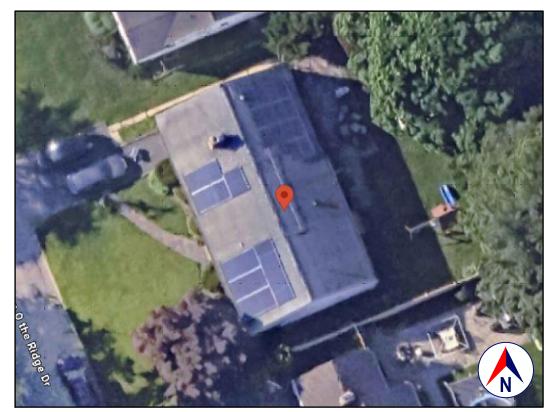


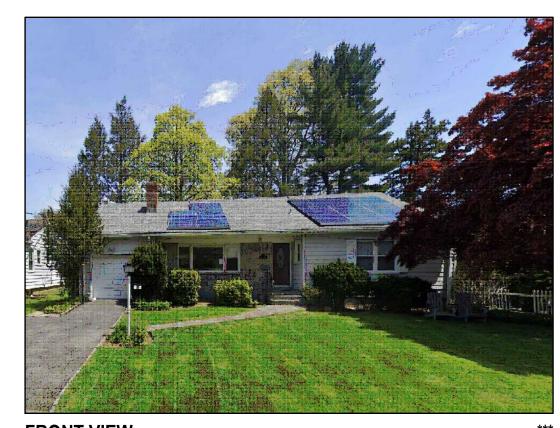
LOCATION **GOOGLE MAPS** 



**SATELLITE VIEW GOOGLE EARTH** 



TAX MAP AND TOPO **WESTCHESTER COUNTY GIS** 



**FRONT VIEW GOOGLE STREET VIEW** 

THIS DRAWING IS AS A SAMPLE ONLY \*\* PERSONAL (CLIENT) INFORMATION WITHHELD

### 1.0 GENERAL REQUIREMENTS:

1.1 PROJECT SCOPE: EXTEND EXISTING PLATFORM AT FRONT PORCH, REBUILD STEPS.

1.2 DESIGN INTENT: THE INVOLVEMENT OF OLIVER ENGINEERING IN THIS PROJECT IS: PROVIDE DESIGN AND DRAWINGS.

IT IS THE INTENT OF THESE DRAWINGS TO CALL FOR COMPLETE AND FINISHED WORK, IN COMPLIANCE WITH THE NOTED CODES, AND TESTED AND GUARANTEED AND READY FOR OPERATION.

THE ENGINEER HAS NOT BEEN ENGAGED TO SUPERVISE ANY WORK AND DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

### 1.3 EXISTING CONSTRUCTION TYPE:

THE EXISTING BUILDING, PER THE BUILDING CODE OF NEW YORK STATE, TABLE 601 IS CONSTRUCTION TYPE VB - CONSTRUCTION WHERE THE PRIMARY ELEMENTS ARE NOT REQUIRED TO BE FIRE RATED.

## 1.4 CLASSIFICATION OF PROPOSED WORK:

THE PROPOSED WORK IS OUTSIDE OF THE EXISTING BUILDING ENVELOPE; THE CODES REFERENCED BELOW APPLY TO ALL PROPOSED WORK.

### 1.5 ZONING, OCCUPANCY AND USE:

INSIDE/OUTSIDE: YEAR BUILT: 1953 (PER ZILLOW) R1-10A ONE FAMILY RESIDENCE ZONING: OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-3 \* EXISTING USE: SINGLE FAMILY

\* WHERE THE OCCUPANTS ARE PRIMARILY PERMANENT IN NATURE AND NOT CLASSIFIED AS OCCUPANCY GROUP R-1, R-2, R-4 OR I, INCLUDING BUILDINGS THAT DO NOT CONTAIN MORE THAN TWO DWELLING UNITS.

SINGLE FAMILY (NO CHANGE)

## 1.6 COMPLIANCE:

PROPOSED USE:

\*\*\*, SCARSDALE

- ALL WORK SHALL BE IN COMPLIANCE WITH THE FOLLOWINGS CODES:
- GENERAL: 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS)
- EXISTING: EXISTING BUILDING CODE OF NEW YORK STATE (INTERNATIONAL EXISTING BUILDING CODE 2018 WITH AMENDMENTS).
- ENERGY: NOT APPLICABLE TO THESE DRAWINGS.
- PLUMBING: NOT APPLICABLE TO THESE DRAWINGS.
- ELECTRICAL: NOT APPLICABLE TO THESE DRAWINGS. DRAINAGE: NOT APPLICABLE TO THESE DRAWINGS.
- MUNICIPAL: CHAPTER 111, BUILDING CONSTRUCTION, AND CHAPTER 147, FIRE PREVENTION OF THE
- CODE OF THE CITY OF NEW ROCHELLE.
- OTHER: ALL REFERENCED CODES, OTHER CODES AND REGULATIONS, FEDERAL, STATE AND LOCAL, THAT MAY APPLY.

