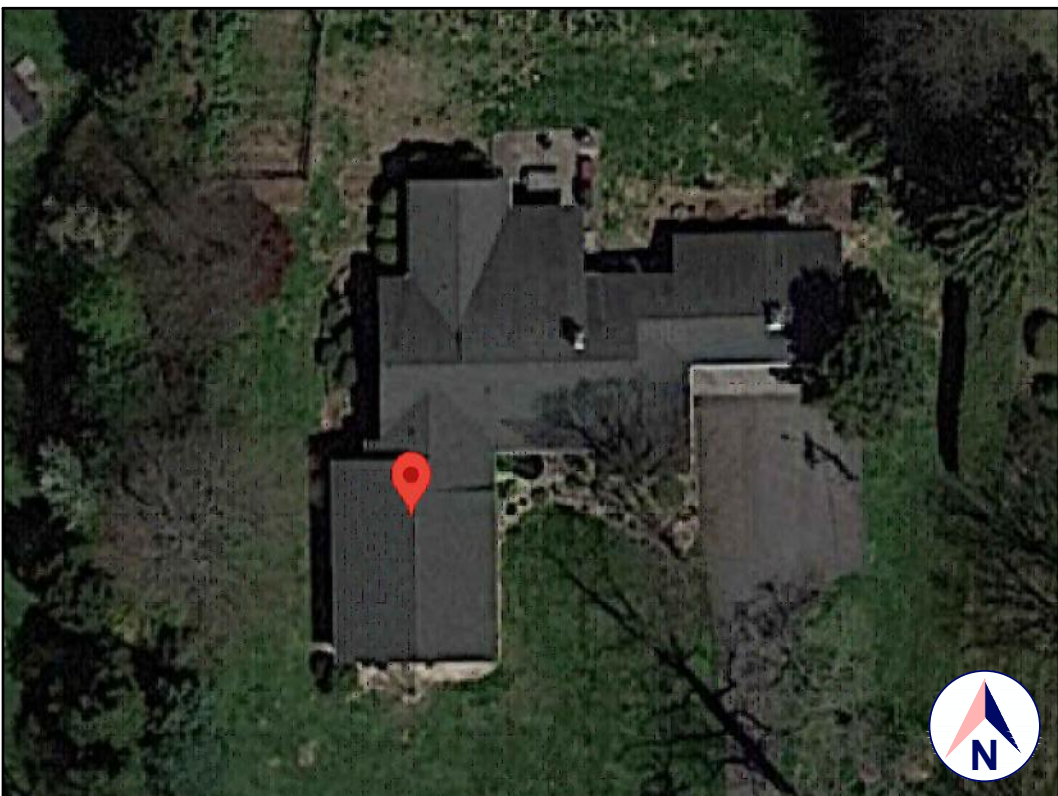
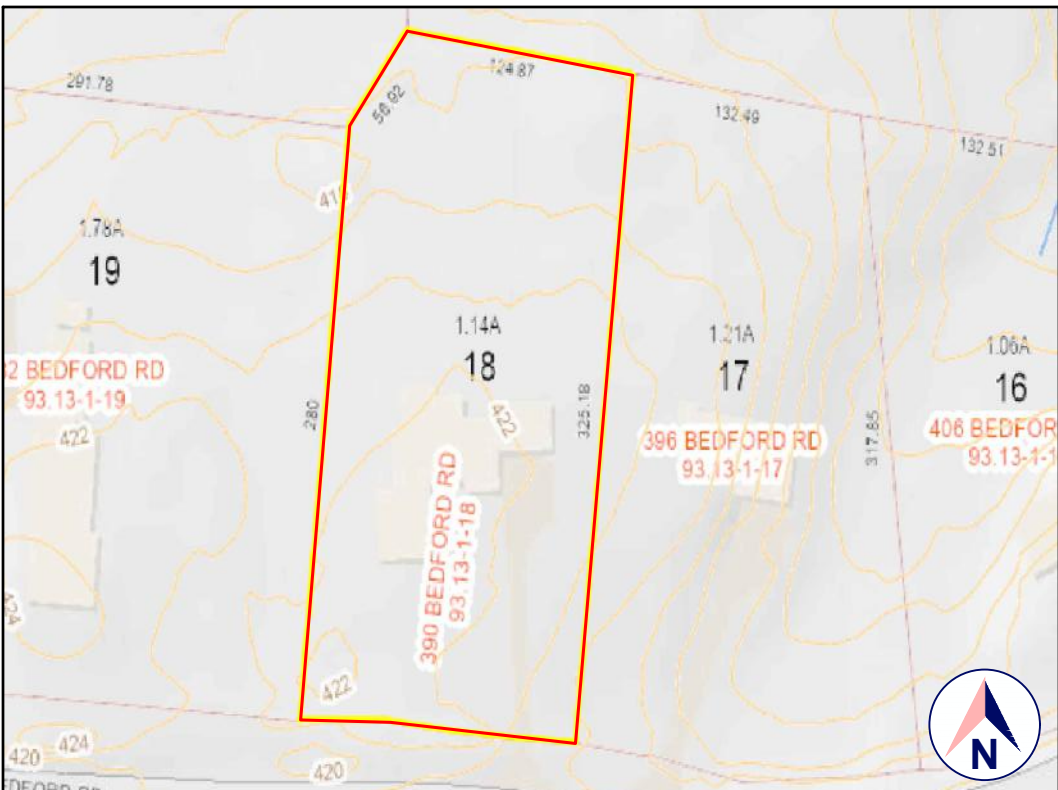


LOCATION
GOOGLE MAPS



SATELLITE VIEW
GOOGLE EARTH



TAX MAP AND TOPO
WESTCHESTER COUNTY GIS



FRONT VIEW
GOOGLE STREET VIEW

1.0 GENERAL REFERENCES:

1.1 DESIGN INTENT:

THESE (STRUCTURAL) DRAWINGS ADDRESS ONLY THE STRUCTURAL INTEGRITY, BASED ON THE STIPULATED LOADS, OF THE PROPOSED CONSTRUCTION.

THESE DRAWINGS SHOULD ONLY BE USED IN CONJUNCTION WITH THE ARCHITECTURAL AND OTHER DRAWINGS.

IT IS THE OVERALL INTENT OF (ALL OF THE DRAWINGS) TO CALL FOR COMPLETE AND FINISHED WORK, IN COMPLIANCE WITH THE NOTED CODES, AND TESTED AND GUARANTEED AND READY FOR OPERATION.

THESE (STRUCTURAL) DRAWINGS ARE NOT INTENDED TO ADDRESS: ZONING; DRAINAGE; GRADING; OR OTHER SITE ISSUES.

REFER TO THE HUDSON ENGINEERING CONSULTING, P.C. DRAWINGS FOR ALL SITE-RELATED ISSUES.

THESE (STRUCTURAL) DRAWINGS ARE NOT INTENDED TO ADDRESS: BUILDING PLANNING; DIMENSIONAL COORDINATION; THERMAL OR MOISTURE PROTECTION; EGRESS; FIRE PROTECTION; MECHANICAL; HEAT, LIGHT AND VENTILATION; GENERAL BUILDING; OR ANY OTHER OTHER NON-STRUCTURAL ISSUES.

REFER TO THE ADAM CAMPAGNA AIA DRAWINGS FOR ALL SUCH ISSUES.

THE ENGINEER HAS NOT BEEN ENGAGED TO SUPERVISE ANY WORK AND DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

1.2 SCOPE AND CLASSIFICATION:

THIS IS A PROPOSED ADDITION, AS DEFINED IN CHAPTER 2 OF THE EXISTING BUILDING CODE (AN EXTENSION OR INCREASE IN FLOOR AREA, NUMBER OF STORIES, OR HEIGHT OF A BUILDING OR STRUCTURE), AND SHALL COMPLY WITH THE PROVISIONS OF CHAPTERS 11 OF THAT CODE.

CONSTRUCTION TYPE: TYPE V-B, AS DEFINED IN TABLE 601
YEAR BUILT: 1980 (PER ZILLLOW)
OCCUPANCY CLASSIFICATION: DETACHED ONE-FAMILY DWELLING STRUCTURE
ARCHITECTURAL REVIEW: REFER TO ARCHITECTURAL DRAWINGS

1.3 COMPLIANCE:

ALL WORK SHALL BE IN COMPLIANCE WITH:

- 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL BUILDING CODE 2018 WITH AMENDMENTS)
- EXISTING BUILDING CODE OF NEW YORK STATE (INTERNATIONAL EXISTING BUILDING CODE 2018 WITH AMENDMENTS)
- CHAPTER 46, BUILDING CONSTRUCTION, AND CHAPTER 48, BUILDING CONSTRUCTION AND FIRE PREVENTION, OF THE CODE OF THE TOWN OF NEW CASTLE.
- ALL OTHER REFERENCED CODES AND ALL OTHER CODES AND REGULATIONS, LOCAL, STATE AND FEDERAL, THAT APPLY.

1.4 AUTHORITY HAVING JURISDICTION:

THE AUTHORITY HAVING JURISDICTION, AS DEFINED IN [NY] 103.1 OF THE BUILDING CODE, AND WHICH SHALL PROVIDE FOR ADMINISTRATION AND ENFORCEMENT OF THE UNIFORM CODE AND ENERGY CODE BY LOCAL LAW, ORDINANCE, OTHER APPROPRIATE REGULATION, OR COMBINATION THEREOF, IS THE TOWN OF NEW CASTLE.

THE DULY APPOINTED BUILDING OFFICIAL OF THE TOWN OF NEW CASTLE IS AUTHORIZED TO ENFORCE THE PROVISIONS OF THE CODE.

THE BUILDING OFFICIAL MAY ADOPT POLICIES AND PROCEDURES IN ORDER TO CLARIFY THE APPLICATION OF THE PROVISIONS OF THE CODE. SUCH POLICIES AND PROCEDURES SHALL BE IN COMPLIANCE WITH THE INTENT AND PURPOSE OF THE CODE.

2.0 LOADING:

2.1 DEAD LOAD:

PER 301.4, THE ACTUAL WEIGHTS OF MATERIALS AND CONSTRUCTION SHALL BE USED FOR DETERMINING DEAD LOAD. THE FOLLOWING APPROXIMATIONS (IN PSF) ARE USED FOR THIS PROJECT:

COMPONENT	PSF
WALL ASSEMBLY:	10
ROOF / CEILING ASSEMBLY:	20
FLOOR ASSEMBLY:	15
EXTERIOR DECK:	10

ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.2 LIVE LOAD:

UNFORMALLY DISTRIBUTED LIVE LOADS SHALL BE PER TABLE R301.5 AND AS FOLLOWS* (IN PSF):

USE:	SF	OTHER
UNINHABITABLE SPACE WITHOUT STORAGE:	10	(42"H, 24"W)
UNINHABITABLE ATTICS W/LIMITED STORAGE:	20	
HABITABLE ATTICS & ATTICS W/FIXED STAIRS:	30	
EXTERIOR BALCONIES & DECKS:	40	
FIRE ESCAPES:	40	
GUARDS & HANDRAILS:	200	(CONCENTRATED)
GUARD IN-FILL COMPONENTS:	50	(HORIZONTAL)
PASSENGER VEHICLE GARAGE:	50	(82,000LB/20SI)
ROOMS OTHER THAN SLEEPING ROOMS:	40	
SLEEPING ROOMS:	40	
STAIRS:	40	(8,300LB/4SI)
ROOF, PER 301.6 (INC. SNOW):	30	

*SOME OF THE LOADS LISTED ABOVE MAY BE HIGHER THAN THOSE REQUIRED PER CODE.
ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.3 WIND LOAD:

WIND LOADS SHALL BE BASED ON THE ULTIMATE DESIGN WIND SPEED LISTED IN TABLE 301.2(1) AND ADJUSTED FOR HEIGHT AND EXPOSURE:
120 MPH. WIND LOADS WILL BE ALLOWED FOR IN THE DESIGN LOAD PERFORMANCE REQUIREMENTS FOR WALL COVERINGS, ROOF COVERINGS, WINDOWS, SKYLIGHTS AND DOORS.

COMPONENT AND CLADDING LOADS WILL BE PER TABLE R301.2(2)

2.4 ALLOWABLE LIVE LOAD DEFLECTION:

THE ALLOWABLE LIVE LOAD DEFLECTION OF ALL STRUCTURAL MEMBERS, SHALL BE PER TABLE R301.7 AN AS FOLLOWS:

STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
RAFTERS HAVING SLOPES GRATER THAN 3:12 WHIT FINISHED	L/180
CEILING NOT ATTACHED TO RAFTERS	H/180
INTERIOR WALLS AND PARTITIONS	L/360
FLOORS	L/360
CEILING WITH BRITTLE FINISHES (INCLUDING PLASTER AND STUCCO)	L/360
CEILING WITH FLEXIBLE FINISHES (INCLUDING GYPSUM BOARD)	L/240
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS-WIND LOAD WITH PLASTER OR STUCCO FINISHES	L/360
EXTERIOR WALLS-WIND LOAD WITH OTHER BRITTLE FINISHES	H/240
EXTERIOR WALLS-WIND LOADS WITH FLEXIBLE FINISHES	H/120
LINTELS SUPPORTING MASONRY VENEER WALLS	L/600

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA											
LOCATION: TOWN OF NEW CASTLE						ZIP CODE: 10514					
PER 2020 RESIDENTIAL CODE OF NEW YORK STATE, TABLE 301.2(1)						(WIND) EXPOSURE CATEGORY: B					
GROUND WIND LOAD	WIND SPEED	TEMPERATURE	PRECIPITATION	WIND DIRECTION	WIND DIRECTION	DESIGN WIND SPEED	DESIGN WIND SPEED	DESIGN WIND SPEED	DESIGN WIND SPEED	DESIGN WIND SPEED	DESIGN WIND SPEED
30 PSF	110-120	NO	NO	NO	NO	SEVERE	24"	NO	NO	NO	NO

3.0 CONTRACTOR'S RESPONSIBILITIES:

THE CONTRACTOR SHALL:

- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR A COMPLETE AND FINISHED JOB.
- PROVIDE ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.
- OBTAIN AND PAY FOR ALL REQUIRED PERMITS - UNLESS OTHERWISE STIPULATED.
- PRIOR TO THE SUBMISSION OF ANY BID, AND BEFORE PROCEEDING WITH ANY WORK, VISIT THE SITE AND VERIFY AND FAMILIARIZE HIMSELF WITH ALL SITE DIMENSIONS AND CONDITIONS, WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION, METHODS AND ROUTES OF ACCESS, AND THE EXISTENCE AND EXTENT OF ANY OTHER RESTRICTIONS, AND BE RESPONSIBLE FOR THE VERIFICATION OF ALL SUCH CONDITIONS AND DIMENSIONS WHICH PERTAIN TO THE PROJECT.
- BRING ALL DISCREPANCIES IN CONDITIONS AND DIMENSIONS, BETWEEN THE APPROVED DRAWINGS AND ACTUAL FIELD CONDITIONS, TO THE IMMEDIATE ATTENTION OF THE OWNER, AND RECEIVE DIRECTION IN WRITING, BEFORE PROCEEDING WITH THE AFFECTED WORK.
- VERIFY THE AVAILABILITY, LOCATION LAYOUT AND CONDITION OF UTILITIES, INCLUDING SEWER, WATER, GAS AND ELECTRIC LINES, PRIOR TO THE SUBMISSION OF ANY BID.
- HAVE CONTROL OVER AND SUPERVISE AND DIRECT THE WORK, INCLUDING THAT OF ITS SUBCONTRACTORS, AND BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR JOBSITE SAFETY, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, VERIFY THE CONDITION OF ALL ADJOINING STRUCTURES WHICH MAY BE AFFECTED, AND PROVIDE ADEQUATE PROTECTION TO ANY STRUCTURE THAT MIGHT BE OTHERWISE AFFECTED.
- IN THE EVENT THAT DAMAGE IS CAUSED TO ANY STRUCTURE, FINISH, OR OTHER ELEMENT, RESTORE SUCH ELEMENTS TO THEIR ORIGINAL CONDITION.
- HAVE CONTROL OVER AND SUPERVISE, COORDINATE AND DIRECT THE WORK, INCLUDING THAT OF HIS SUBCONTRACTORS, AND SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR JOBSITE SAFETY.
- IF APPLICABLE, PROVIDE WEATHER PROTECTION, IN AN EFFECTIVE AND TIMELY MANNER, TO PROTECT THE PREMISES, PERSONNEL, MATERIALS AND INSTALLED WORK.
- BE A HOME IMPROVEMENT CONTRACTOR WITH A CURRENT LICENSE ISSUED BY THE WESTCHESTER COUNTY DEPARTMENT OF CONSUMER AFFAIRS.
- BE CERTIFIED AS A LEAD SAFE FIRM BY THE EPA PER 40 CFR 745.226.
- CARRY LIABILITY INSURANCE TO THE LIMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION AND ISSUE CERTIFICATE(S) OF INSURANCE AS REQUIRED BY ANY OF THE CONTRACTOR'S ACTIVITIES.
- CARRY WORKMAN'S COMPENSATION AND DISABILITY INSURANCE AS REQUIRED BY THE LAW AND ISSUE CERTIFICATE(S) AS REQUIRED BY THE HOMEOWNER AND/OR THE AUTHORITY HAVING JURISDICTION.

4.0 BUILDING PERMIT:

NO PERSON OR ENTITY SHALL COMMENCE, PERFORM, OR CONTINUE ANY WORK THAT MUST CONFORM WITH THE UNIFORM CODE AND/OR ENERGY CODE UNLESS:

- SUCH PERSON OR ENTITY HAS APPLIED TO THE TOWN OF NEW CASTLE FOR A BUILDING PERMIT.
- THE TOWN OF NEW CASTLE HAS ISSUED A BUILDING PERMIT AUTHORIZING SUCH WORK.
- SUCH BUILDING PERMIT HAS NOT BEEN REVOKED OR SUSPENDED, AND
- SUCH BUILDING PERMIT HAS NOT EXPIRED.

THE BUILDING PERMIT IS REQUIRED TO BE VISIBLY DISPLAYED AT THE WORKSITE AND TO REMAIN VISIBLE UNTIL THE PROJECT, AND ALL REQUIRED INSPECTIONS, HAVE BEEN COMPLETED.

THE APPROVED DRAWINGS MUST BE KEPT AT THE WORKSITE AND BE AVAILABLE FOR REVIEW AT THE TIME OF ANY REQUIRED INSPECTIONS.

5.0 CONSTRUCTION INSPECTIONS:

IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING PERMIT, OR THEIR DULY AUTHORIZED AGENT, TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION.

BUILDING DEPARTMENT OF THE TOWN OF NEW CASTLE
200 SOUTH GREELEY AVENUE
NEW CASTLE, NY 10514
TELEPHONE: (914) 238-5177
EMAIL: building@mynewcastle.org
WEB SITE: www.mynewcastle.org

ANY PERSON OR ENTITY PERFORMING WORK FOR WHICH A BUILDING PERMIT HAS BEEN ISSUED SHALL KEEP SUCH WORK ACCESSIBLE AND EXPOSED UNTIL THE WORK HAS BEEN INSPECTED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION IN THE TOWN OF NEW CASTLE, OR ITS AUTHORIZED AGENT, AT EACH ELEMENT OF THE CONSTRUCTION PROCESS THAT IS APPLICABLE TO THE WORK.

BUILDING PERMIT HOLDERS SHALL BE REQUIRED TO NOTIFY THE BUILDING OFFICIAL OF THE TOWN OF NEW CASTLE WHEN CONSTRUCTION WORK IS READY FOR INSPECTION.

THE BUILDING OFFICIAL SHALL MAKE THE REQUIRED INSPECTIONS OR SHALL HAVE THE AUTHORITY TO ACCEPT WRITTEN REPORTS OF INSPECTION BY APPROVED AGENCIES OR INDIVIDUALS.

