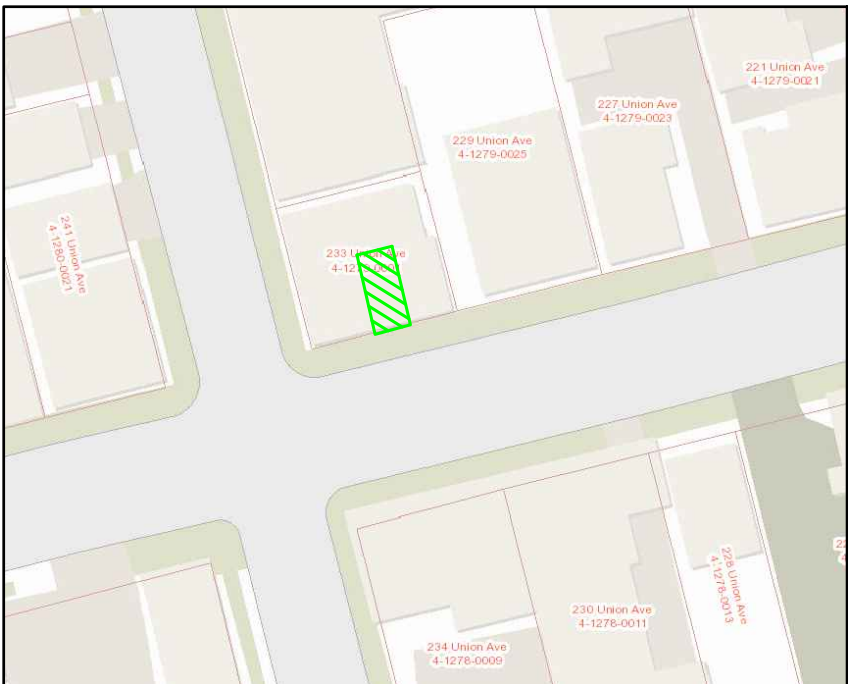
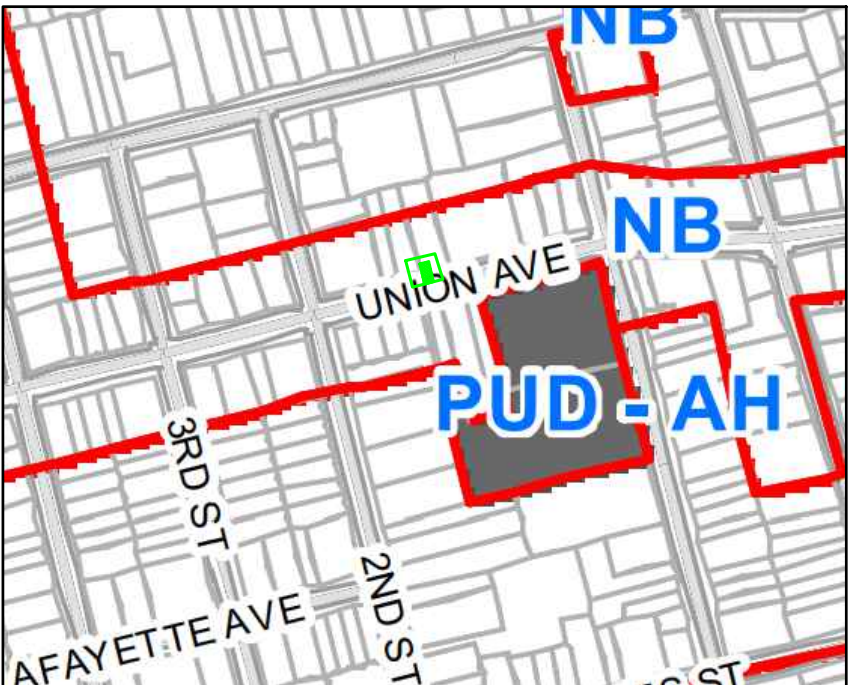