### 1.7 AUTHORITY HAVING JURISDICTION:

THE AUTHORITY HAVING JURISDICTION, AS DEFINED IN SECTION 103.1 OF THE RESIDENTIAL CODE, AND WHICH SHALL PROVIDE FOR ADMINISTRATION AND ENFORCEMENT OF THE UNIFORM CODE AND ENERGY CODE BY LOCAL LAW, ORDINANCE, OTHER APPROPRIATE REGULATION, OR COMBINATION THEREOF, IS THE CITY OF NEW ROCHELLE.

THE DULY APPOINTED BUILDING OFFICIAL OF THE CITY OF NEW ROCHELLE IS AUTHORIZED TO ENFORCE THE PROVISIONS OF THE CODE.

THE BUILDING OFFICIAL MAY ADOPT POLICIES AND PROCEDURES IN ORDER TO CLARIFY THE APPLICATION OF THE PROVISIONS OF THE CODE. SUCH POLICIES AND PROCEDURES SHALL BE IN COMPLIANCE WITH THE INTENT AND PURPOSE OF THE CODE

# 2.0 DESIGN CRITERIA:

# 2.1 DEAD LOAD:

PER 301.4, THE ACTUAL WEIGHTS OF MATERIALS AND CONSTRUCTION SHALL BE USED FOR DETERMINING DEAD LOAD; THE FOLLOWING APPROXIMATIONS (IN PSF) ARE USED FOR THIS PROJECT: FRAMED WALL ASSEMBLY:

ROOF /CEILING ASSEMBLY: FLOOR ASSEMBLY: ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

# 2.2 LIVE LOAD:

UNIFORMLY DISTRIBUTED LIVE LOADS SHALL BE PER TABLE R301.5 AND AS FOLLOWS\* (IN PSF): UNINHABITABLE SPACE WITHOUT STORAGE (<42"H, 24"W) UNINHABITABLE ATTICS W/LIMITED STORAGE HABITABLE ATTICS & ATTICS W/FIXED STAIRS: EXTERIOR BALCONIES & DECKS: FIRE ESCAPES: GUARDS & HANDRAILS 200 (CONCENTRATED) GUARD IN-FILL COMPONENTS: (HORIZONTAL)

PASSENGER VEHICLE GARAGE: (&2,000LB/20SI) ROOMS OTHER THAN SLEEPING ROOMS: SLEEPING ROOMS: (& 300LB/4SI) ROOF, PER 301.6 (INC. SNOW): \*SOME OF THE LOADS LISTED ABOVE MAY BE HIGHER THAN THOSE REQUIRED PER CODE.

# 2.3 WIND LOAD:

S-B-L: \*\*\*

WIND LOADS SHALL BE BASED ON THE ULTIMATE DESIGN WIND SPEED LISTED IN TABLE 301.2(1) AND ADJUSTED FOR HEIGHT AND EXPOSURE):

120 MPH. WIND LOADS WILL BE ALLOWED FOR IN: THE DESIGN LOAD PERFORMANCE REQUIREMENTS FOR WALL COVERINGS, ROOF COVERINGS, WINDOWS, SKYLIGHTS AND DOORS. COMPONENT AND CLADDING LOADS WILL BE PER TABLE R301.2(2)

2.4 ALLOWABLE LIVE LOAD DEFLECTION: THE ALLOWABLE LIVE LOAD DEFLECTION OF ALL STRUCTURAL MEMBERS, SHALL BE PER TABLE R301.7 AND AS FOLLOWS:

ALLOWABLE DEFLECTION STRUCTURAL MEMBER RAFTERS HAVING SLOPES GRATER THAN 3:12 WHIT FINISHED CEILING NOT ATTACHED TO RAFTERS L/180 INTERIOR WALLS AND PARTITIONS H/180 **FLOORS** L/360 CEILING WITH BRITTLE FINISHES (INCLUDING PLASTER AND STUCCO) L/360 L240 CEILING WITH FLEXIBLE FINISHES (INCLUDING GYPSUM BOARD) ALL OTHER STRUCTURAL MEMBERS EXTERIOR WALLS-WIND LOAD WITH PLASTER OR STUCCO FINISHES L/360 EXTERIOR WALLS-WIND LOAD WITH OTHER BRITTLE FINISHES H/240 EXTERIOR WALLS-WIND LOADS WITH FLEXIBLE FINISHES H/120

# 2.5 CLIMATIC AND GEOGRAPHIC CRITERIA:

LINTELS SUPPORTING MASONRY VENEER WALLS

CLIMATIC AND DESIGN CRITERIA FOR THE CITY OF NEW ROCHELLE ARE PER TABLE R301.2(1) BELOW:

## 3.0 CONTRACTOR'S RESPONSIBILITIES:

THE CONTRACTOR SHALL:

- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR A COMPLETE AND FINISHED
- PROVIDE ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.
- OBTAIN AND PAY FOR ALL REQUIRED PERMITS UNLESS OTHERWISE STIPULATED.