REQUIRED INSPECTIONS FOR THIS PROJECT MAY INCLUDE THE FOLLOWING, AS APPLICABLE, OR AS SPECIFIED IN THE CODE ENFORCEMENT PROGRAM OF THE TOWN OF NEW CASTLE:

- WORKSITE PRIOR TO THE ISSUANCE OF A PERMIT
 - PLUMBING
 - ELECTRICAL
 - MECHANICAL
 - FRAMING (SUBSEQUENT TO THE INSPECTION & APPROVAL OF PLUMBING, ELECTRICAL & MECHANICAL)
 - FIRE RESISTANT CONSTRUCTION
 - FIRE RESISTANT PENETRATIONS
 - ENERGY CODE COMPLIANCE
 - A FINAL INSPECTION AFTER ALL WORK AUTHORIZED BY THE BUILDING PERMIT HAS BEEN COMPLETED
 - ANY OTHER INSPECTIONS AS REQUIRED BY THE TOWN OF NEW CASTLE.
- AFTER INSPECTION, THE WORK OR A PORTION THEREOF SHALL BE NOTED AS SATISFACTORY AS COMPLETED, OR THE BUILDING PERMIT HOLDER SHALL BE NOTIFIED AS TO THE MANNER IN WHICH THE WORK FAILS TO COMPLY WITH APPLICABLE CODES, INCLUDING A CITATION OF THE SPECIFIC CODE PROVISION OR PROVISIONS THAT HAVE NOT BEEN MET.

*THE WORK APPLICABLE TO SOME OF THE ABOVE INSPECTIONS (FOR INSTANCE PLUMBING AND ELECTRICAL) SHALL BE COMPLETED UNDER A SEPARATE PERMIT, FILED BY THE RELEVANT LICENSED CONTRACTORS.

A SCHEDULE OF REQUIRED INSPECTIONS IS AVAILABLE FROM THE BUILDING DEPARTMENT OF THE TOWN OF NEW CASTLE.

IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO ASCERTAIN THE RESULTS OF REQUIRED INSPECTIONS.

CONSTRUCTION WORK NOT IN COMPLIANCE WITH APPLICABLE CODES SHALL BE REQUIRED TO REMAIN EXPOSED UNTIL IT HAS BEEN BROUGHT INTO COMPLIANCE WITH THE CODES, RE-INSPECTED, AND FOUND SATISFACTORY AS COMPLETED.

5.0 STATEMENT OF DESIGN PROFESSIONAL:

- THESE PLANS HAVE BEEN PREPARED IN CONFORMANCE WITH THE 2020 RESIDENTIAL CODE OF STATE OF NEW YORK.

VINCENT COAKLEY, P.E.
(STAMP AFFIXED AND SIGNED)

SITE WORK

EXCAVATION SAFETY:

THE CONTRACTOR SHALL COMPLY WITH THE TRENCHING AND EXCAVATION REQUIREMENTS OF 29 CFR 1926.651 AND 1926.652 OR COMPARABLE OSHA-APPROVED EXCAVATION SAFETY REQUIREMENTS. TRENCHES 5 FEET DEEP OR GREATER REQUIRE A PROTECTIVE SYSTEM UNLESS THE EXCAVATION IS MADE ENTIRELY IN STABLE ROCK.

THE CONTRACTOR SHALL HAVE A COMPETENT PERSON INSPECT EXCAVATIONS DAILY, AND AS CONDITIONS CHANGE, TO ENSURE ELIMINATION OF EXCAVATION HAZARDS. A COMPETENT PERSON IS AN INDIVIDUAL WHO IS CAPABLE OF IDENTIFYING EXISTING AND PREDICTABLE HAZARDS OR WORKING CONDITIONS THAT ARE HAZARDOUS, UNSANITARY, OR DANGEROUS TO WORKERS, SOIL TYPES AND PROTECTIVE SYSTEMS REQUIRED, AND WHO IS AUTHORIZED TO TAKE PROMPT CORRECTIVE MEASURES TO ELIMINATE THESE HAZARDS AND CONDITIONS.

EXCAVATION - LOCATING UTILITIES - CALL 811:

NEW YORK STATE LAW (16 NYCRR PART 753) REQUIRES ALL EXCAVATORS TO PLACE A LOCATION REQUEST WITH DIG SAFELY NEW YORK AT LEAST TWO (2) FULL WORKING DAYS, BUT NO MORE THAN 10 WORKING DAYS BEFORE BEGINNING AN EXCAVATION PROJECT IN ORDER TO ENSURE ALL UNDERGROUND UTILITY LINES ARE PROPERLY MARKED BY THEIR OWNERS.

A LOCATION REQUEST MAY BE PLACED, AND THE PROCESS OF MARKING UNDERGROUND UTILITIES MAY BE TRACKED, BY USING THE ONLINE LOCATION REQUEST PROGRAM, EXACTIX OR, THE EXCAVATOR MAY CALL 811 TO PLACE THE LOCATION REQUEST.

- NOTIFY: NOTIFY 811 ONLINE WITH EXACTIX OR BY CALLING 811.
- WAIT: AT LEAST TWO DAYS FOR UTILITIES TO RESPOND (NOT INC. THE DAY YOU CALL).
- CONFIRM: CHECK THAT ALL UTILITIES HAVE RESPONDED.
- RESPECT: ADHERE TO UTILITY MARKS AND FLAGS.
- DIG WITH CAUTION: DIG CAREFULLY AROUND BURIED UTILITIES.

DEMOLITION

THE CONTRACTOR SHALL:

DEMOLISH AND REMOVE ALL ELEMENTS NOTED IN THE DRAWINGS FOR DEMOLITION AND AS REQUIRED FOR THE COMPLETION OF ALL WORK SHOWN ON THESE DRAWINGS.

ALLOW NO DEBRIS TO ACCUMULATE; HAUL AWAY FROM SITE ALL DEBRIS AT CONTRACTOR'S EXPENSE; REMOVE ALL DEBRIS ON A REGULAR BASIS AND MAINTAIN JOBSITE IN A CLEAN AND TIDY CONDITION.

FULLY PROTECT ALL STRUCTURES, BUILDING ELEMENTS, EQUIPMENT, APPLIANCES AND FINISHES THAT ARE TO REMAIN FROM DAMAGE CAUSED BY ANY OF THE CONTRACTOR'S ACTIVITIES.

PROTECT ALL ADJACENT AREAS, AND ALL NEIGHBORING PROPERTY, FROM DAMAGE, INJURY AND DISCOMFORT CAUSED BY DUST.

PROTECT ALL PUBLIC PROPERTIES AND PREMISES FROM DAMAGE AND PREVENT ANY ACCUMULATION OF DEBRIS, DUST OR RUBBISH IN ANY PUBLIC AREA.

ASSUME FULL RESPONSIBILITY FOR ANY DAMAGE CAUSED TO EXISTING ELEMENTS AND MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.

CONDUCT ALL DEMOLITION OPERATIONS IN SUCH A MANNER AS TO PREVENT UNAUTHORIZED ENTRY OF ANY PERSONS AT ANY TIME; POST APPROPRIATE SIGNAGE AS REQUIRED.

LOCATE ALL UTILITY AND DRAINAGE LINES PRIOR TO COMMENCEMENT OF DEMOLITION AND PROTECT ALL ACTIVE LINES AS REQUIRED. IDENTIFY CLEARLY ANY WORK THAT MAY RESULT IN THE INTERRUPTION OF ANY SERVICES WITHIN THE AREA OF WORK OR IN ANY ADJACENT SPACE OR PROPERTY AND COORDINATE SUCH INTERRUPTIONS WITH ALL INVOLVED PARTIES.

NOTIFY THE OWNER, UTILITY COMPANIES, FIRE DEPARTMENT, ALARM COMPANIES, ETC. OF ANY WORK AFFECTING THEIR SYSTEMS AS REQUIRED BY ALL APPLICABLE CODES, RULES, AND REGULATIONS.

CONCRETE:

STRUCTURAL CONCRETE AND CONCRETING PRACTICES SHALL CONFORM WITH THE LATEST EDITION OF ACI 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, ISSUED AND MAINTAINED BY THE AMERICAN CONCRETE INSTITUTE, AND AS NOTED BELOW.

ALL ACI REQUIREMENTS FOR HOT AND COLD WEATHERING CONCRETE MUST BE ADHERED TO.

STRENGTH:

CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS AS FOLLOWS UNLESS OTHERWISE NOTED ON THE DRAWINGS:

FOUNDATION WALLS, BUTTRESSES, SLAB ON GRADE:	4000 PSI, NORMAL WEIGHT
FOOTINGS AND PIERS:	4000 PSI, NORMAL WEIGHT
CONCRETE ON METAL DECK:	4000 PSI, NORMAL WEIGHT
ALL OTHER CONCRETE:	4000 PSI, NORMAL WEIGHT

ALL EXPOSED CONCRETE SHALL HAVE AN AIR ENTRAINING AGENT.

COVER:

MINIMUM CONCRETE COVER SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE ON THE DRAWINGS:

SLABS:	3/4"
WALLS:	1"
COLUMNS:	1 1/2"
ALL CONCRETE EXPOSED TO WEATHER OR EARTH:	2"
ALL CONCRETE PLACED AGAINST EARTH:	3"

REINFORCING STEEL:

DETAILS SHALL BE IN ACCORDANCE WITH ACI-315, DETAILS AND DETAILING OF CONCRETE REINFORCEMENT UNLESS OTHERWISE NOTED ON THE DRAWINGS.

ALL REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60 UNLESS REQUIRED TO BE WELDED AS SHOWN ON PLANS.

ALL REINFORCING BARS REQUIRED TO BE WELDED SHALL CONFORM TO ASTM A705, GRADE 60.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.

SUPPORT WIRE FABRIC WITH CHAIRS OR LIFTS DURING CONCRETE PLACEMENT TO INSURE PROPER POSITION IN SLAB.

ALL REINFORCEMENT SHALL BE SECURED TO PREVENT CRACKING IN CONCRETE. IF REQUIRED, ADDITIONAL REINFORCEMENT SHALL BE PROVIDED BY THE CONTRACTOR TO FURNISH SUPPORT FOR ALL BARS. REINFORCEMENT SHALL BE PLACED IN THE PROPER LOCATION IN THE FORMS WITH THE WIRE OR CHAIRS TO SUPPORT SYSTEM TO PREVENT DISPLACEMENT DURING THE CONCRETE PLACEMENT OPERATION.

WHERE NOT SPECIFICALLY INDICATED ON THE DRAWINGS, SPLICING & EMBEDMENTS SHALL BE IN ACCORDANCE TABLE R608.5.4(1) LAP SPLICE AND TENSION DEVELOPMENT LENGTHS.

WOOD FRAMING:

FLOOR FRAMING: STRUCTURAL FLOOR MEMBERS SHALL CONFORM TO THE PROVISIONS OF SECTION 502 OF THE RESIDENTIAL CODE.

ALL FLOOR FRAMING, INCLUDING JOISTS, LEDGERS, HEADERS AND BLOCKING, IS TO BE 2X DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2, FB=850 PSI, 1.4E OR BETTER.

FLOOR FRAMING IS TO BE SPACED AT 16" (MAXIMUM) ON CENTER, OR AS OTHERWISE NOTED IN THE DRAWINGS.

FLOOR SHEATHING SHALL BE AVANTECH T&G SUBFLOOR FASTENED WITH 8D COMMON NAILS @ 6" O.C. AND AVANTECH SUBFLOOR ADHESIVE PER MANUFACTURERS INSTRUCTIONS AND SHALL CONFORM TO SECTION 502 OF THE RESIDENTIAL CODE.

WALL FRAMING:

LOAD BEARING WALLS SHALL CONFORM TO THE PROVISIONS OF SECTION 602 OF THE RESIDENTIAL CODE.

ALL LOAD BEARING WOOD FRAMED PARTITIONS INCLUDING STUDS, TOP AND BOTTOM PLATE AND BLOCKING, ARE TO BE 2X DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2, FB=850 PSI, 1.4E OR BETTER.

WALL FRAMING IS TO BE SPACED AT 16" (MAXIMUM) ON CENTER, OR AS OTHERWISE NOTED IN THE DRAWINGS.

AVOID NOTCHING (SEE CUTTING AND NOTCHING BELOW). PROVIDE SISTER STUDS AS REQUIRED.

EXCEPTION:

BEARING STUDS NOT SUPPORTING FLOORS AND NONBEARING STUDS SHALL BE PERMITTED TO BE UTILITY GRADE LUMBER, PROVIDED THAT THE STUDS ARE SPACED AT 16" O.C. MINIMUM.

BOTTOM (SOLE) PLATE:

STUDS SHALL HAVE FULL BEARING ON A NOMINAL 2X OR LARGER PLATE OR SILL HAVING A WIDTH NOT LESS THAN TO THE WIDTH OF THE STUDS.

TOP PLATE:

WOOD STUD WALLS SHALL BE CAPPED WITH A DOUBLE TOP PLATE INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND INTERSECTIONS WITH BEARING PARTITIONS. END JOINTS IN TOP PLATES SHALL BE OFFSET NOT LESS THAN 24 INCHES. JOINTS IN PLATES NEED NOT OCCUR OVER STUDS. PLATES SHALL BE NOT LESS THAN 2-INCHES NOMINAL THICKNESS AND HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE STUDS.

WALL SHEATHING SHALL BE MINIMUM 1/2" WOOD STRUCTURAL PANEL, ZIP SYSTEM, INSTALLED PER MANUFACTURERS INSTRUCTIONS AND SHALL CONFORM TO SECTION 602 OF THE RESIDENTIAL CODE.

HEADERS:

UNLESS OTHERWISE NOTED IN THIS DRAWING, ALL HEADERS IN LOAD BEARING WALLS SHALL BE (2) 2X10S SUPPORTED BY TWO JACK STUDS, AND ONE FULL-HEIGHT STUD, AT EACH END OF THE HEADER.

POSTS:

UNLESS OTHERWISE NOTED IN THIS DRAWING, EACH MEMBER DESIGNATED AS A "POST" SHALL BE A 3/2" X 3/2" 2OE PSL, BLOCKED SOLID AS NEEDED, ABOVE AND BELOW, SO AS TO PROVIDE A CONTINUOUS LOAD PATH, AND FASTENED, ABOVE AND BELOW, WITH APPROPRIATE HARDWARE AND FASTENERS, AND AS SPECIFIED.

ROOF-CEILING CONSTRUCTION:

ROOF FRAMING SHALL CONFORM TO THE PROVISIONS OF SECTION 802 OF THE RESIDENTIAL CODE.

ALL ROOF FRAMING, INCLUDING RAFTERS, COLLAR TIES, RAFTER TIES AND CEILING JOISTS, IS TO BE 2X DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2, FB=850 PSI, 1.4E, OR BETTER.

ROOF FRAMING IS TO BE SPACED AT 16" (MAXIMUM) ON CENTER, OR AS OTHERWISE NOTED IN THE DRAWINGS.

AVOID NOTCHING OF ROOF-CEILING MEMBERS (SEE CUTTING AND NOTCHING BELOW).

ROOF SHEATHING SHALL BE ZIP SYSTEM 1/2" SHEATHING AND SHALL CONFORM TO SECTION 803 OF THE RESIDENTIAL CODE.

CUTTING, DRILLING AND NOTCHING FOR WIRES AND PIPES:

PROVIDE SISTER MEMBERS AS REQUIRED.
WOOD-FRAMED STRUCTURAL MEMBERS SHALL NOT BE DRILLED, NOTCHED OR ALTERED IN ANY MANNER EXCEPT AS PROVIDED IN SECTIONS 502.8, 602.6, 802.7 AND 802.7.1 OF THE RESIDENTIAL CODE.

TRUSS TYPE CONSTRUCTION

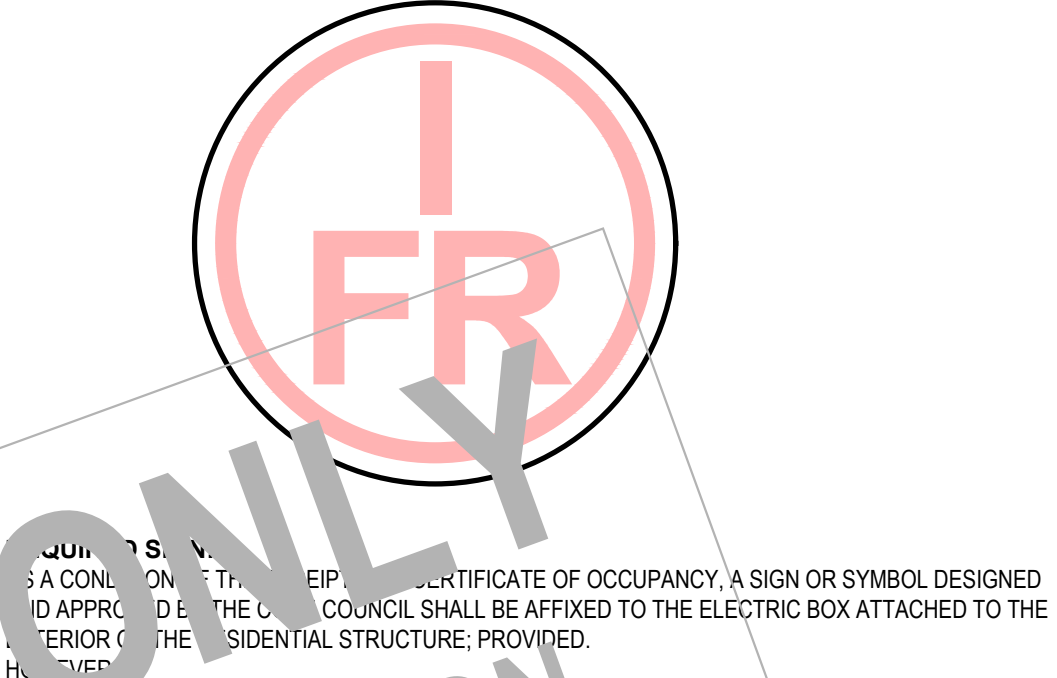
UTILIZATION:

WHERE NOT SPECIFICALLY INDICATED ON THE DRAWINGS, SPLICING & EMBEDMENTS SHALL BE IN ACCORDANCE TABLE R608.5.4(1) LAP SPLICE AND TENSION DEVELOPMENT LENGTHS.

THE UTILIZATION OF TRUSS-TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND/OR TIMBER CONSTRUCTION IN RESIDENTIAL STRUCTURES IS SUBJECT TO THE REQUIREMENTS OF TITLE19 OF THE NEW YORK CODES, RULES AND REGULATIONS (NYCRR), PART 1265.

ANY PERSON UTILIZING TRUSS TYPE, PRE-ENGINEERED WOOD OR TIMBER CONSTRUCTION FOR THE ERECTION OF ANY NEW RESIDENTIAL STRUCTURE, FOR ANY ADDITION TO AN EXISTING RESIDENTIAL STRUCTURE, OR FOR ANY REHABILITATION OF AN EXISTING RESIDENTIAL STRUCTURE, SHALL, UPON APPLICATION FOR A BUILDING PERMIT WITH THE LOCAL GOVERNMENT HAVING JURISDICTION, INCLUDE ON THE PERMIT APPLICATION THAT TRUSS TYPE, PRE-ENGINEERED WOOD OR TIMBER CONSTRUCTION IS BEING UTILIZED, AND THAT THE PROPERTY OWNER OR THE PROPERTY OWNER'S REPRESENTATIVE SHALL COMPLETE A FORM PRESCRIBED BY THE STATE FIRE PREVENTION AND BUILDING CODE COUNCIL (HEREINAFTER REFERRED TO AS THE CODE COUNCIL), DESIGNATING THE STRUCTURE AS TRUSS TYPE, PRE-ENGINEERED WOOD OR TIMBER CONSTRUCTION AND FILE SUCH FORM WITH THE APPLICATION FOR A BUILDING PERMIT.