LOCATION PLAN  
GOOGLE MAPS

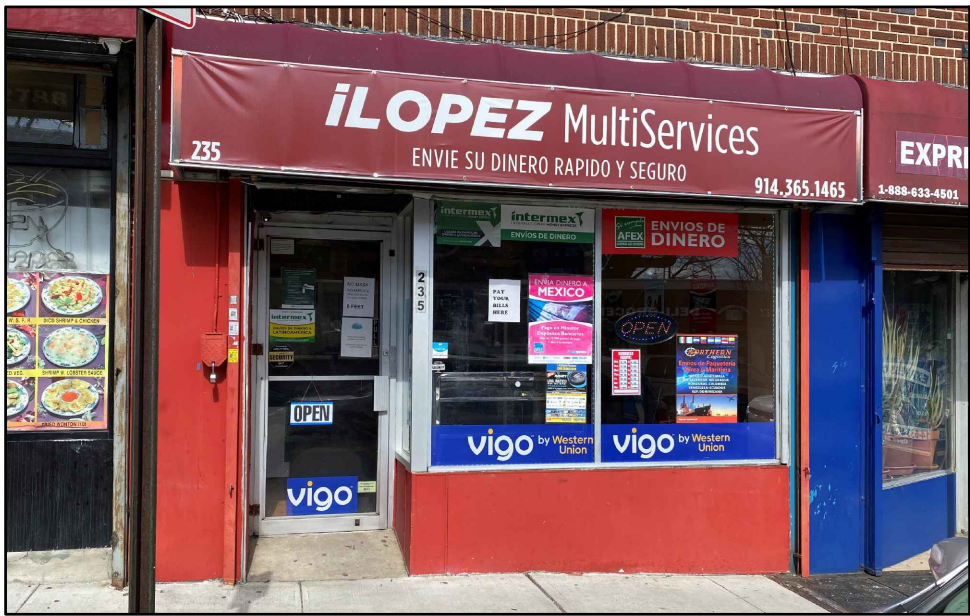


TAX MAP  
WESTCHESTER COUNTY GIS

AREA OF WORK



ZONING MAP  
CITY OF NEW ROCHELLE



STREET VIEW  
GOOGLE MAPS

**CODES:**

**ALTERATION CATEGORY:**

THIS IS AN ALTERATION-LEVEL 2 AS DEFINED BY SECTION 602 OF THE 2020 EXISTING BUILDING CODE OF NEW YORK STATE

ALL WORK UNDER THIS APPLICATION WILL BE PER THE FOLLOWING CODES:

2020 BUILDING CODE OF NEW YORK STATE (INTERNATIONAL BUILDING CODE 2018 WITH AMENDMENTS)

2020 EXISTING BUILDING CODE OF NEW YORK STATE (INTERNATIONAL EXISTING BUILDING CODE 2018 WITH AMENDMENTS)

**CODE OF THE CITY OF NEW ROCHELLE, INCLUDING:**

- CHAPTER 111, BUILDING CONSTRUCTION
- CHAPTER 188, LICENSES
- CHAPTER 260 REGISTRATION, RETAIL BUSINESS
- CHAPTER 331, ZONING

**OCCUPANCY:**

CURRENT OCCUPANCY: GROUP B BUSINESS, PER SECTION 304.  
PROPOSED OCCUPANCY: GROUP BUSINESS, PER SECTION 304

THIS PREMISES WAS PREVIOUSLY IN USE AS A HAIR SALON WITH MECHANICAL (PLUMBING AND HVAC) AND ELECTRICAL SYSTEMS IN PLACE AND FUNCTIONING AS REFLECTED IN THIS DRAWING; THERE WILL BE NO CHANGE MADE TO THE EXISTING SYSTEMS EXCEPT AS NOTED.

EXISTING LAYOUT AND STRUCTURE (EXCEPT AS NOTED) ARE TO REMAIN; NO STRUCTURAL WORK WILL BE INCLUDED UNDER THIS PERMIT.

**ZONING:**

CNR ZONE: NB-NEIGHBORHOOD BUSINESS DISTRICT

USE (MULTISERVICE) IS A PERMITTED PRINCIPAL USE PER: 331-56, NB NEIGHBORHOOD BUSINESS DISTRICT.

**A. PERMITTED PRINCIPAL USE(S):**

(2) STORES AND SHOPS EXCLUSIVELY FOR SALE AT RETAIL, OR THE PERFORMANCE OF CUSTOMARY PERSONAL SERVICES.