DIRECTION IN WRITING, BEFORE PROCEEDING WITH THE AFFECTED WORK.

- PRIOR TO THE SUBMISSION OF ANY BID, AND BEFORE PROCEEDING WITH ANY WORK, VISIT THE SITE AND VERIFY AND FAMILIARIZE HIM/HERSELF WITH ALL SITE DIMENSIONS AND CONDITIONS. WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION, METHODS AND ROUTES OF ACCESS, AND THE EXISTENCE AND EXTENT OF ANY OTHER RESTRICTIONS, AND BE RESPONSIBLE FOR THE VERIFICATION OF ALL SUCH CONDITIONS AND DIMENSIONS WHICH PERTAIN TO THE
- BRING ALL DISCREPANCIES IN CONDITIONS AND DIMENSIONS, BETWEEN THE APPROVED DRAWINGS AND ACTUAL FIELD CONDITIONS, TO THE IMMEDIATE ATTENTION OF THE OWNER, AND RECEIVE
- VERIFY THE AVAILABILITY, LOCATION LAYOUT AND CONDITION OF UTILITIES, INCLUDING SEWER, WATER, GAS AND ELECTRIC LINES, PRIOR TO THE SUBMISSION OF ANY BID.
- HAVE CONTROL OVER AND SUPERVISE AND DIRECT THE WORK, INCLUDING THAT OF ITS SUBCONTRACTORS, AND BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR JOBSITE SAFETY, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, VERIFY THE CONDITION OF ALL ADJOINING STRUCTURES WHICH MAY BE AFFECTED, AND PROVIDE ADEQUATE PROTECTION TO ANY STRUCTURE THAT MIGHT BE OTHERWISE AFFECTED.
- IN THE EVENT THAT DAMAGE IS CAUSED TO ANY STRUCTURE, FINISH, OR OTHER ELEMENT, RESTORE SUCH ELEMENTS TO THEIR ORIGINAL CONDITION.
- IF APPLICABLE, PROVIDE WEATHER PROTECTION, IN AN EFFECTIVE AND TIMELY MANNER, TO PROTECT THE PREMISES, PERSONNEL, MATERIALS AND INSTALLED WORK.
- BE A HOME IMPROVEMENT CONTRACTOR WITH A CURRENT LICENSE ISSUED BY THE
- WESTCHESTER COUNTY DEPARTMENT OF CONSUMER AFFAIRS. • BE CERTIFIED AS A LEAD SAFE FIRM BY THE EPA PER 40 CFR 745.226.
- CARRY LIABILITY INSURANCE TO THE LIMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION
- AND ISSUE CERTIFICATE(S) OF INSURANCE AS REQUIRED BY THE HOMEOWNER AND/OR THAT
- CARRY WORKMAN'S COMPENSATION AND DISABILITY INSURANCE AS REQUIRED THE LAW AND ISSUE CERTIFICATE(S) AS REQUIRED BY THE HOMEOWNER AND/OR THE AUTHORITY HAVING

### 4.0 BUILDING PERMIT:

NO PERSON OR ENTITY SHALL COMMENCE, PERFORM, OR CONTINUE ANY WORK THAT MUST CONFORM WITH THE UNIFORM CODE AND/OR ENERGY CODE UNLESS:

- 1. SUCH PERSON OR ENTITY HAS APPLIED TO THE CITY OF NEW ROCHELLE FOR A BUILDING PERMIT,
- 2. THE CITY OF NEW ROCHELLE HAS ISSUED A BUILDING PERMIT AUTHORIZING SUCH WORK,
- 3. SUCH BUILDING PERMIT HAS NOT BEEN REVOKED OR SUSPENDED, AND
- 4. SUCH BUILDING PERMIT HAS NOT EXPIRED.

THE BUILDING PERMIT IS REQUIRED TO BE VISIBLY DISPLAYED AT THE WORKSITE AND TO REMAIN VISIBLE UNTIL THE PROJECT, AND ALL REQUIRED INSPECTIONS, HAVE BEEN COMPLETED. THE APPROVED DRAWINGS MUST BE KEPT AT THE WORKSITE AND BE AVAILABLE FOR REVIEW AT THE

**5.0 CONSTRUCTION INSPECTIONS:** 

TIME OF ANY REQUIRED INSPECTIONS.

IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING PERMIT, OR THEIR DULY AUTHORIZED AGENT, TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION:

BUILDINGS DEPARTMENT OF THE CITY OF NEW ROCHELLE. 515 NORTH AVENUE

NEW ROCHELLE, NY 10801 TEL: (914) 654-2035

pvacca@newrochelleny.com WEB SITE: www.newrochelleny.com/233/buildings

ANY PERSON OR ENTITY PERFORMING WORK FOR WHICH A BUILDING PERMIT HAS BEEN ISSUED SHALL KEEP SUCH WORK ACCESSIBLE AND EXPOSED UNTIL THE WORK HAS BEEN INSPECTED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION, OR ITS AUTHORIZED AGENT, AT EACH ELEMENT OF THE CONSTRUCTION PROCESS THAT IS APPLICABLE TO THE WORK.

BUILDING PERMIT HOLDERS SHALL BE REQUIRED TO NOTIFY THE BUILDING OFFICIAL OF THE CITY OF NEW ROCHELLE WHEN CONSTRUCTION WORK IS READY FOR INSPECTION.

THE BUILDING OFFICIAL SHALL MAKE THE REQUIRED INSPECTIONS OR SHALL HAVE THE AUTHORITY TO ACCEPT WRITTEN REPORTS OF INSPECTION BY APPROVED AGENCIES OR INDIVIDUALS.

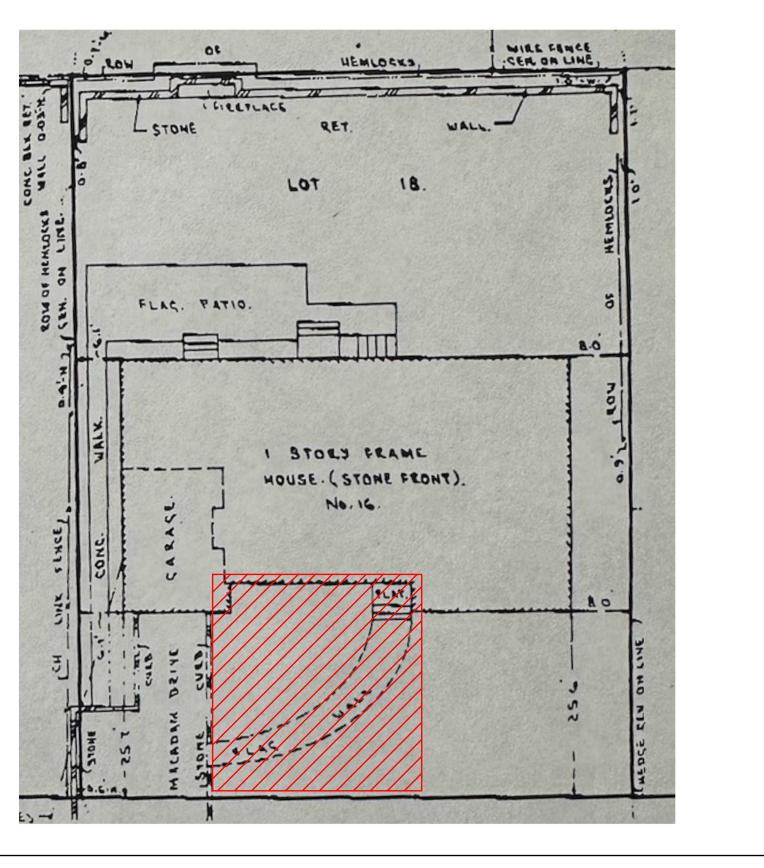
REQUIRED INSPECTIONS FOR THIS PROJECT MAY INCLUDE THE FOLLOWING, AS APPLICABLE, OR AS SPECIFIED IN THE CODE ENFORCEMENT PROGRAM OF THE CITY OF NEW ROCHELLE:

- WORKSITE PRIOR TO THE ISSUANCE OF A PERMIT
- PLUMBING\*
- ELECTRICAL\* MECHANICAL
- FRAMING (SUBSEQUENT TO THE INSPECTION & APPROVAL OF PLUMBING, ELECTRICAL & MECHANICAL)
- FIRE RESISTANT CONSTRUCTION
- FIRE RESISTANT PENETRATIONS