REQUIRED SIGN:



IF AFFIXING THE SIGN OR SYMBOL TO THE ELECTRIC BOX WOULD OBSCURE ANY METER ON THE ELECTRIC BOX, OR IF THE UTILITY PROVIDER'S ELECTRIC SERVICE TO THE RESIDENTIAL STRUCTURE DOES NOT ALLOW THE SIGN OR SYMBOL TO BE AFFIXED TO THE ELECTRIC BOX, THE SIGN OR SYMBOL SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE AT A POINT IMMEDIATELY ADJACENT TO THE ELECTRIC BOX AND:

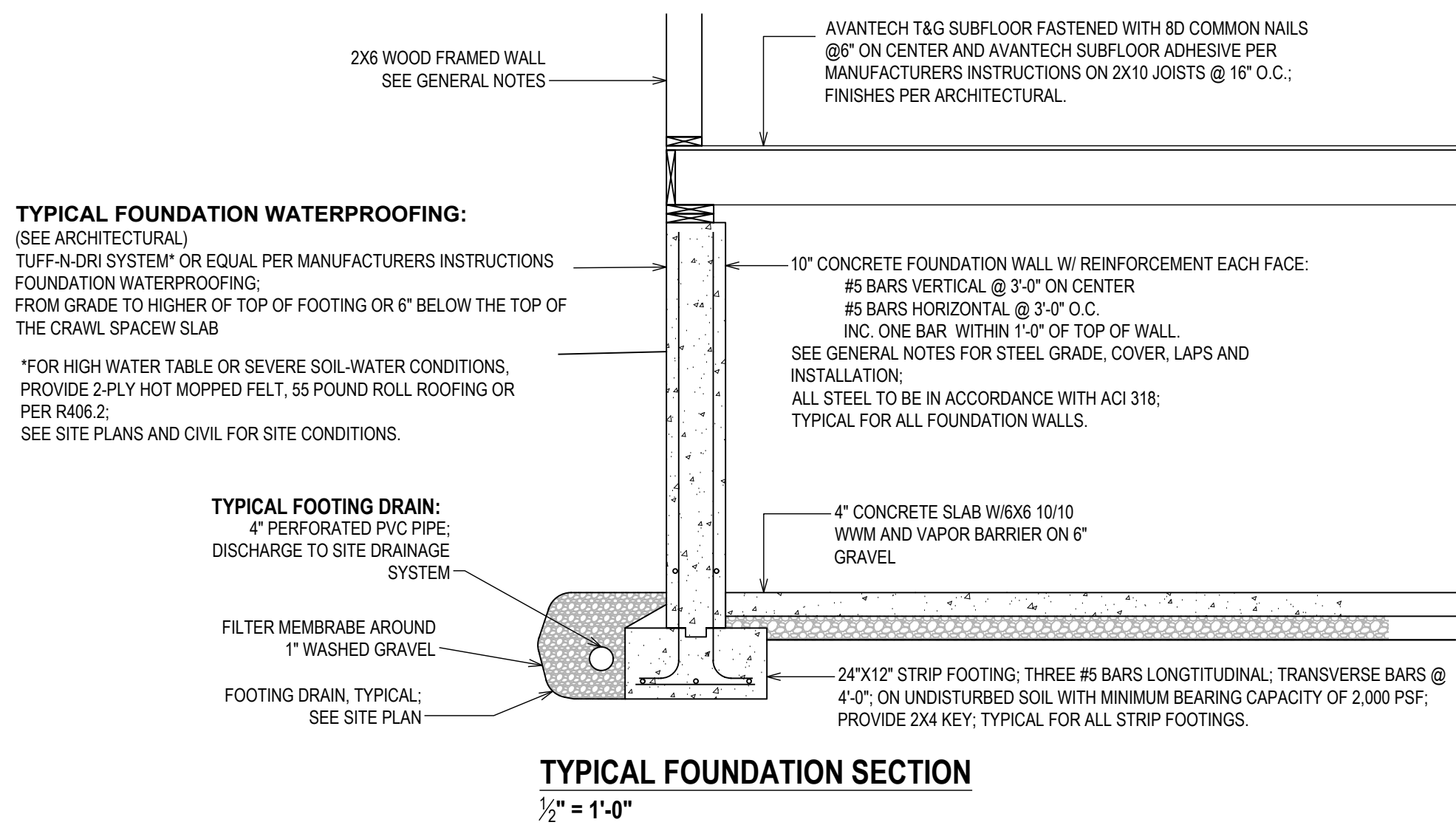
IF THE ELECTRIC BOX IS ATTACHED TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE OR IF, IN THE OPINION OF THE AUTHORITY HAVING JURISDICTION, THE ELECTRIC BOX ATTACHED TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE

+

+

+

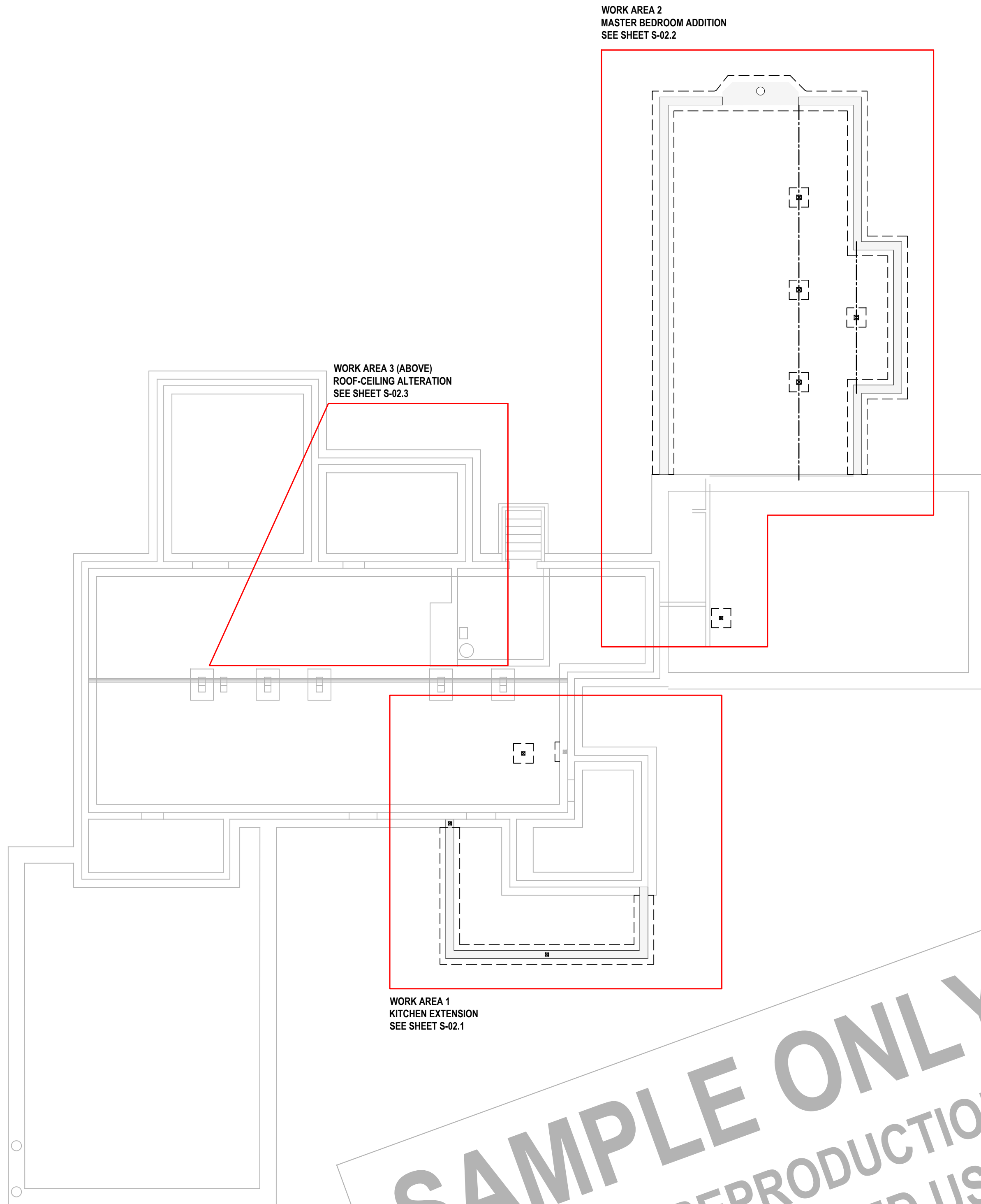
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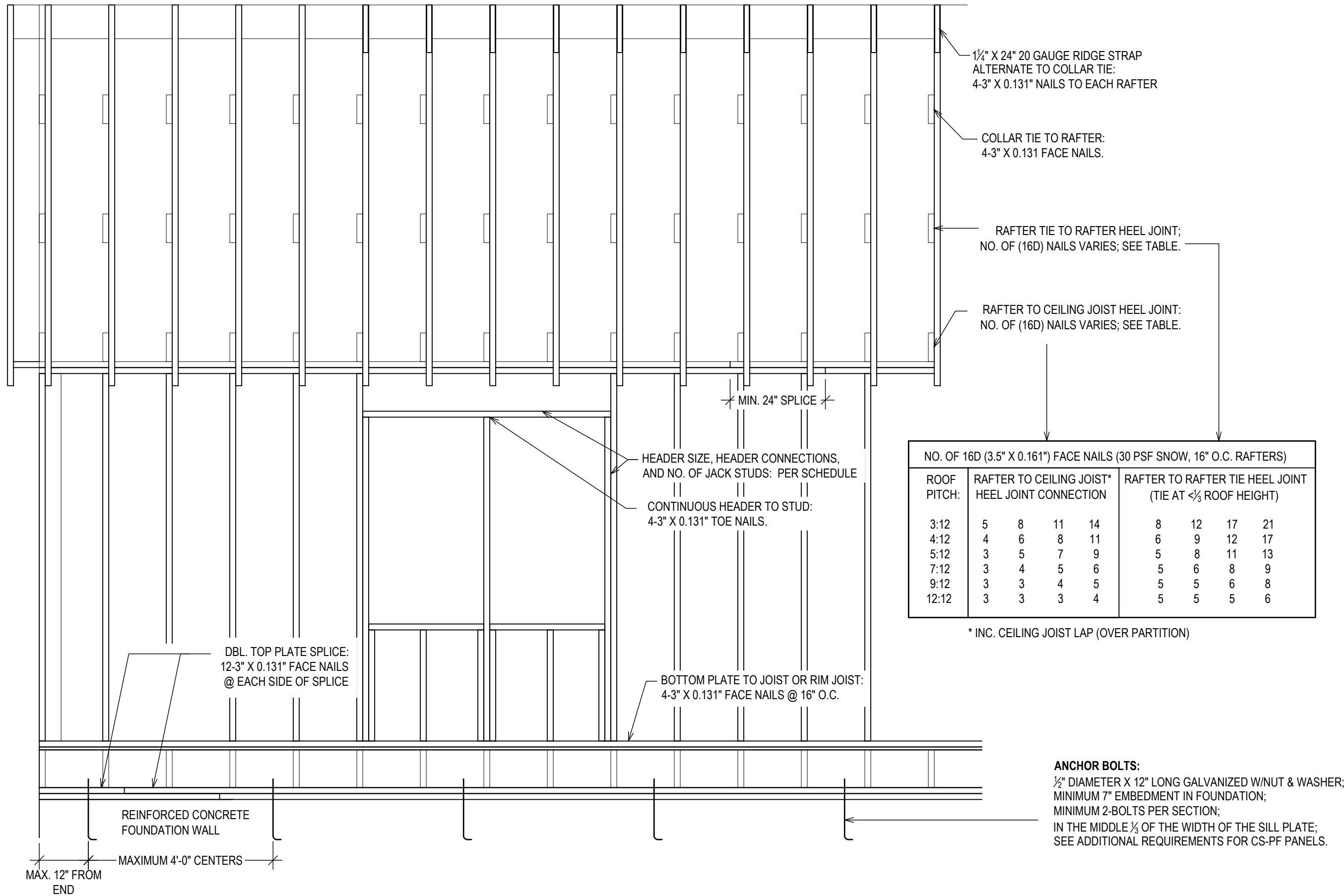
AVANTECH 3/8" T&G SUBFLOOR
FASTENED WITH 8D COMMON NAILS*
@ 6" ON CENTER
AVANTECH SUBFLOOR ADHESIVE
PER MANUFACTURERS INSTRUCTIONS

1/8" ZIP SYSTEM O.S.B.
FASTENED WITH 8D COMMON NAILS*
@ 6" ON CENTER AT EDGES
AND 12" O.C. IN FIELD
PER MANUFACTURERS INSTRUCTIONS

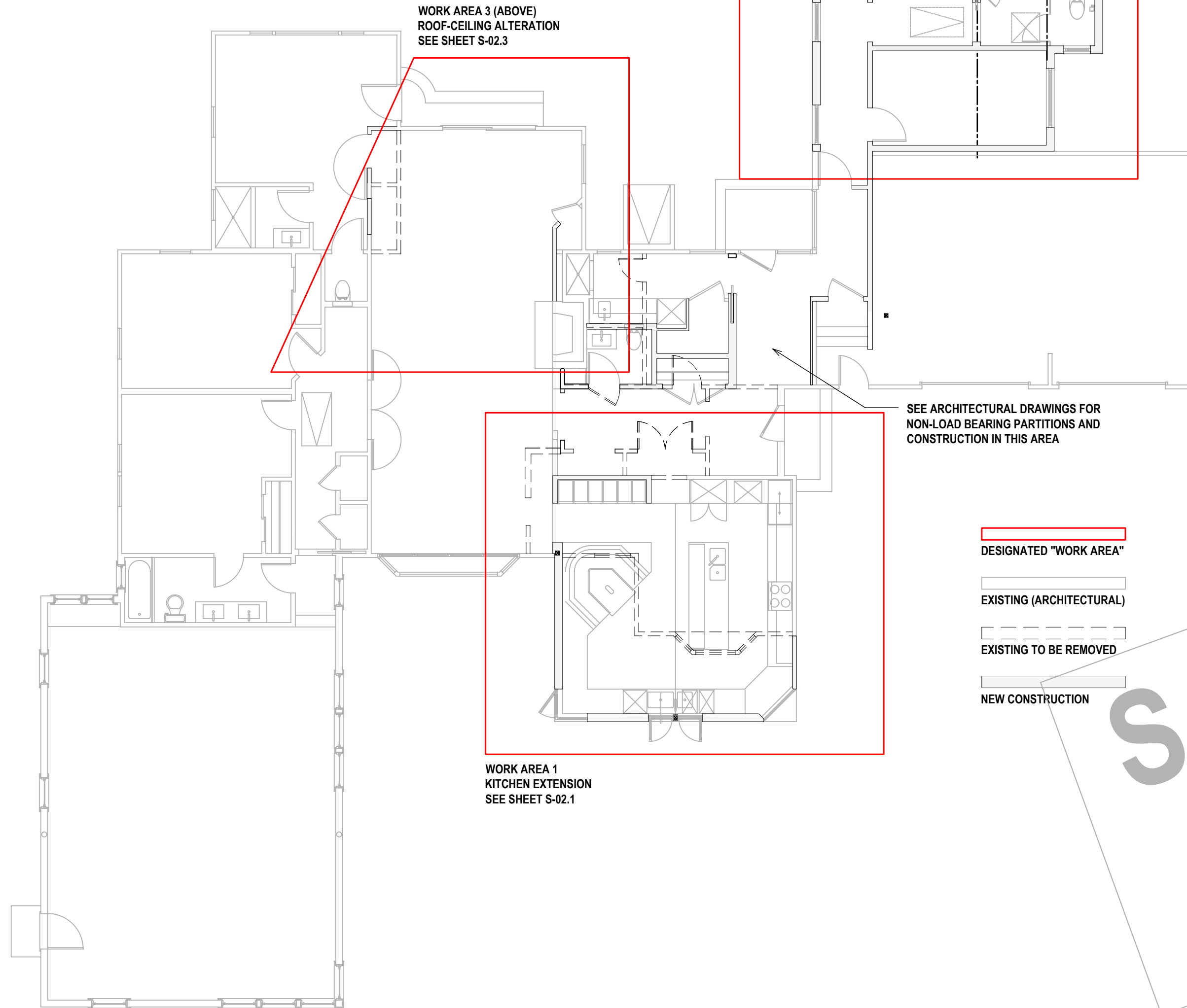
* EQUIVALENT ALTERNATIVE FASTENERS MAY BE USED PER SCHEDULE R602.3(1)



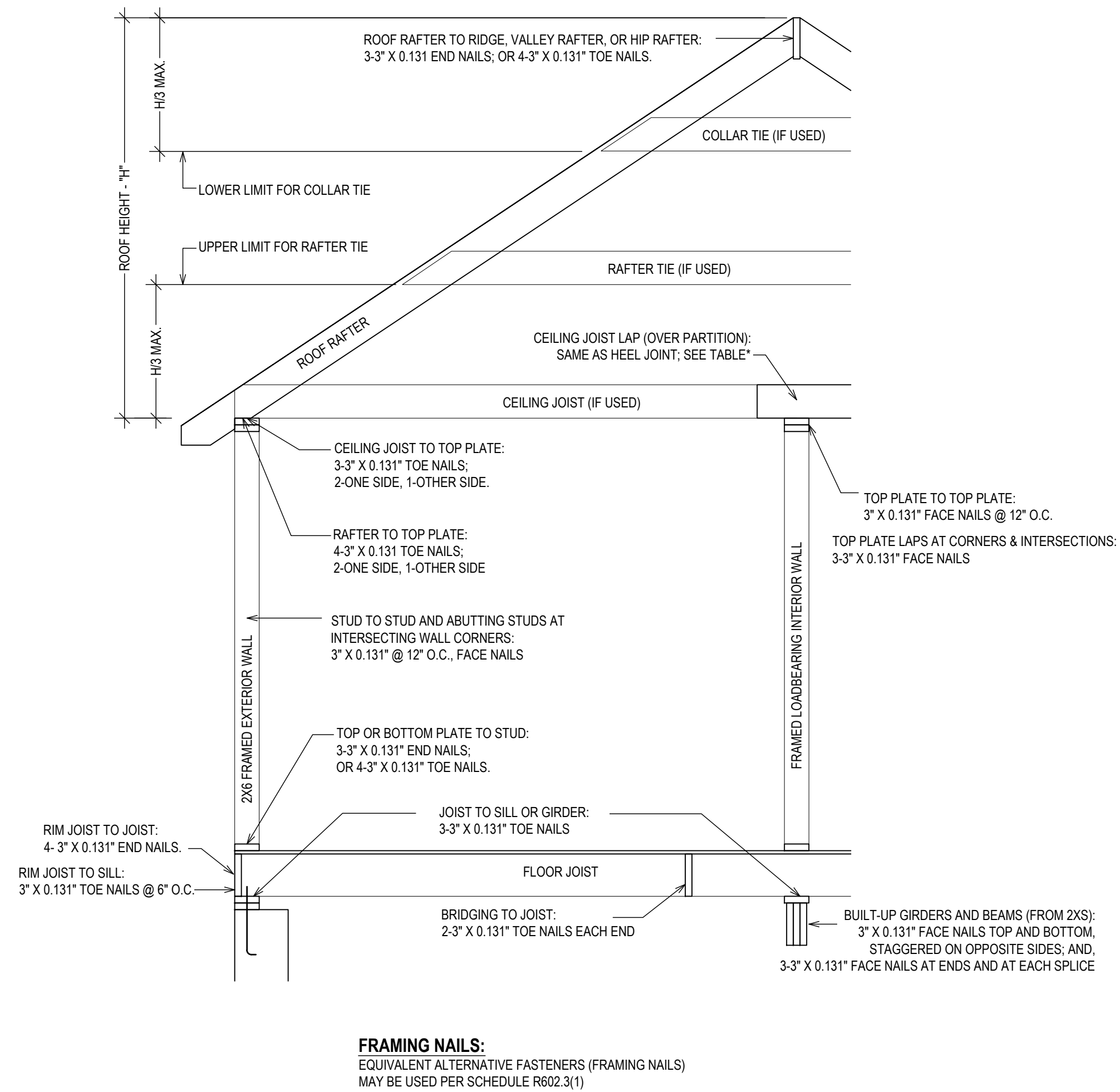
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TYPICAL FRAMING DETAILS & FASTENERS
½" = 1'-0"



FIRST FLOOR PLAN
⅛" = 1'-0"