**PREVIOUS USE:**

HAIR/BEAUTY SALON

**PROPOSED USE:**

MULTISERVICE

**OCCUPANT LOAD PER SECTION 1004:**

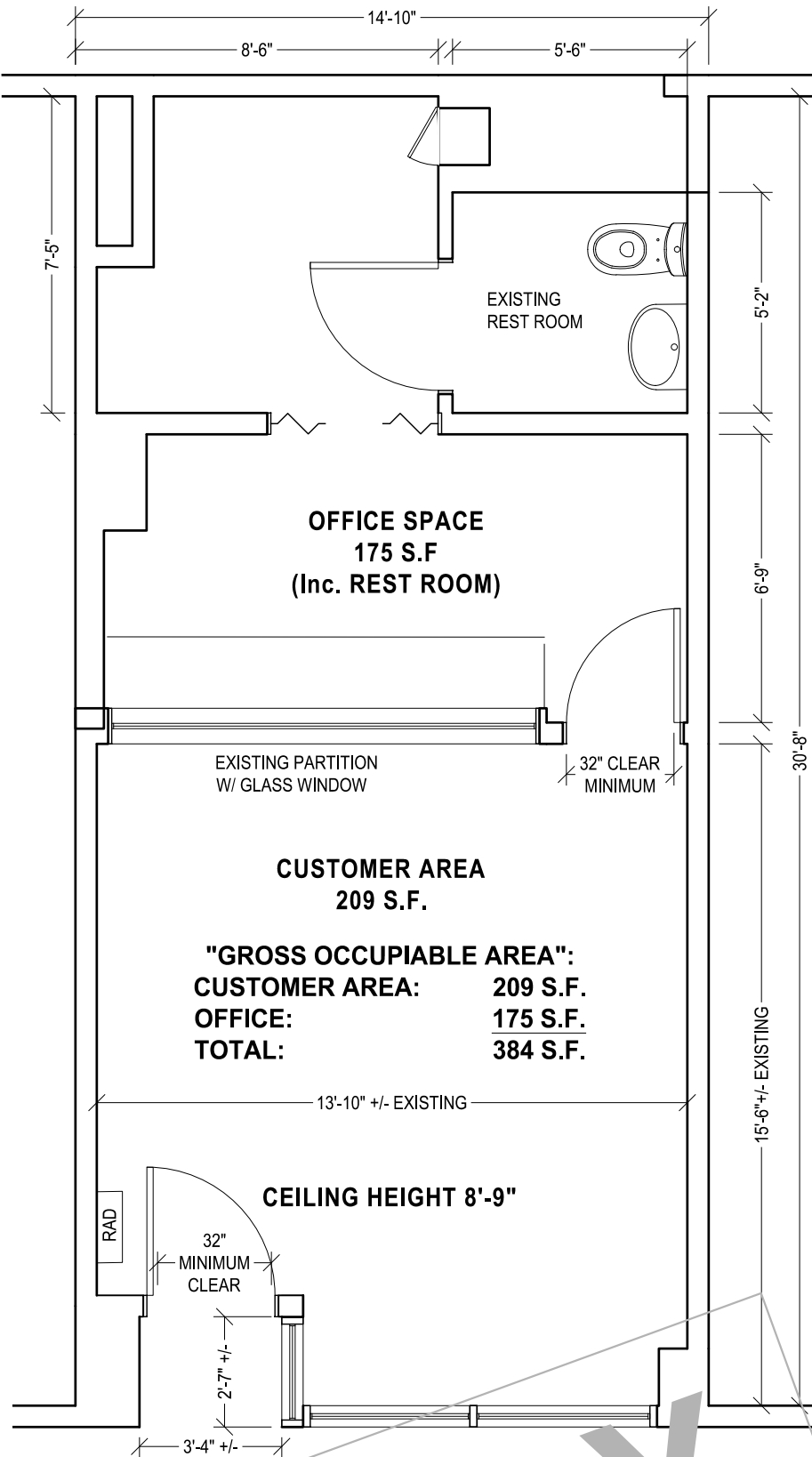
PER SECTION 1004.8, (CONCENTRATED BUSINESS USE AREA),  
<1 PERSON PER 50 S.F. OF GROSS OCCUPIABLE SPACE:

OCCUPIABLE SPACE, TOTAL: 384 S.F.  
DESIGN OCCUPANT LOAD: 8 PERSONS  
OCCUPANT LOAD: 1 PERSON PER 50.5 S.F.

**SIGN (EXTERIOR):**

A SEPARATE PERMIT MUST BE OBTAINED FOR ANY SIGN REGULATED BY CHAPTER 270 OF THE CODE OF THE CITY OF NEW ROCHELLE AND MUST CONFORM WITH THE PROVISIONS OF CHAPTER 270.

**ZONING**



**LAYOUT**

1/2\"/>

**LAYOUT:**

EXISTING FLOOR PLAN TO REMAIN

EXISTING MECHANICAL TO REMAIN.

EXISTING FLOOR, WALL AND CEILING FINISHES TO REMAIN.

SEE SHEET 02 FOR REALIZATION ITEMS.