ENERGY CODE COMPLIANCE

- A FINAL INSPECTION AFTER ALL WORK AUTHORIZED BY THE BUILDING PERMIT HAS BEEN
- ANY OTHER INSPECTIONS AS REQUIRED BY THE CITY OF NEW ROCHELLE.
- ALL OF THE ABOVE INSPECTION MAY NOT REQUIRED FOR THIS, OR ANY GIVEN, PROJECT. A SCHEDULE OF REQUIRED INSPECTIONS IS AVAILABLE FROM THE BUILDING DEPARTMENT OF THE
- \*THE WORK APPLICABLE TO SOME OF THE ABOVE INSPECTIONS (FOR INSTANCE PLUMBING AND ELECTRICAL) SHALL BE COMPLETED UNDER A SEPARATE PERMIT, FILED BY THE RELEVANT LICENSED
- AFTER INSPECTION, THE WORK OR A PORTION THEREOF SHALL BE NOTED AS SATISFACTORY AS COMPLETED, OR THE BUILDING PERMIT HOLDER SHALL BE NOTIFIED AS TO THE MANNER IN WHICH THE WORK FAILS TO COMPLY WITH APPLICABLE CODES, INCLUDING A CITATION OF THE SPECIFIC CODE PROVISION OR PROVISIONS THAT HAVE NOT BEEN MET.
- IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO ASCERTAIN THE RESULTS OF REQUIRED
- CONSTRUCTION WORK NOT IN COMPLIANCE WITH APPLICABLE CODES SHALL BE REQUIRED TO REMAIN EXPOSED UNTIL IT HAS BEEN BROUGHT INTO COMPLIANCE WITH THE CODES, RE-INSPECTED, AND FOUND SATISFACTORY AS COMPLETED.

PER 2020 RESIDENTIAL CODE OF NEW YORK STATE. TABLE 301.2(1) (WIND) EXPOSURE CATEGORY: B **CLIMATE ZONE: 4A** SUBJECT TO DAMAGE FROM WINTER | ICE BARRIER FLOOD SNOW LOAD WIND SPEED TOPOGRAPHIC SPECIAL WINDBORNE FREEZING DESIGN DESIGN UNDERLMNT. ANNUAL HAZARDS WEATHERING EFFECTS WIND REGION DEBRIS ZONE CATEGORY TEMP REQUIRED INDEX TEMP 30 PSF 115-120 NO NO С SEVERE 3'-6" MOD/SEVERE 7° YES MINIMAL 615



NOT TO SCALE



## **DEMOLITION:**

DISCOMFORT CAUSED BY DUST.

DEMOLISH AND REMOVE ALL ELEMENTS NOTED IN THE DRAWINGS FOR DEMOLITION, AND AS REQUIRED FOR THE COMPLETION OF ALL WORK SHOWN ON THESE DRAWINGS.

ALLOW NO DEBRIS TO ACCUMULATE: HAUL AWAY FROM SITE ALL DEBRIS AT CONTRACTOR'S EXPENSE: REMOVE ALL DEBRIS ON A REGULAR BASIS AND MAINTAIN JOBSITE IN A CLEAN AND TIDY CONDITION. FULLY PROTECT ALL STRUCTURES, BUILDING ELEMENTS, EQUIPMENT, APPLIANCES AND FINISHES

THAT ARE TO REMAIN FROM DAMAGE CAUSED BY ANY OF THE CONTRACTOR'S ACTIVITIES. PROTECT ALL ADJACENT AREAS, AND ALL NEIGHBORING PROPERTY, FROM DAMAGE, INJURY AND

PROTECT ALL PUBLIC PROPERTIES AND PREMISES FROM DAMAGE AND PREVENT ANY ACCUMULATION OF DEBRIS, DUST OR RUBBISH IN ANY PUBLIC AREA.

ASSUME FULL RESPONSIBILITY FOR ANY DAMAGE CAUSED TO EXISTING ELEMENTS AND MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.

OF ANY PERSONS AT ANY TIME; POST APPROPRIATE SIGNAGE AS REQUIRED. LOCATE ALL UTILITY AND DRAINAGE LINES PRIOR TO COMMENCEMENT OF DEMOLITION AND PROTECT

ALL ACTIVE LINES AS REQUIRED. IDENTIFY CLEARLY ANY WORK THAT MAY RESULT IN THE

PROPERTY AND COORDINATE SUCH INTERRUPTIONS WITH ALL INVOLVED PARTIES.

INTERRUPTION OF ANY SERVICES WITHIN THE AREA OF WORK OR IN ANY ADJACENT SPACE OR

CONDUCT ALL DEMOLITION OPERATIONS IN SUCH A MANNER AS TO PREVENT UNAUTHORIZED ENTRY

NOTIFY THE OWNER, UTILITY COMPANIES, FIRE DEPARTMENT, ALARM COMPANIES, ETC. OF ANY WORK AFFECTING THEIR SYSTEMS AS REQUIRED BY ALL APPLICABLE CODES, RULES, AND REGULATIONS.

THE SEPTIME HAVE BEEN PREPARED IN CONFORMANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YO K STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS).