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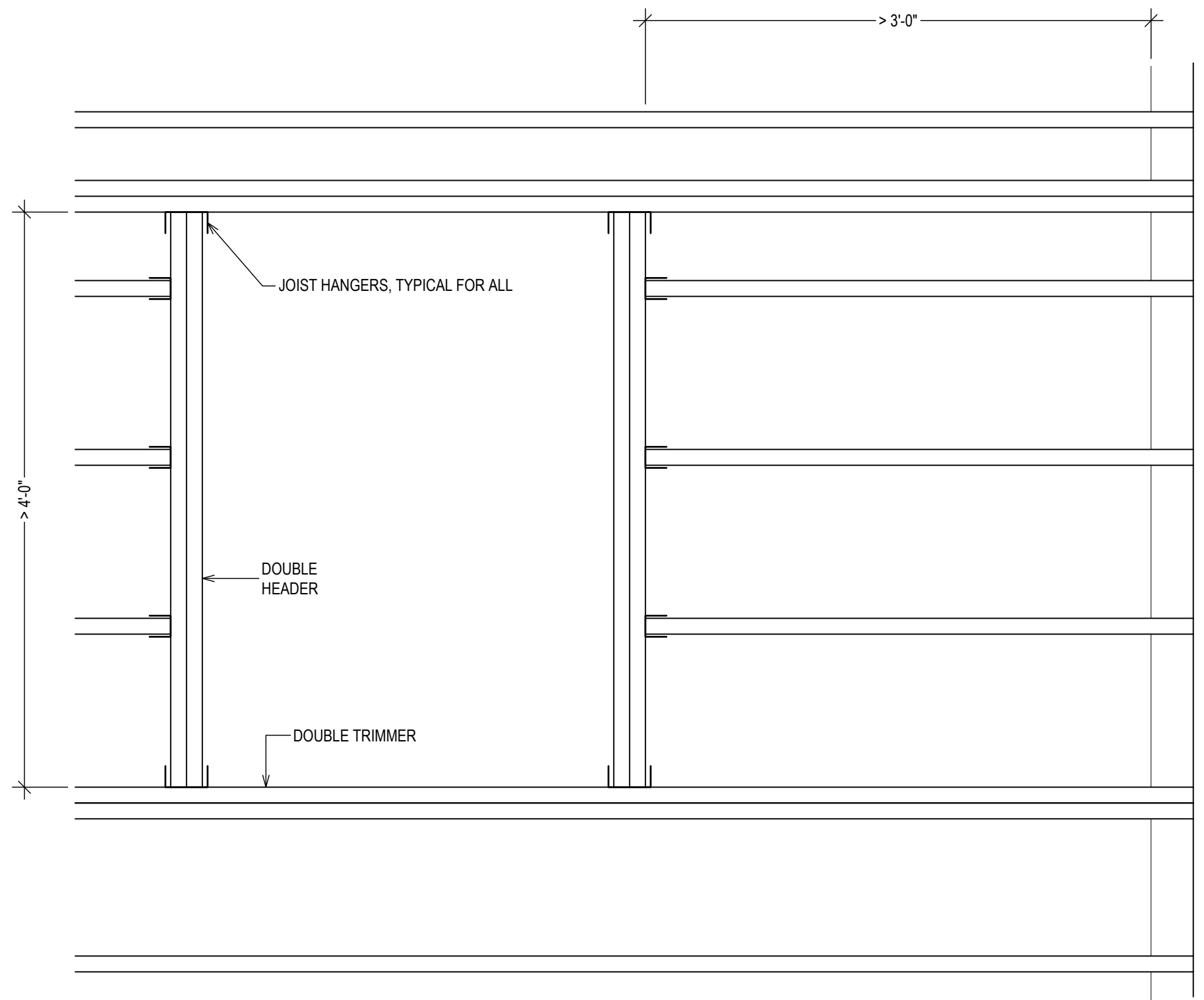
DRAWING NAME:
**FIRST FLOOR & TYPICAL
FRAMING DETAILS**

DRAWING NUMBER:
S-01.2

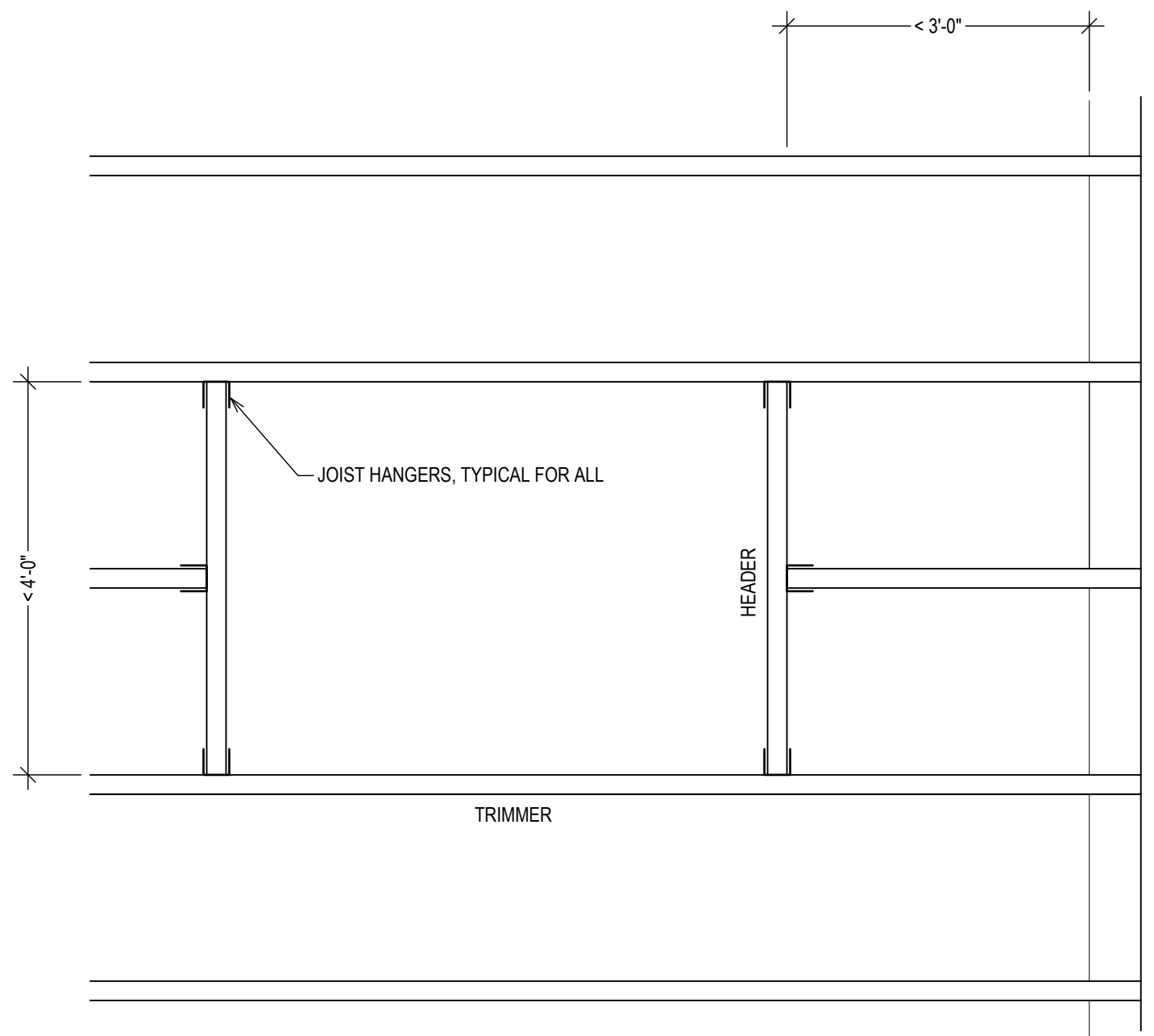
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04.30.2024

SCALE:
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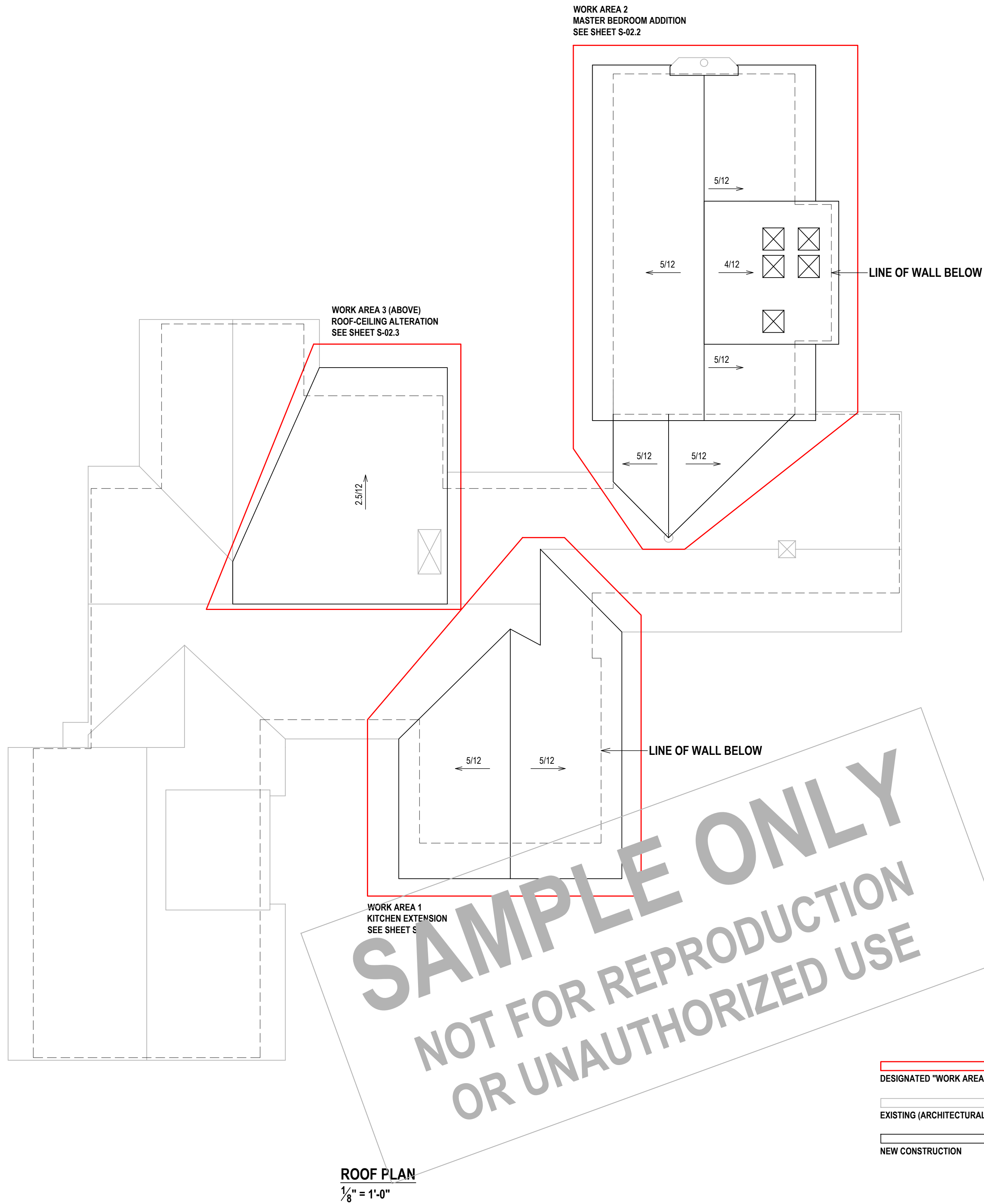


1. HEADER IS >3'-0" FROM TRIMMER SUPPORT AND/OR OPENING IS >4'-0" WIDE
1" = 1'-0"



2. HEADER IS <3'-0" FROM TRIMMER SUPPORT AND OPENING IS <4'-0" WIDE
1" = 1'-0"

TYPICAL FRAMING AT FLOOR AND ROOF OPENINGS
1" = 1'-0"



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DRAWING NAME:

ROOF

DRAWING NUMBER:

S-01.3

DATE:

04.30.2024

SCALE:

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SUBFLOOR: AVANTECH 7/8" T&G SUBFLOOR FASTENED WITH 8D COMMON NAILS* @ 6" ON CENTER AVANTECH SUBFLOOR ADHESIVE PER MANUFACTURERS INSTRUCTIONS

WALL & ROOF SHEATHING: 7/8" ZIP SYSTEM O.S.B. FASTENED WITH 8D COMMON NAILS* @ 6" ON CENTER AT EDGES AND 12" O.C. IN FIELD PER MANUFACTURERS INSTRUCTIONS

* EQUIVALENT ALTERNATIVE FASTENERS MAY BE USED PER SCHEDULE R602.3(1)

TYPICAL FOUNDATION WATERPROOFING:

(SEE ARCHITECTURAL)
TUFF-N-DRI SYSTEM* OR EQUAL PER MANUFACTURERS INSTRUCTIONS
FOUNDATION WATERPROOFING:
FROM GRADE TO HIGHER OF TOP OF FOOTING OR 6" BELOW THE TOP OF THE CRAWL SPACEW SLAB

*FOR HIGH WATER TABLE OR SEVERE SOIL-WATER CONDITIONS,
PROVIDE 2-PLY HOT MOPPED FELT, 55 POUND ROLL ROOFING OR
PER R406.2,
SEE SITE PLANS AND CIVIL FOR SITE CONDITIONS.

TYPICAL FOOTING DRAIN:

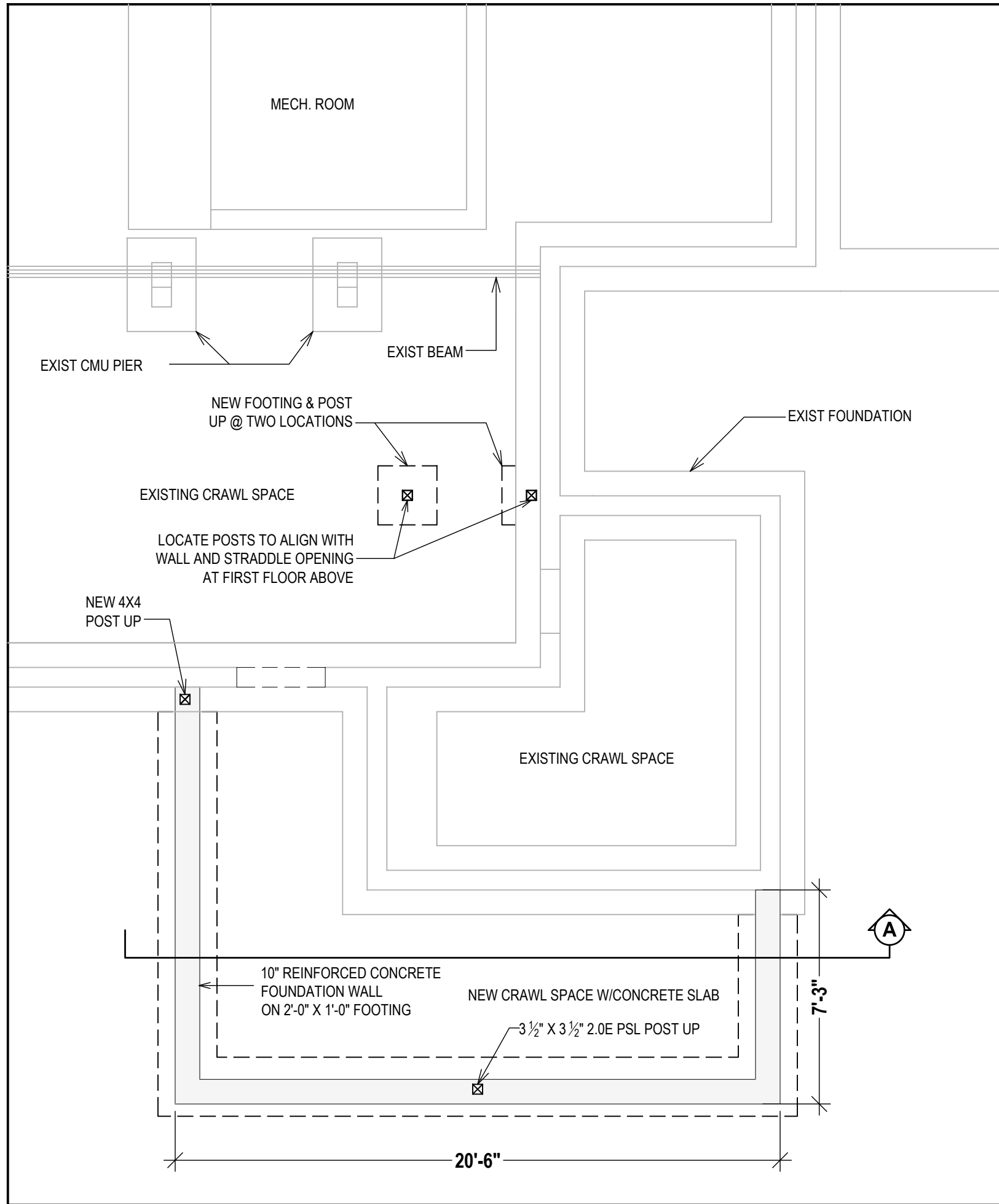
4" PERFORATED PVC PIPE;
DISCHARGE TO SITE DRAINAGE
SYSTEM

FILTER MEMBRANE AROUND
1" WASHED GRAVEL

FOOTING DRAIN, TYPICAL:
SEE SITE PLAN

TYPICAL FOUNDATION SECTION

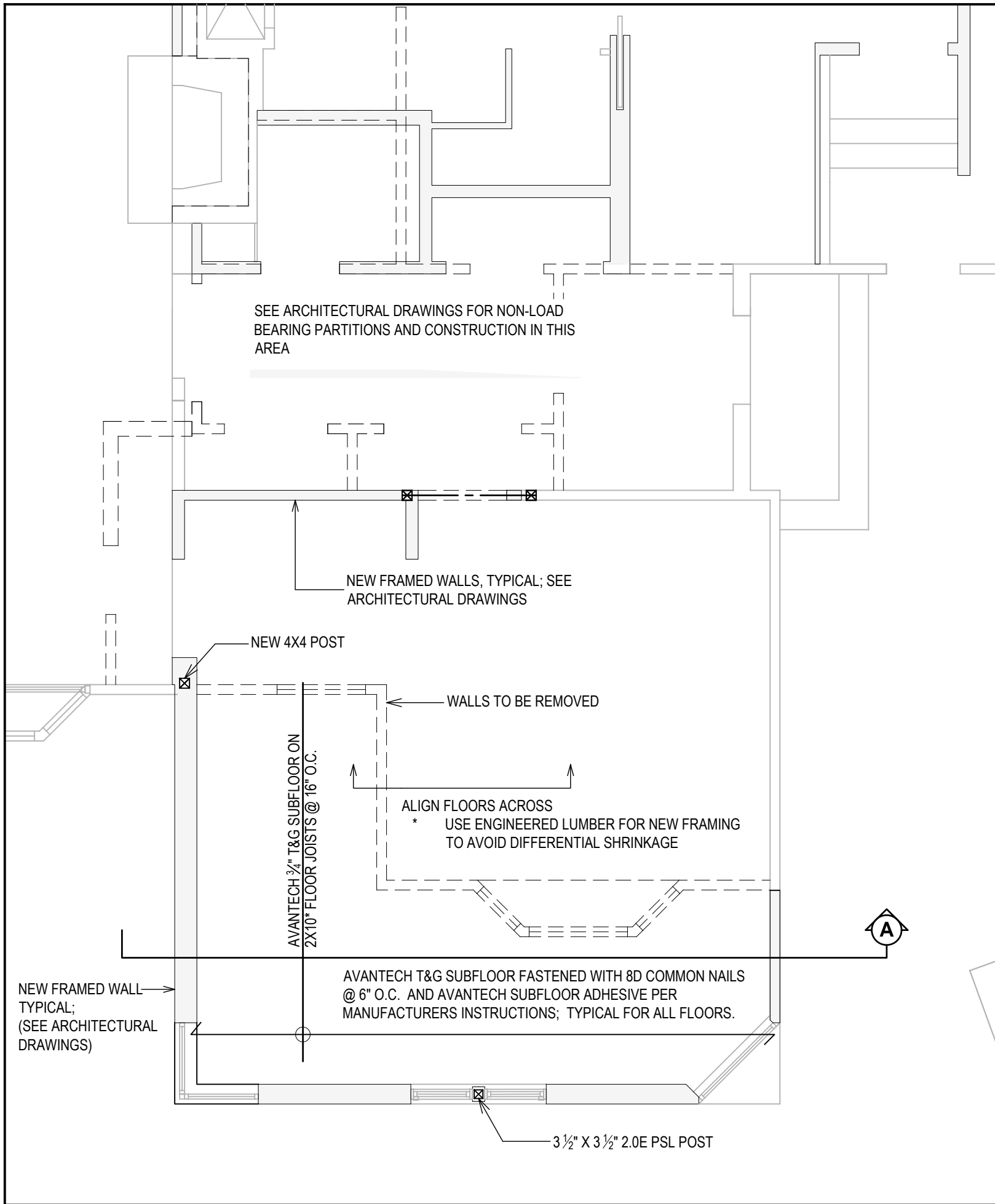
1/2" = 1'-0"



