR FILL.
TOP OF BASE SHALL BE LOCATED TO ALLOW BOTTOM WALL UNITS TO BE BURIED TO PROPER DEPTH NOTED.
BASE MATERIAL SHALL BE INSTALLED ON UNDISTURBED NATIVE SOILS OR SUITABLE REPLACEMENT FILLS COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR (ASTM D698).
- 6. DRAIN:**
4" PERFORATED PVC PIPE WITH FILTER SOCK; DRAIN TO DAYLIGHT.
- 7. EXCAVATION:**
SEE GENERAL NOTES ON EXCAVATION SAFETY, AND LOCATING UTILITIES, ON SHEET S-01.



CAMBRIDGE CAP STONE



CAMBRIDGE SIGMA 8 PLUS SPLIT FACE WALLSTONE



CAMBRIDGE LEDGESTONE 4 1/2 X 9 PAVINGSTONES



24X36 CAMBRIDGE XL SMOOTH PAVINGSTONES



5 1/4" X 7 1/4" CAMBRIDGE BRICK ALLEY

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kelly@gmail.com

DATE: 05.05.2025
06.19.2025
ISSUE: PRELIMINARY
FOR PERMIT

PROJECT NAME:
EXTEND FRONT PORCH

DRAWING NAME:
LAYOUT

DRAWING NUMBER:
S-02

DATE:
06.19.2025
SCALE:
AS NOTED

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