VINCENT COAKLEY, P.E. (STAMP AFFIXED AND SIGNED)

LIST OF DRAWINGS						
SHEET	DRAWING NAME	DATE	REVISION			
C-01	COVER SHEET	05.05.2025	06.19.2025			
S-01	SITE PLAN	05.05.2025	06.19.2025			
S-02	LAYOUT	05.05.2025	06.19.2025			

**PROPERTY ADDRESS:** 

SCARSDALE, NY 10583 (CITY OF NEW ROCHELLE **BUILDINGS DEPARTMENT)** 

**EMAIL:** dan.cadwallader

.kelly@gmail.com

06.19.2025 FOR PERMIT

05.05.2025 PRELIMINARY

PROJECT NAME: **EXTEND FRONT PORCH** 

**DRAWING NAME: COVER SHEET** 

DRAWING NUMBER: C-01

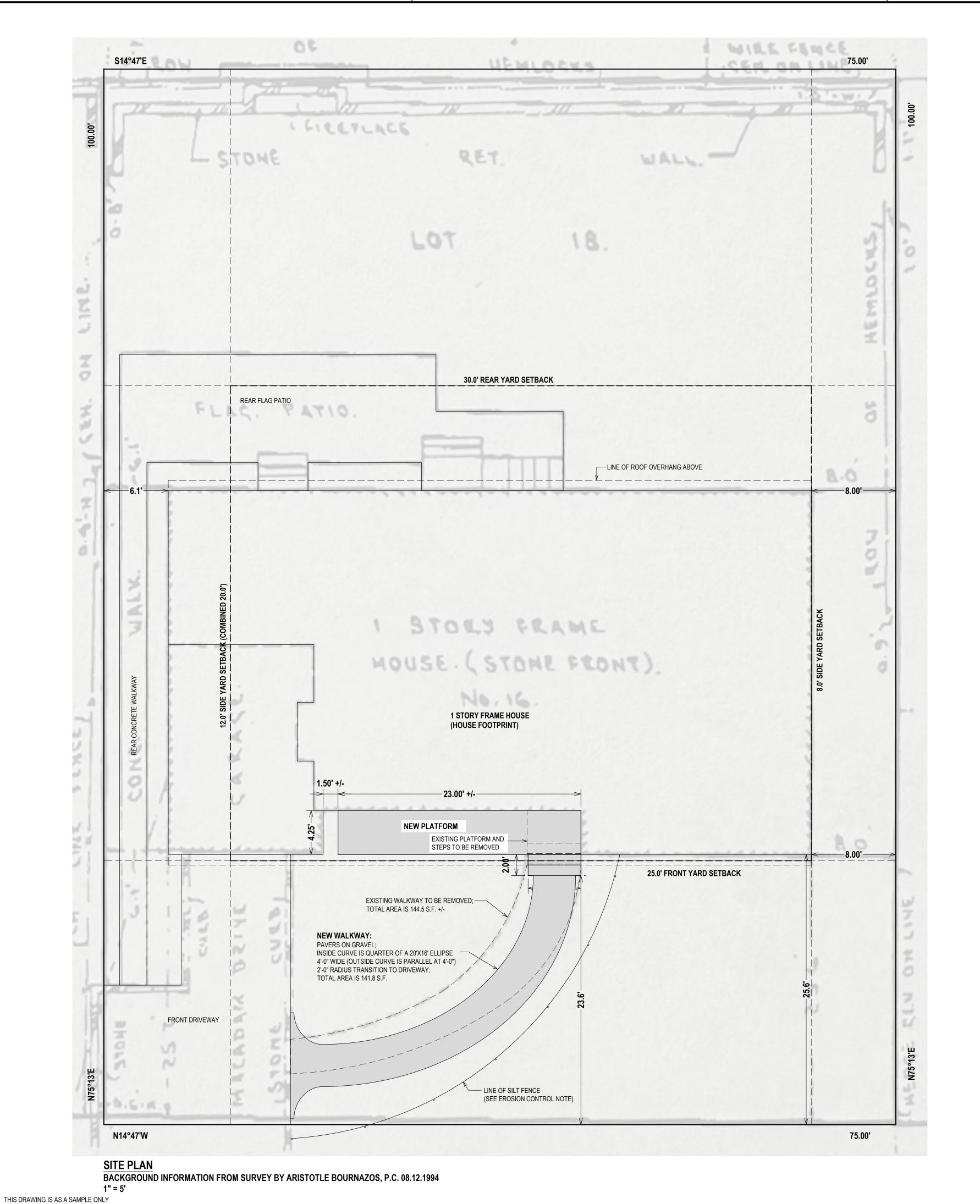
> DATE: 06.19.2025

**SCALE:** 

**AS NOTED** 

NOTE: THIS DRAWING IS VALID FOR **CONSTRUCTION IF (AND ONLY IF) A** PERMIT IS ISSUED, BASED ON THIS DRAWING, BY THE CITY OF NEW ROCHELLE.