WORK AREA 1, FOUNDATION PLAN

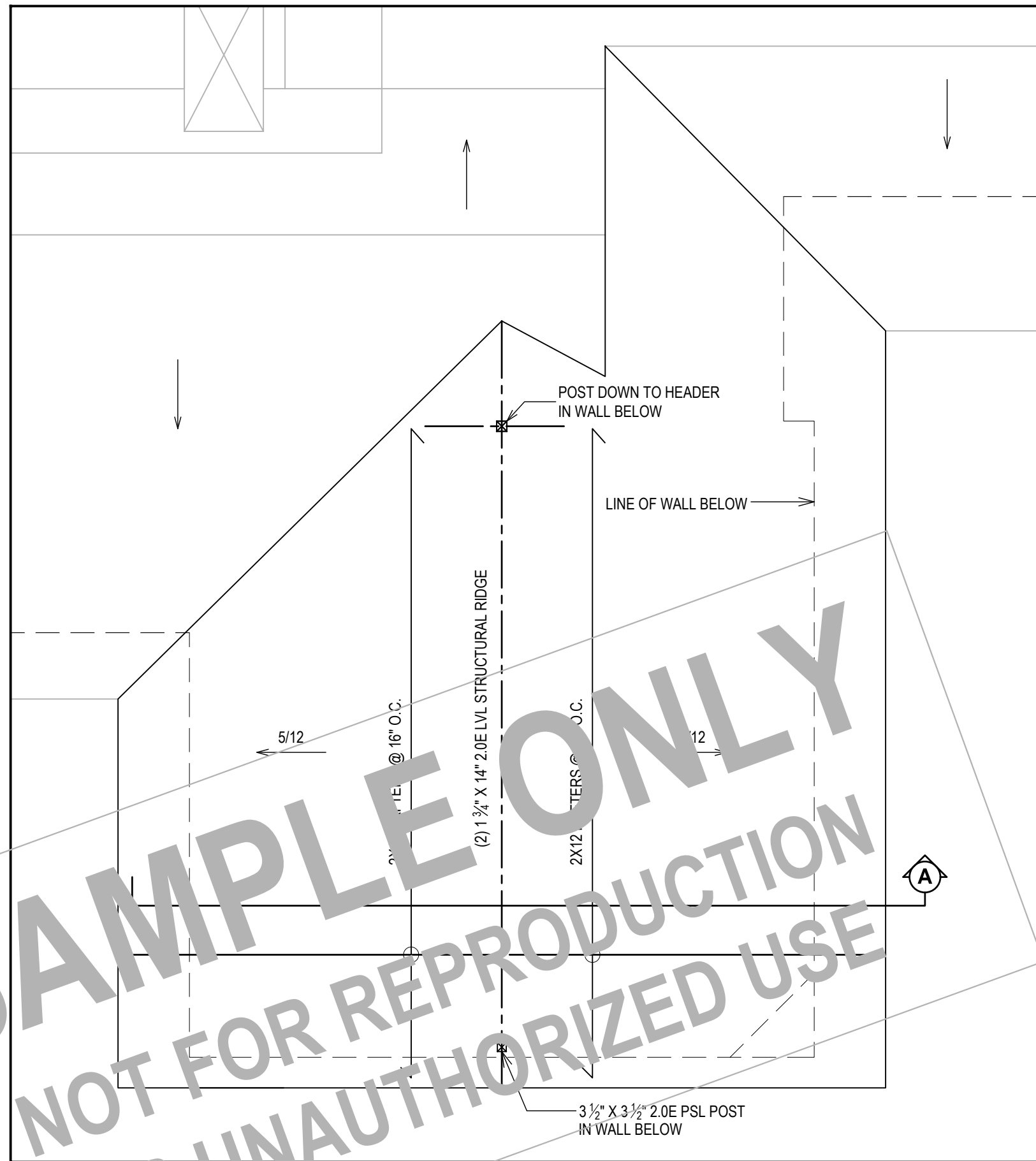
COORDINATE ALL DIMENSION W/ARCHITECTURAL DRAWINGS

1/4" = 1'-0"



WORK AREA 1, FIRST FLOOR PLAN

1/4" = 1'-0"



WORK AREA 1, ROOF PLAN

1/4" = 1'-0"

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DRAWING NAME:

WORK AREA 1
KITCHEN EXTENSION

DRAWING NUMBER:

S-02.1

DATE:

04.30.2024

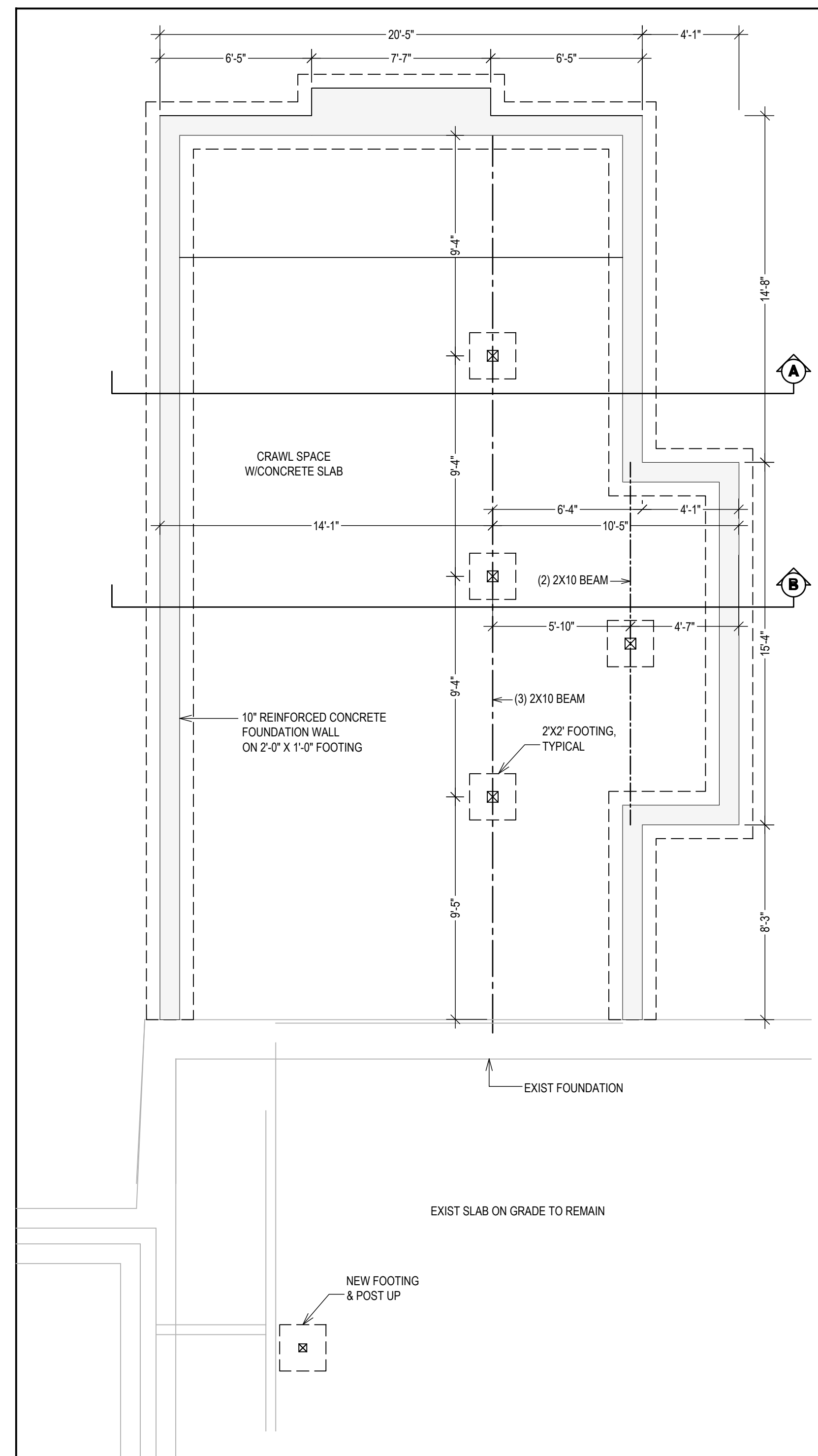
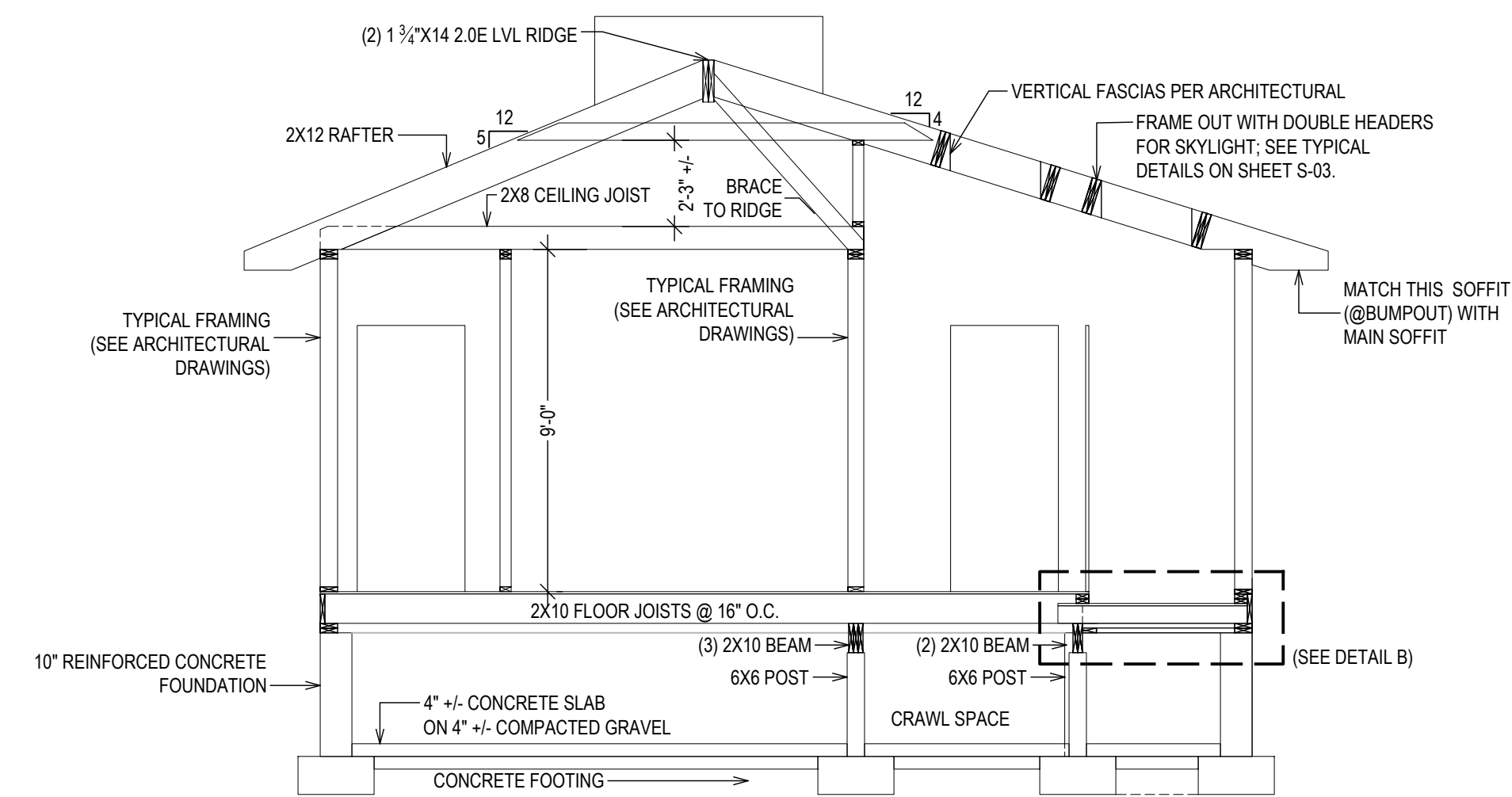
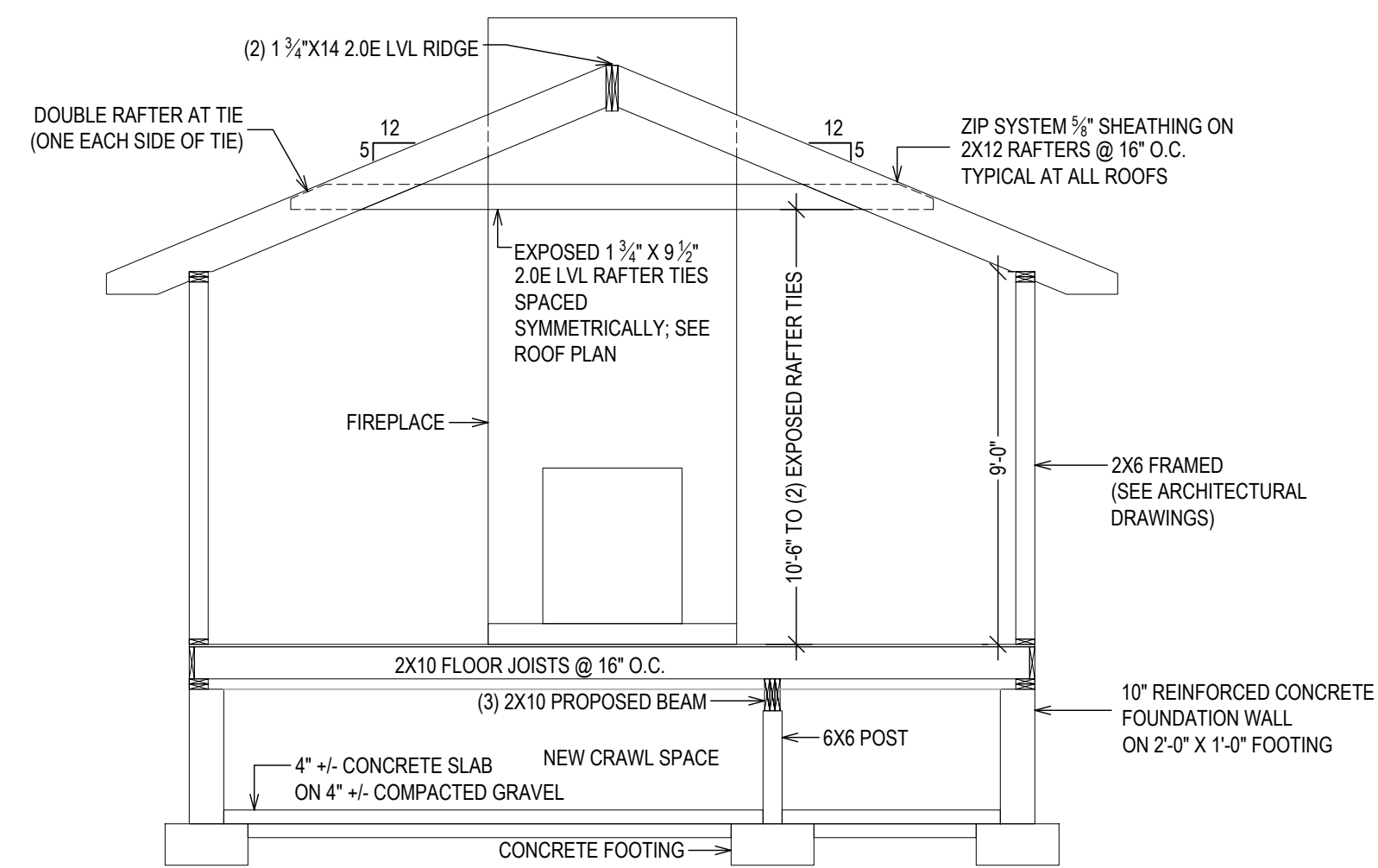
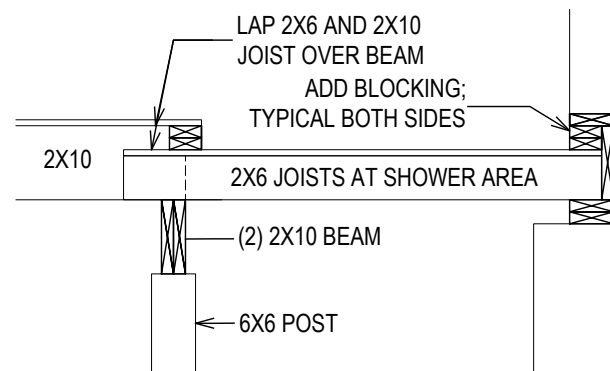
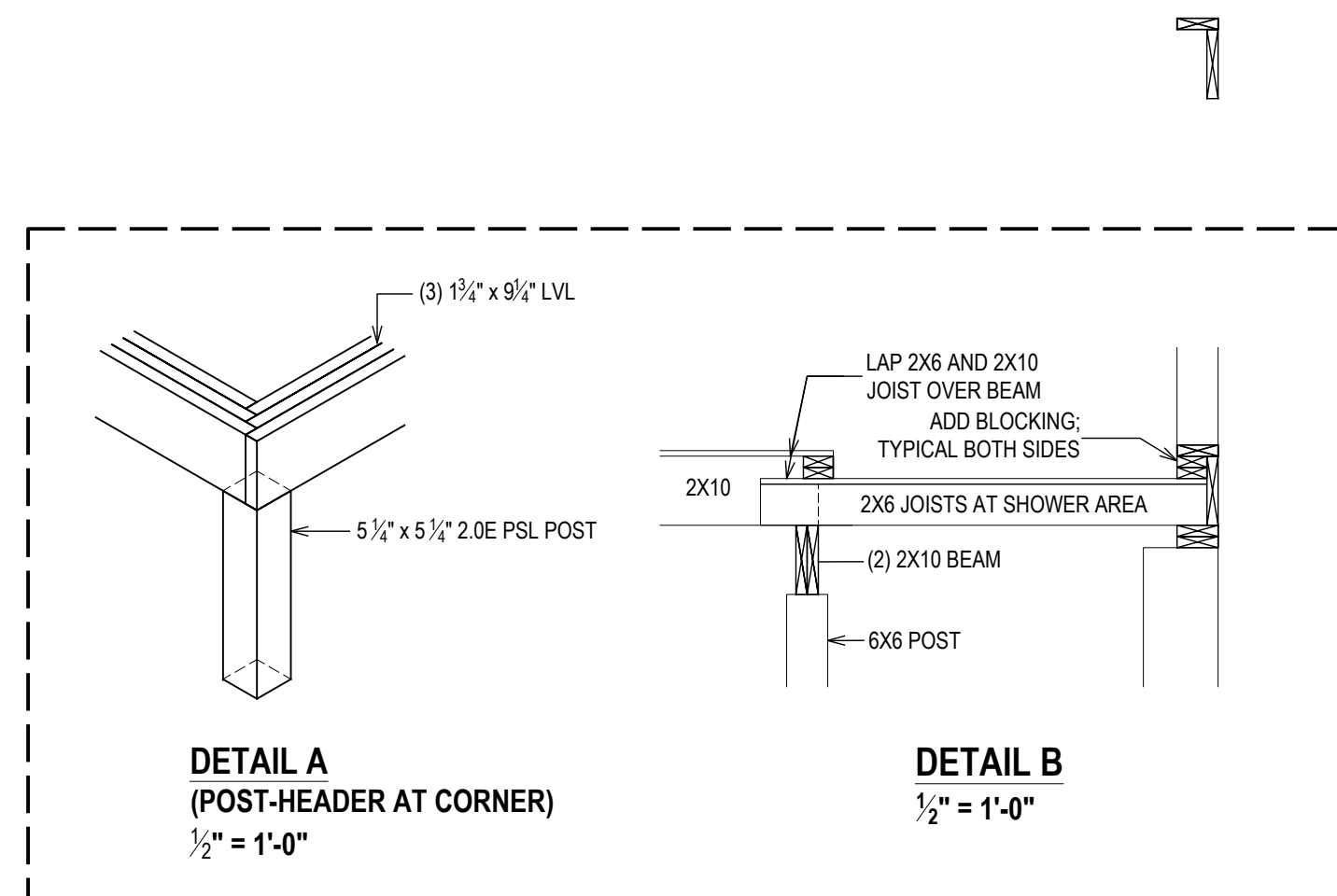
SCALE:

AS NOTED

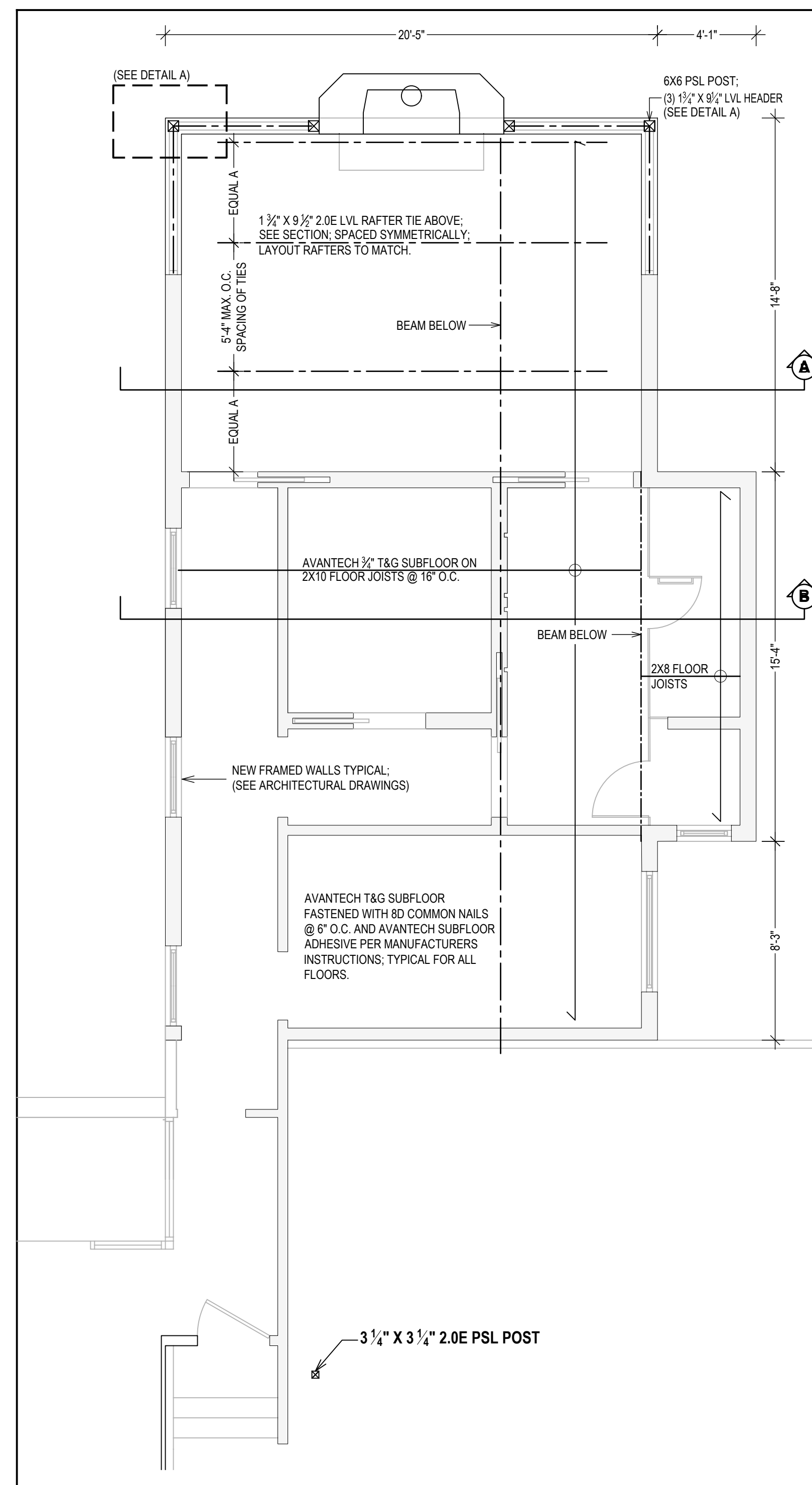
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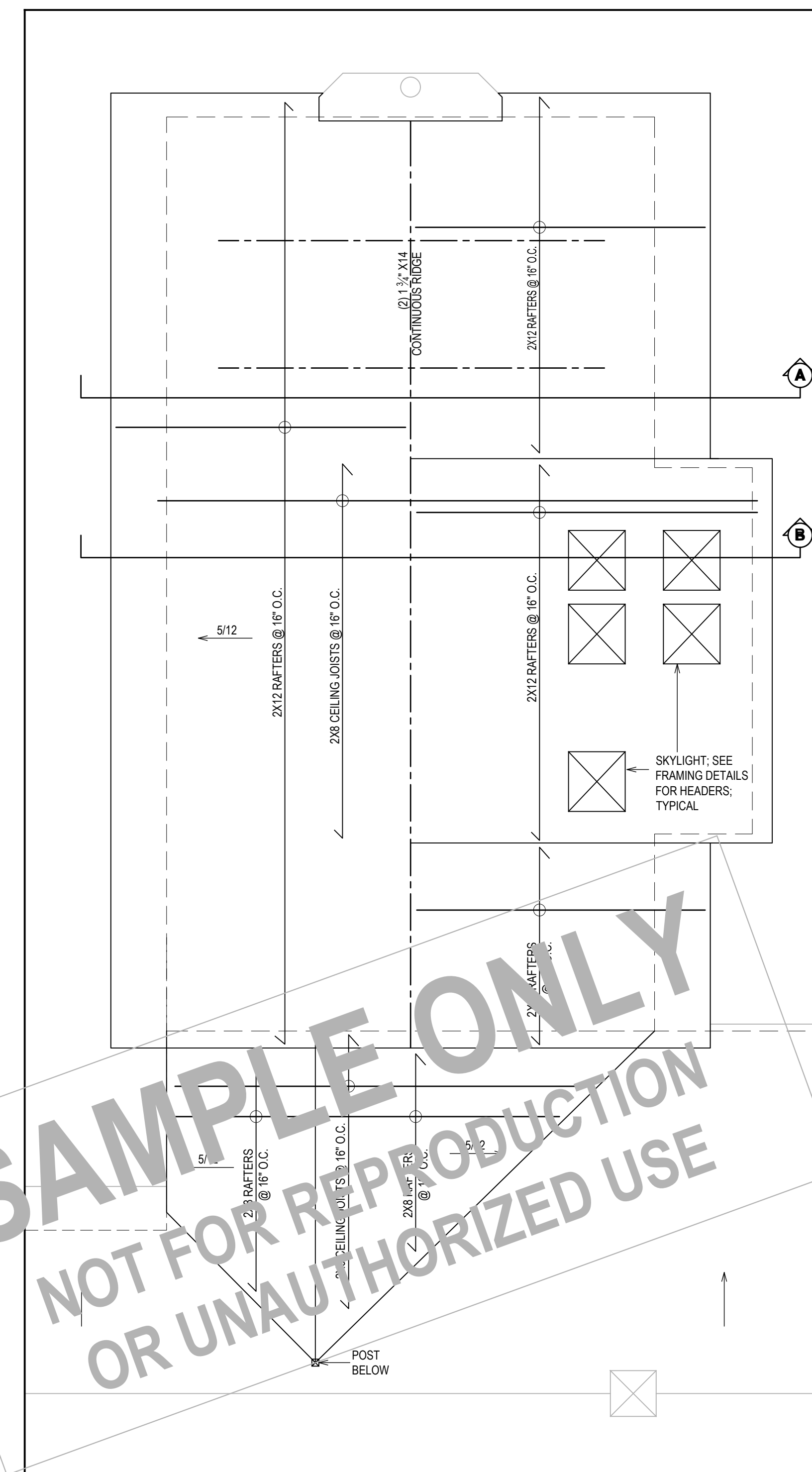
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WORK AREA 2, FOUNDATION PLAN
COORDINATE ALL DIMENSION W/ARCHITECTURAL DRAWINGS
 $\frac{1}{4}" = 1'-0"$



WORK AREA 2, FIRST FLOOR PLAN
COORDINATE ALL DIMENSION W/ARCHITECTURAL DRAWINGS
 $\frac{1}{4}" = 1'-0"$



WORK AREA 2, ROOF PLAN
 $\frac{1}{4}" = 1'-0"$

THIS DRAWING IS AS A SAMPLE ONLY
*** PERSONAL (CLIENT) INFORMATION WITHHELD

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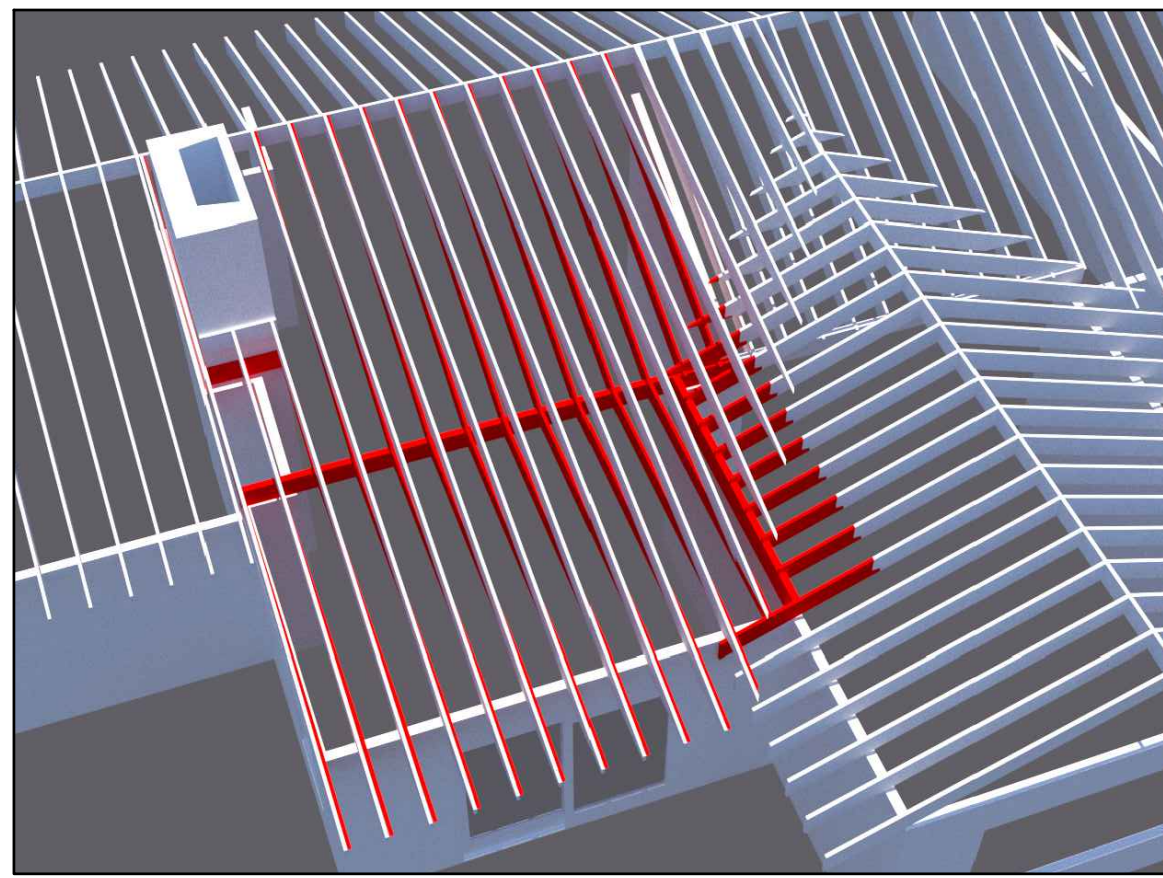
DRAWING NAME:
WORK AREA 2
MASTER BEDROOM ADDITION

DRAWING NUMBER:
S-02.2

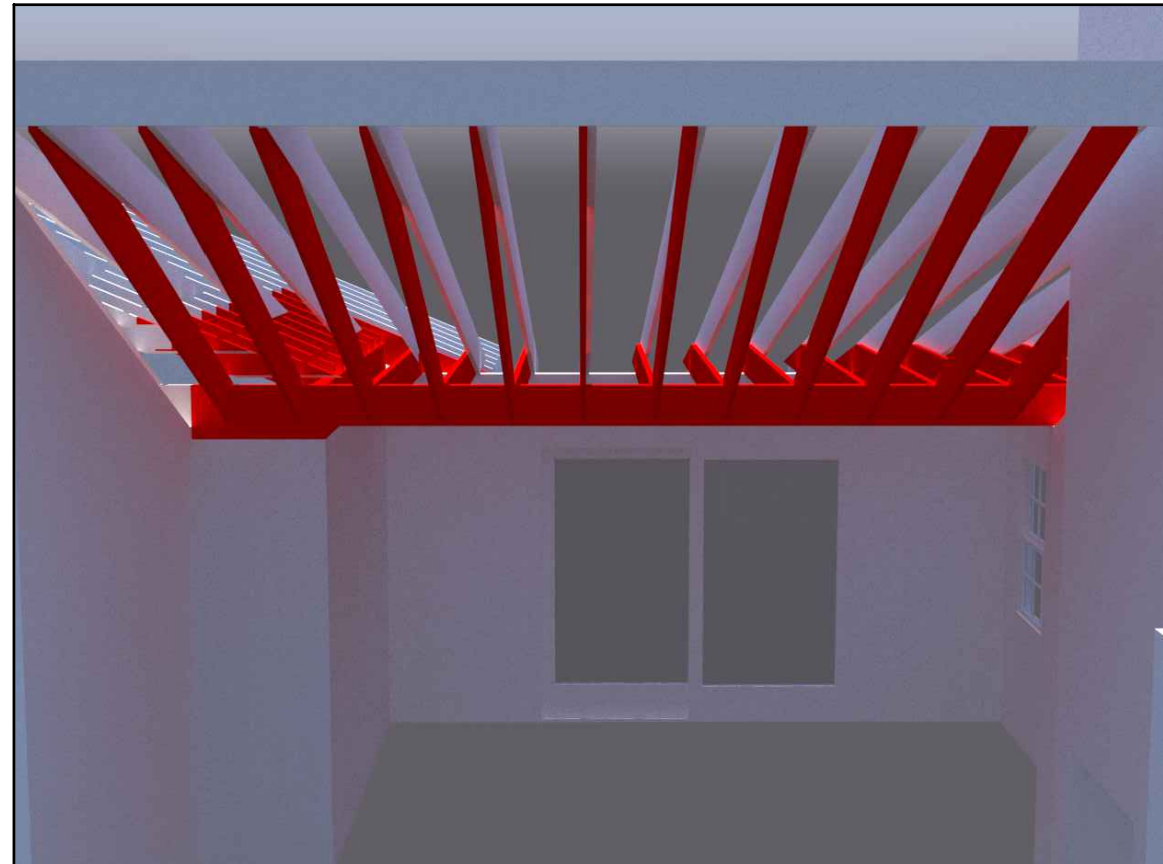
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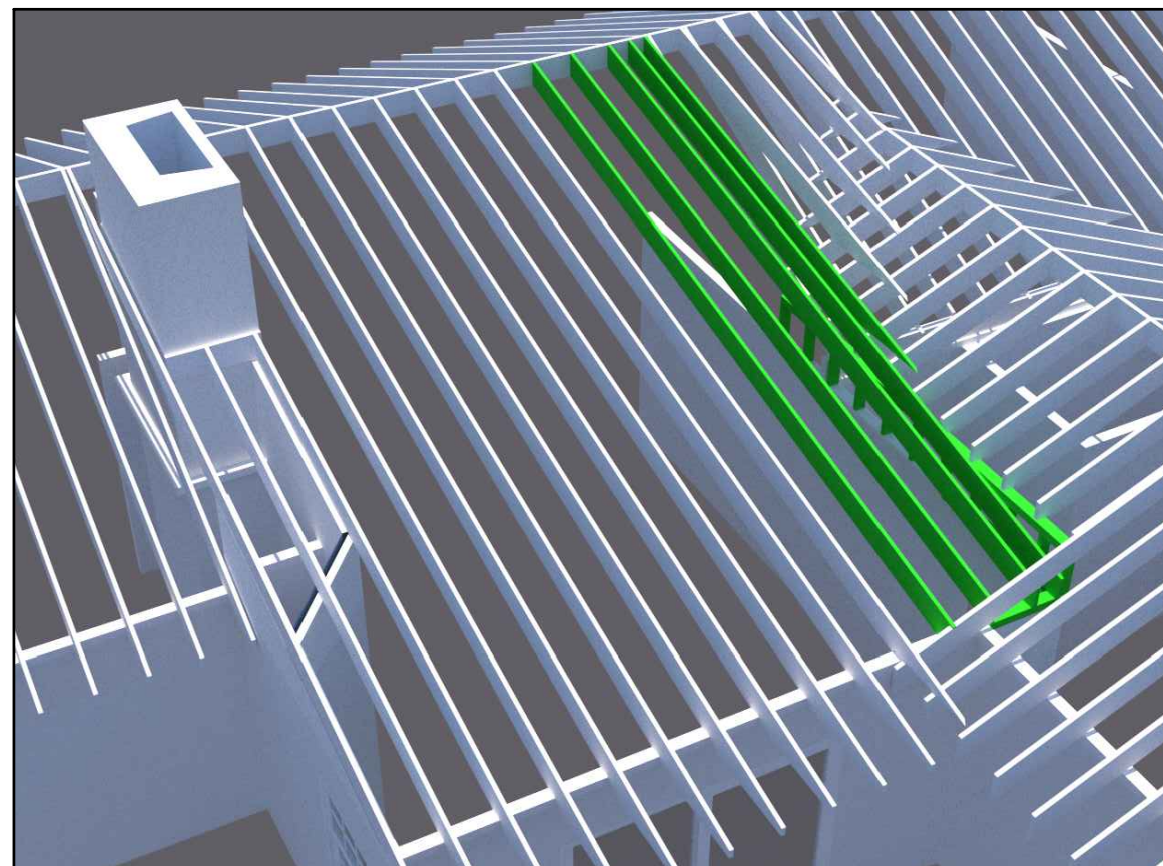
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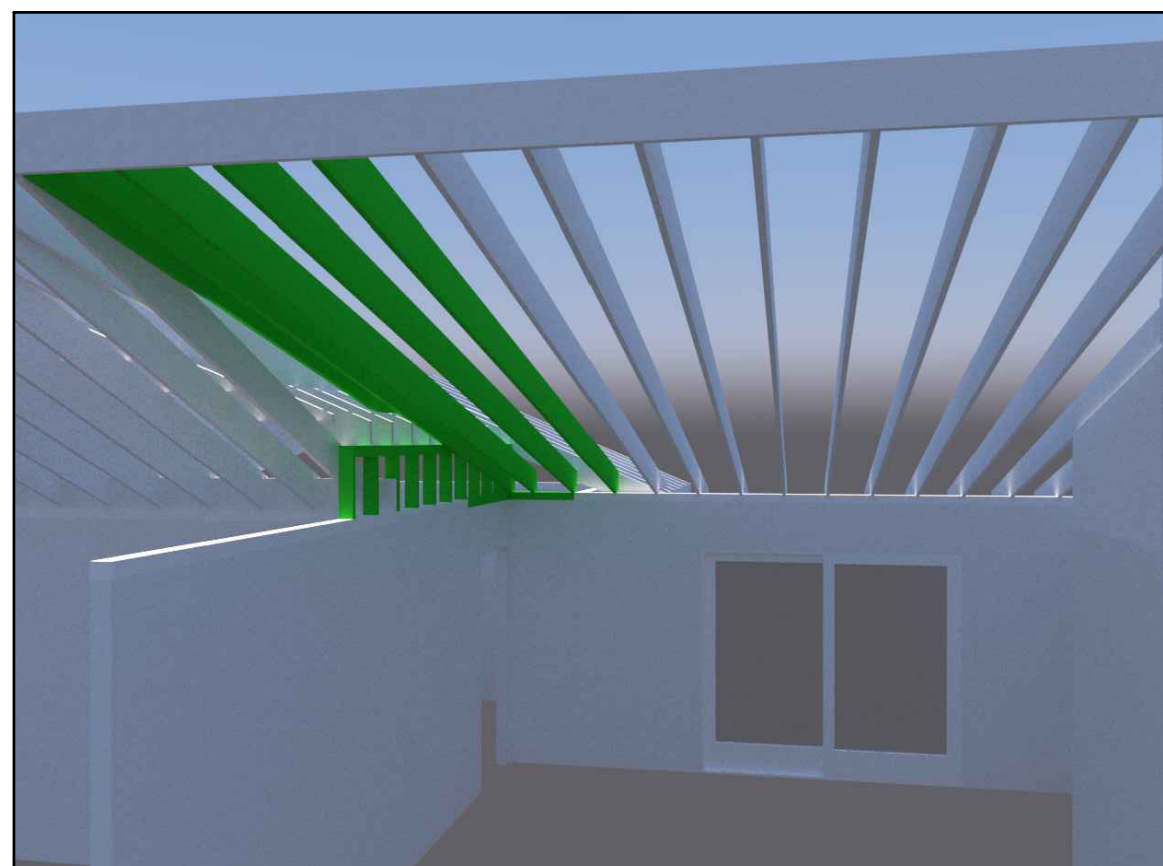
EXISTING
FROM ABOVE
(PLYWOOD OMITTED FOR CLARITY)