PERMIT SUBMISSION REQUIREMENTS FOR THE CITY OF NEW ROCHELLE INCLUDE ----. CHECK TO CONFIRM EXACT REQUIREMENTS WITH THE BUILDINGS DEPARTMENT. TEL: (914) 654-2035.



\*\* PERSONAL (CLIENT) INFORMATION WITHHELD

## SITE WORK

## **EXCAVATION SAFETY:**

THE CONTRACTOR SHALL COMPLY WITH THE TRENCHING AND EXCAVATION REQUIREMENTS OF 29 CFR 1926.651 AND 1926.652 OR COMPARABLE OSHA-APPROVED STATE PLAN REQUIREMENTS.

TRENCHES 5 FEET DEEP OR GREATER REQUIRE A PROTECTIVE SYSTEM UNLESS THE EXCAVATION IS MADE ENTIRELY IN STABLE ROCK.

THE CONTRACTOR SHALL HAVE A COMPETENT PERSON INSPECT EXCAVATIONS DAILY AND AS CONDITIONS CHANGE TO ENSURE ELIMINATION OF EXCAVATION HAZARDS.

A COMPETENT PERSON IS AN INDIVIDUAL WHO IS CAPABLE OF IDENTIFYING EXISTING AND PREDICTABLE HAZARDS OR WORKING CONDITIONS THAT ARE HAZARDOUS, UNSANITARY, OR DANGEROUS TO WORKERS, SOIL TYPES AND PROTECTIVE SYSTEMS REQUIRED, AND WHO IS AUTHORIZED TO TAKE PROMPT CORRECTIVE MEASURES TO ELIMINATE THESE HAZARDS AND CONDITIONS.

### **EXCAVATION - LOCATING UTILITIES - CALL 811:**

NEW YORK STATE LAW (16 NYCRR PART 753) REQUIRES ALL EXCAVATORS TO PLACE A LOCATION REQUEST WITH DIG SAFELY NEW YORK AT LEAST TWO (2) FULL WORKING DAYS, BUT NO MORE THAN 10 WORKING DAYS BEFORE BEGINNING AN EXCAVATION PROJECT IN ORDER TO ENSURE ALL UNDERGROUND UTILITY LINES ARE PROPERLY MARKED BY THEIR OWNERS.

A LOCATION REQUEST MAY BE PLACED, AND THE PROCESS OF MARKING UNDERGROUND UTILITIES MAY BE TRACKED, BY USING THE ONLINE LOCATION REQUEST PROGRAM, EXACTIX. OR, THE EXCAVATOR MAY CALL 811 TO PLACE THE LOCATION REQUEST.

• NOTIFY: NOTIFY 811 ONLINE WITH <u>EXACTIX</u> OR BY CALLING 811.

WAIT: AT LEAST TWO DAYS FOR UTILITIES TO RESPOND (NOT INC. THE DAY YOU CALL).

CONFIRM: CHECK ALL UTILITIES HAVE RESPONDED.
 RESPECT: ADHERE TO UTILITY MARKS AND FLAGS.

• DIG W/CAUTION: DIG CAREFULLY AROUND BURIED UTILITIES.

NOTE:
THE CITY OF NEW ROCHELLE MAY REQUIRE THE CONTRACTOR TO PROVIDE A "DIG SAFELY" CODE 753
CASE NUMBER.

### EROSION CONTROL:

THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYS DEC) PROVIDES MINIMUM STANDARDS AND SPECIFICATIONS FOR THE CONTROL OF STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.

EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, WITH ALL RELEVANT REGULATIONS OF THE CITY OF NEW ROCHELLE AND AS FOLLOWS:

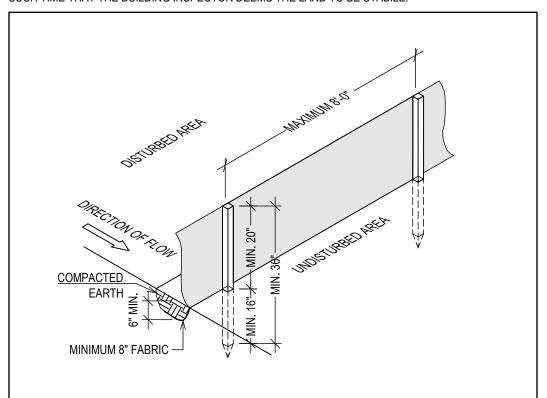
THE SILT FENCE SHALL BE INSTALLED BEFORE UP-SLOPE GROUND COVER IS REMOVED.

FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE; A RUN OF SILT FENCE SHOULD FOLLOW
THE CONTOUR AS CLOSELY AS POSSIBLE WITH THE ENDS TURNED UPSLOPE TO POND WATER BEHIND
THE FENCE.

THE SILT FENCE FABRIC SHOULD BE BURIED AT LEAST 6" DEEP AND HAVE A TOTAL OF 8" (MINIMUM) FABRIC BELOW THE GROUND.

STAKES SHALL BE A MINIMUM OF 2X2 NOMINAL (1 ½" X 1 ½" ACTUAL) HARDWOOD AND OF SOUND QUALITY; THE STAKES SHALL BE PLACED ON THE DOWN-SLOPE SIDE OF THE GEOTEXTILE AND AT A MAXIMUM SPACING OF 8'-0" ON CENTER.

THE APPLICANT AND/OR CONTRACTOR SHALL ESTABLISH EROSION CONTROL AS NOTED IN THESE DRAWINGS AND SHALL MAINTAIN EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION UNTIL SUCH TIME THAT THE BUILDING INSPECTOR DEEMS THE LAND TO BE STABILE.



SEDIMENT FENCE DETAIL

20121110711	DIMPERMO			
	BUILDING COVERAGE		IMPERMOUS COVERAG	
	EXISTING	PROPOSED	EXISTING	PROPOSE
HOUSEFOOTPRINT	1,996.7	1,996.7	2,220.2	2,220
REARPATIO & CONC. WALK			523.9	523
FRONTDRIVEWAY			351.4	351
FRONT PLATFORM				
FRONT STEPS				5
FORNTWALKWAY			144.5	143
TOTAL:	1,996.7	1,996.7	3,240.0	3,244

ZONING COMPLIANCE								
ADDRESS:	ZONE:	R1-10A	MUNICIPALITY:	CITY OF NEW ROCHELL				
			TAXID:	8-3340-0061				
	REQUIRED		EXISTING	PROPOSED				
LOTINFORMATION								
LOTAREA (SF)		10,000.0	7,500.0	NO CHANGE				
LOTFRONTAGE(FT)		100.0		NO CHANGE				
YARD SETBACKS (FT):								
FRONTYARD		25.0	25.6	NO CHANGE				
REARYARD		30.0		NO CHANGE				
FIRSTSIDEYARD		8.0	8.0	NO CHANGE				
SECOND SIDE YARD		12.0	6.1	NO CHANGE				
TOTAL OF TWO		20.0	14.1	NO CHANGE				
SIDE YARD ADJOINING STREET								
PRINCIPAL BUILDING INFORMATION	•							
GROSSFLOORAREA (SF)				NO CHANGE				
BUILDINGHEIGHT				NO CHANGE				
STORIES				NO CHANGE				
HEIGHTTO PRINCIPAL EAVE (FT)				NO CHANGE				
HEIGHTTO HIGHEST'S ROOF RIDGE(FT)				NO CHANGE				
BUILDING COVERAGE								
PRINCIPAL BUILDING COVERAGE (SF)		2,250.0	1,996.7	NO CHANGE				
PRINCIPAL BUILDING COVERAGE (%)		30.0%	26.6%	NO CHANGE				
ACCESSORY BUILDING COVERAGE (SF)				NO CHANGE				
ACCESSORY BUILDING COVERAGE (%)				NO CHANGE				
ACCESSORY STRUCTURES	•							
DETACHED GARAGE	NOTA	PPLICABLE						
SETBACKS:		"						
TO PRINCIPAL BUILDING (FT)		II.						
TO SIDELOTLINE(FT)		"						
TO REAR LOT LINE (FT)		II						
BUILDING HEIGHT:								
HEIGHTTO PRINCIPAL EAVE (FT)		11						
HEIGHTTO HIGHEST'S ROOF RIDGE (FT)								
IMPERVIOUS SURFACE COVERAGE								
IMPERMOUS SURFACE COVERAGE (SF)		3,750.0	3,240.0	3,244.				
IMPERMOUSSURFACE COVERAGE(%)		50%	43.2%	43.3%				

PROPERTY ADDRESS: \*\*\*

SCARSDALE, NY 10583 (CITY OF NEW ROCHELLE BUILDINGS DEPARTMENT)

S-B-L:

CLIENT: \*\*\*

·--- \*\*\*

EMAIL: dan.cadwallader .kelly@gmail.com

DATE: ISSUE: 05.05.2025 PRELIMINARY 06.19.2025 FOR PERMIT

PROJECT NAME:
EXTEND FRONT PORCH

DRAWING NAME: SITE PLAN

DRAWING NUMBER: S-01

DATE: 06.19.2025

SCALE: AS NOTED

NOTE:
THIS DRAWING IS VALID FOR
CONSTRUCTION IF (AND ONLY IF) A
PERMIT IS ISSUED, BASED ON THIS
DRAWING, BY THE CITY OF NEW
ROCHELLE.

SAMOR REPRODUCTION USE NOT FOR UNAUTHORIZED USE OR UNAUTHORIZED