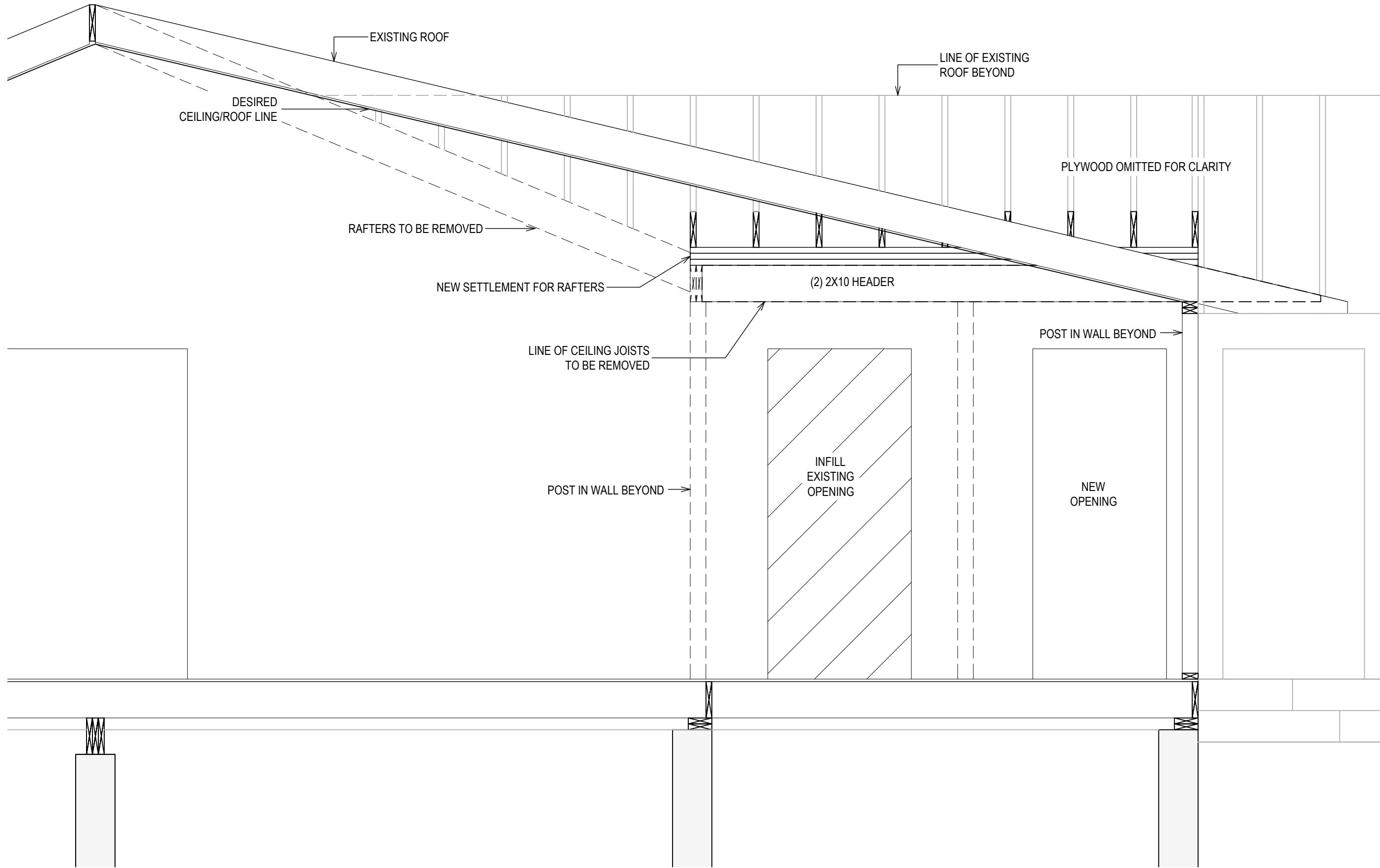
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FROM BELOW
(PLYWOOD OMITTED FOR CLARITY)



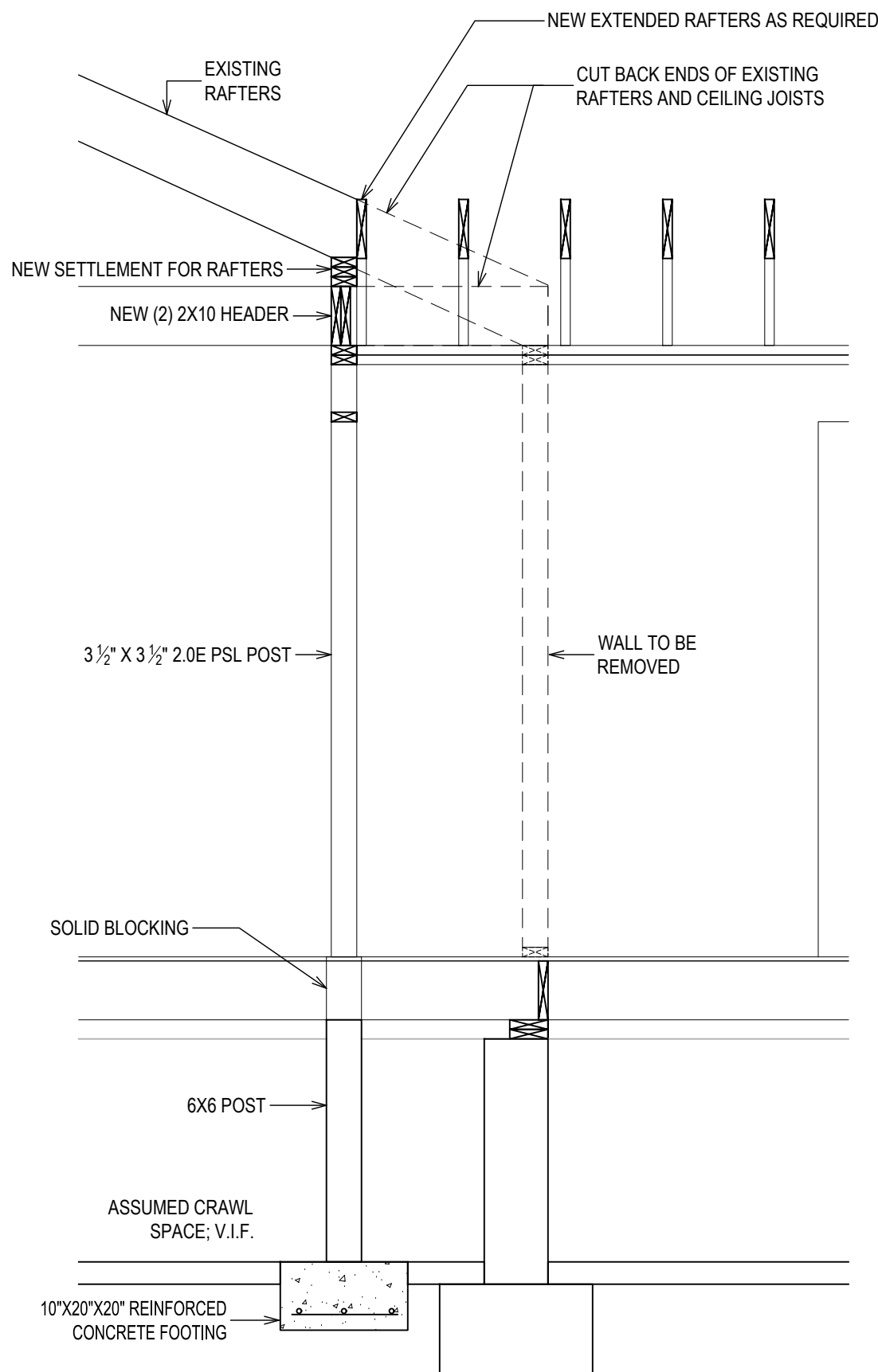
PROPOSED
FROM ABOVE
(PLYWOOD OMITTED FOR CLARITY)



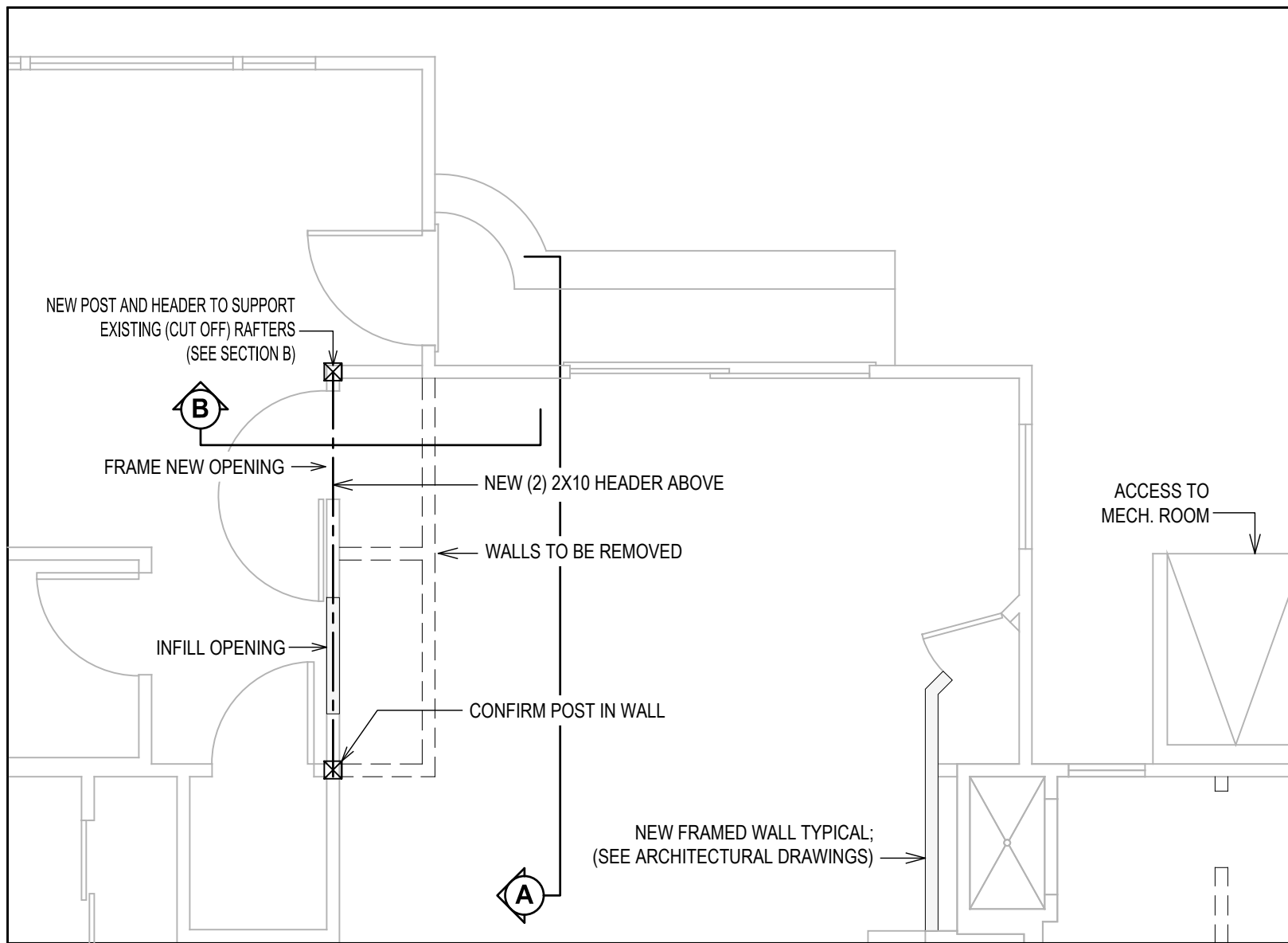
PROPOSED
FROM BELOW
(PLYWOOD OMITTED FOR CLARITY)



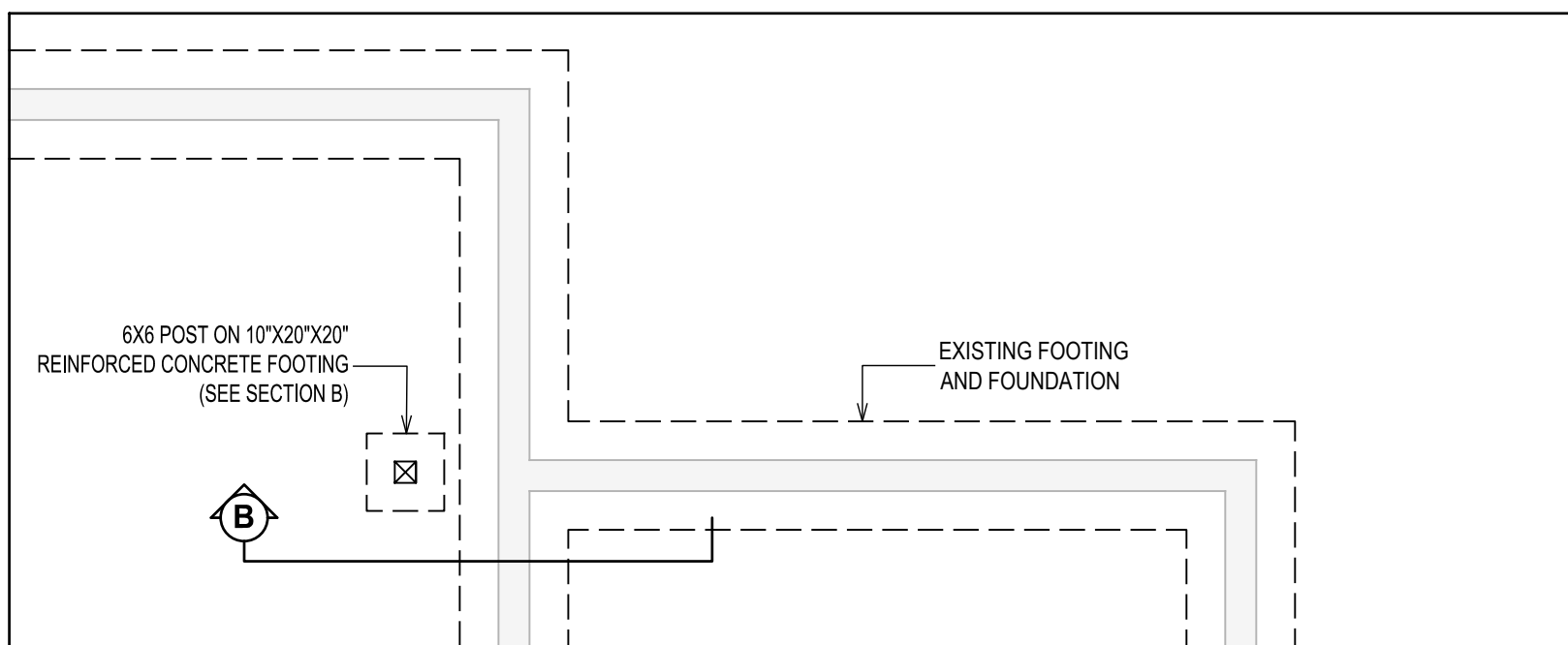
SECTION A
 $\frac{1}{2}'' = 1'-0''$



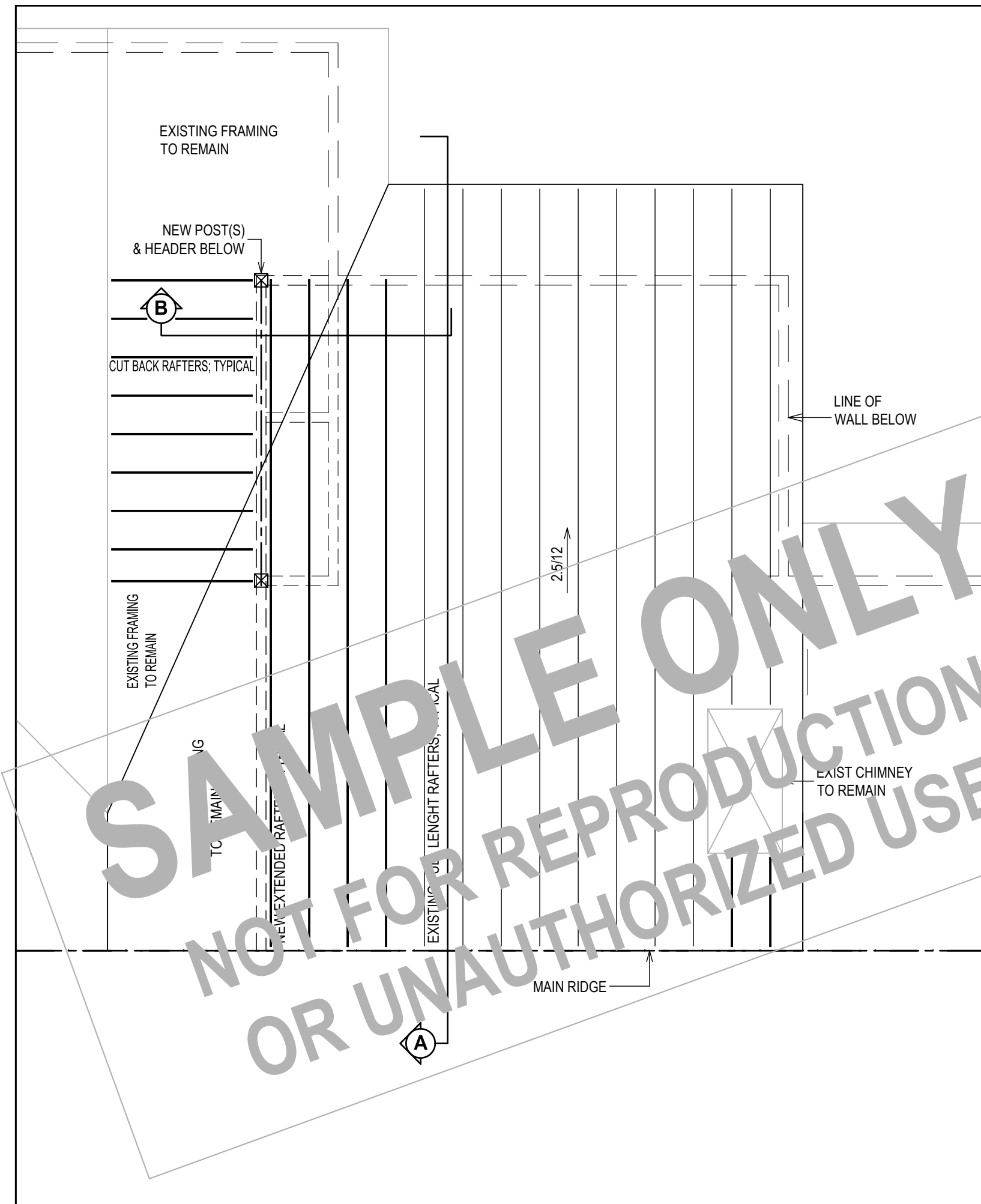
SECTION B
 $\frac{1}{2}'' = 1'-0''$



WORK AREA 3, FIRST FLOOR PLAN
 $\frac{1}{4}'' = 1'-0''$



WORK AREA 3, FOUNDATION PLAN
 $\frac{1}{4}'' = 1'-0''$



WORK AREA 3, ROOF PLAN
 $\frac{1}{4}'' = 1'-0''$

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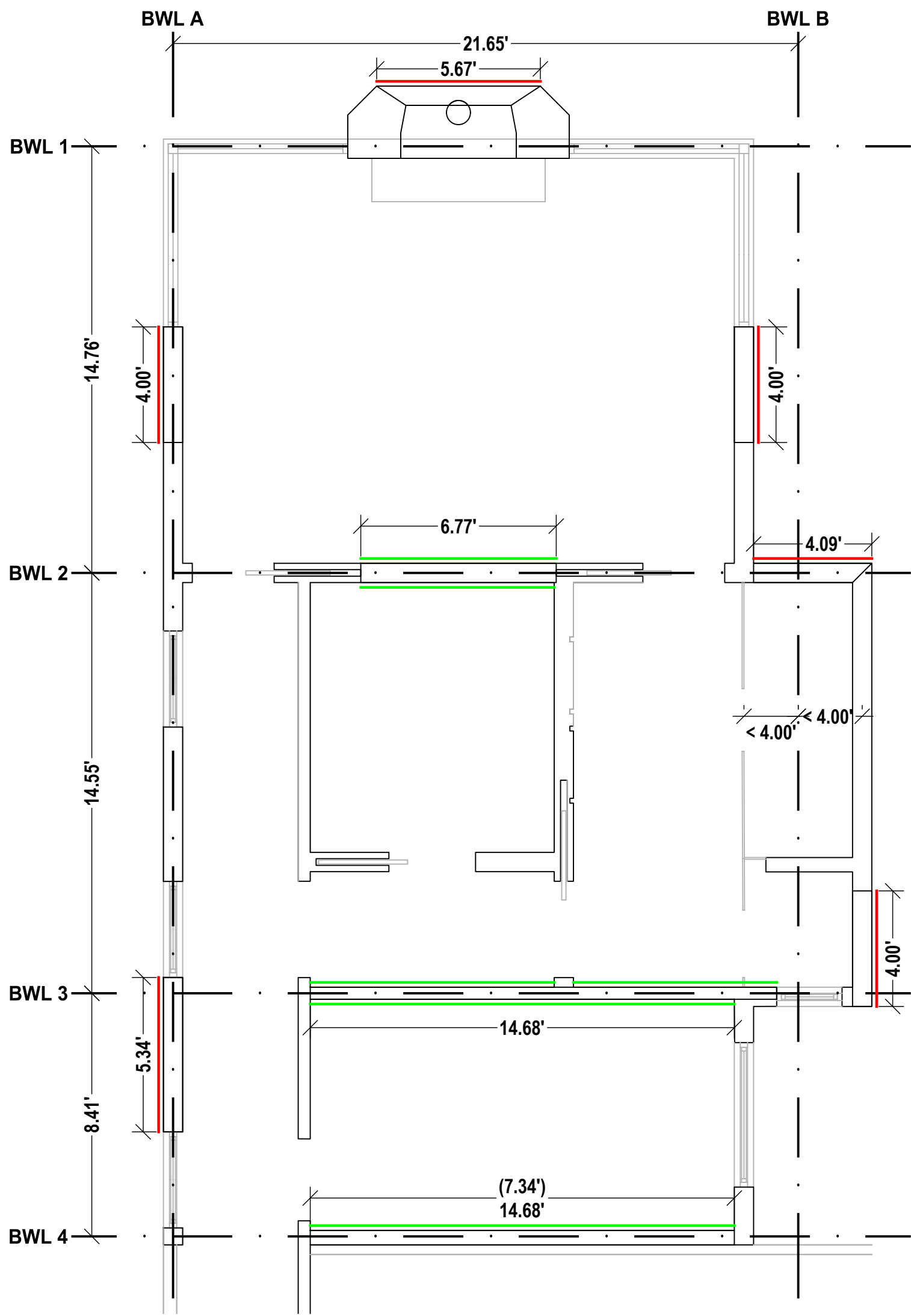
DRAWING NAME:
**WORK AREA 3
ROOF-CEILING ALTERATION**

DRAWING NUMBER:
S-02.3

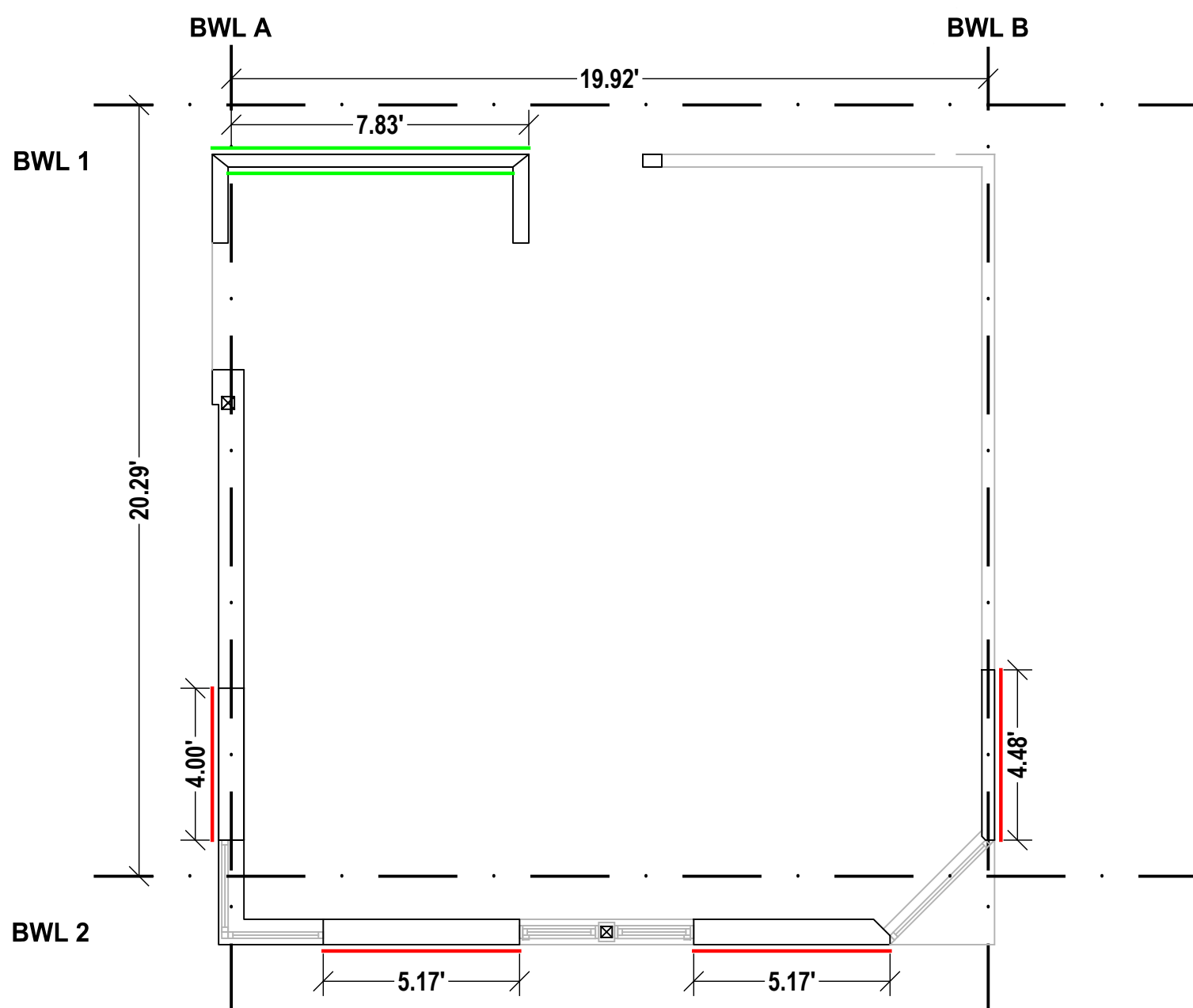
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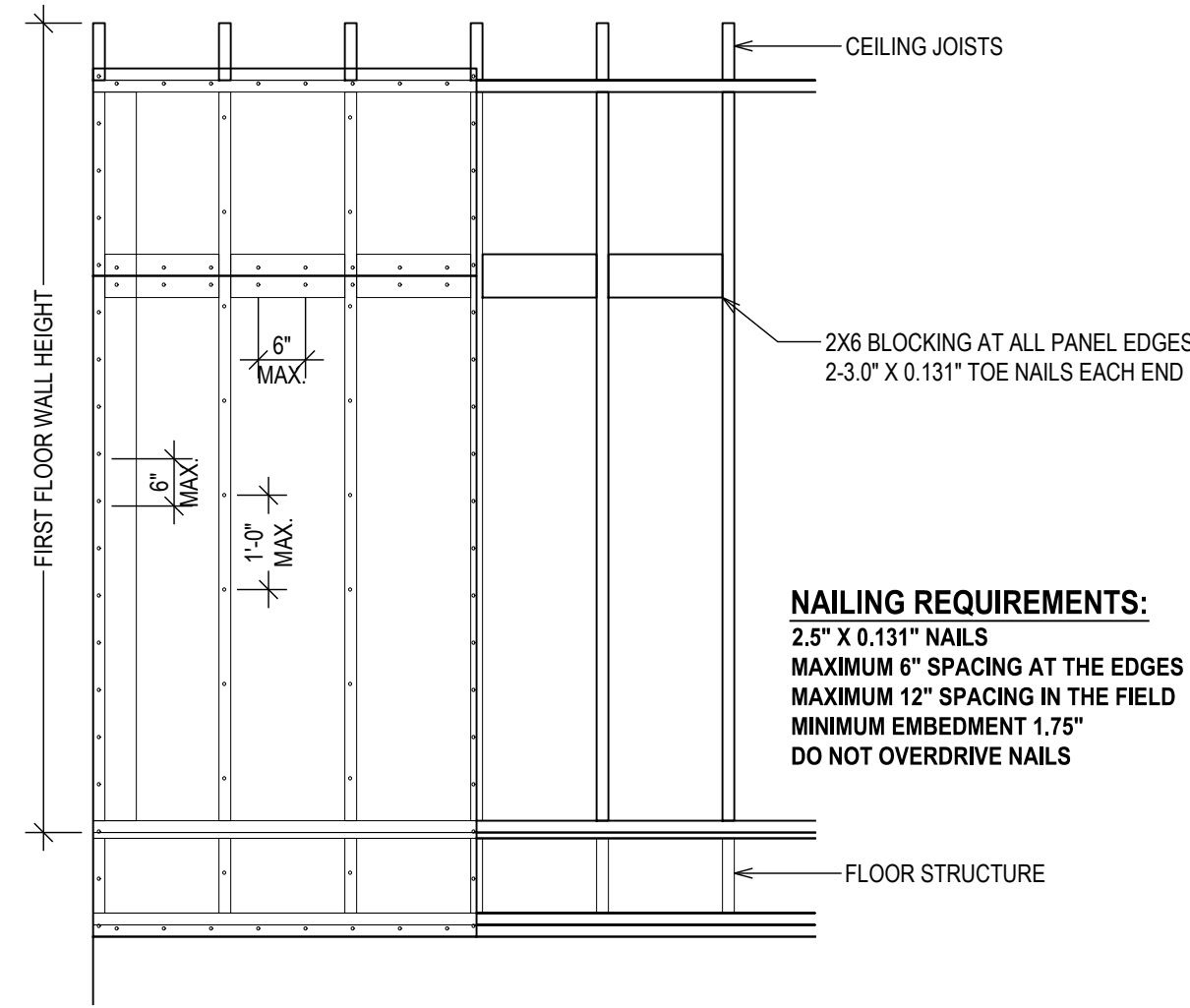
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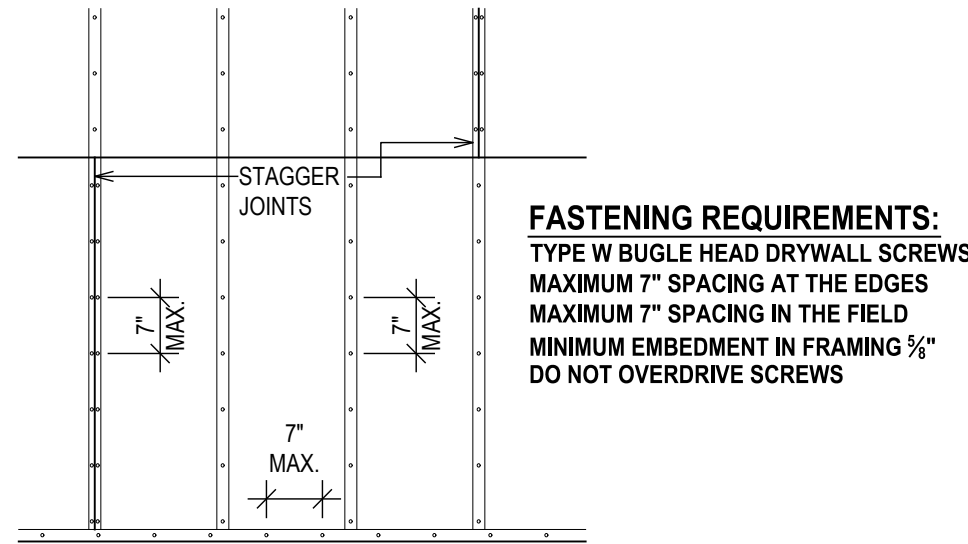
WORK AREA 2, MASTER BEDROOM - BRACED WALL LINE
1/4" = 1'-0"



WORK AREA 1, KITCHEN EXTENSION - BRACED WALL LINE
1/4" = 1'-0"



CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL (CS-WSP)
1/2" = 1'-0"



GYPSUM BOARD (GB) BRACED PANEL
1/2" = 1'-0"

WALL BRACING SCHEDULE - MASTER BEDROOM ADDITION																						
ULTIMATE DESIGN WIND SPEED	BRACED WALL LINE	B.W.L. SPACING	BRACING METHOD	MIN. REQ. LENGTH BRACED R602.10.3(1) *	WIND ADJUSTMENT FACTORS (PER TABLE R602.10.3(2))**															ADJUSTED MINIMUM LENGTH	BRACING LENGTH PROVIDED	
					1. WIND EXPOSURE		2. RIDGE HEIGHT		3. WALL HEIGHT		4. NO. OF BWLS.		5. ADDITIONAL 800 LB HOLD-DN		6. OMIT INTERIOR GYPSUM		7. 4' O.C GYPSUM FASTENING		8. OMIT HORIZONTAL BLOCKING			
115	BWL 1	14.76	CS-WSP	2.21	B	1.00	5.60	0.74	8.50	0.93	4.00	1.45	NO	1.00	NO	1.00	NO	1.00	NO	1.00	2.71	5.67
115	BWL 2	14.66	GB	4.90	B	1.00	5.60	0.74	8.50	0.93	4.00	1.45	NO	1.00	NO	1.00	NO	1.00	NO	1.00	4.89	10.86
115	BWL 3	11.48	GB	3.94	B	1.00	5.60	0.74	8.50	0.93	4.00	1.45	NO	1.00	NO	1.00	NO	1.00	NO	1.00	3.93	16.15
115	BWL 4	8.41	GB	3.02	B	1.00	5.60	0.74	8.50	0.93	4.00	1.45	NO	1.00	NO	1.00	NO	1.00	NO	1.00	3.01	7.34
115	BWL A	21.65	CS-WSP	3.67	B	1.00	5.60	0.74	8.50	0.93	2.00	1.00	NO	1.00	NO	1.00	NO	1.00	NO	1.00	2.53	9.34
115	BWL B	21.65	CS-WSP	3.67	B	1.00	5.60	0.74	8.50	0.93	2.00	1.00	NO	1.00	NO	1.00	NO	1.00	NO	1.00	2.53	8.00

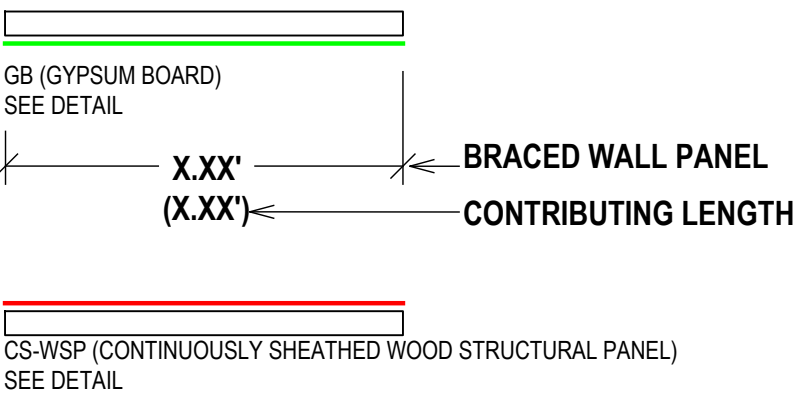
*MINIMUM REQUIRED LENGTHS ARE INTERPOLATED PER FOOTNOTE A.
**ADJUSTMENT FACTORS ARE INTERPOLATED PER FOOTNOTE A.

WORK AREA 2, BRACING SCHEDULE

WALL BRACING SCHEDULE - KITCHEN EXTENSION																					
ULTIMATE DESIGN WIND SPEED	BRACED WALL LINE	B.W.L. SPACING	BRACING METHOD	MIN. REQ. LENGTH BRACED R602.10.3(1) *	WIND ADJUSTMENT FACTORS (PER TABLE R602.10.3(2))**															ADJUSTED MINIMUM LENGTH	BRACING LENGTH PROVIDED
					1.) WIND EXPOSURE	2.) RIDGE HEIGHT	3.) WALL HEIGHT	4.) NO. OF BWLS.	5.) ADDITIONAL 800 LB HOLD-DN	6.) OMIT INTERIOR GYPSUM	7.) 4' O.C GYPSUM FASTENING	8.) OMIT HORIZONTAL BLOCKING									
115	BWL 1	20.29	GB	6.59	B	1.00	5.60	0.74	8.00	0.90	2.00	1.00	NO	1.00	NO	1.00	NO	1.00	4.39	7.83	
115	BWL 2	20.29	CS-WSP	3.53	B	1.00	5.60	0.74	8.00	0.90	2.00	1.00	NO	1.00	NO	1.00	NO	1.00	2.35	10.34	
115	BWL A	19.92	CS-WSP	3.49	B	1.00	5.60	0.74	8.00	0.90	2.00	1.00	NO	1.00	NO	1.00	NO	1.00	2.32	4.00	
115	BWL B	19.92	CS-WSP	3.49	B	1.00	5.60	0.74	8.00	0.90	2.00	1.00	NO	1.00	NO	1.00	NO	1.00	2.32	4.48	

*MINIMUM REQUIRED LENGTHS ARE INTERPOLATED PER FOOTNOTE A.
**ADJUSTMENT FACTORS ARE INTERPOLATED PER FOOTNOTE A.

WORK AREA 1, BRACING SCHEDULE



BRACED WALL PANELS

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FOR REVIEW
FOR PERMIT

PROJECT NAME:
STRUCTURAL DRAWINGS

DRAWING NAME:
BRACED WALLS

DRAWING NUMBER:
S-03.1

DATE:
04.30.2024

SCALE:
AS NOTED

NOTE:
THIS DRAWING IS VALID FOR
CONSTRUCTION IF (AND ONLY IF) A
PERMIT IS ISSUED, BASED ON THIS
DRAWING, BY THE TOWN OF NEW
CASTLE.

Oliver Engineering, P.C.
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Code Compliance - Project Supervision
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