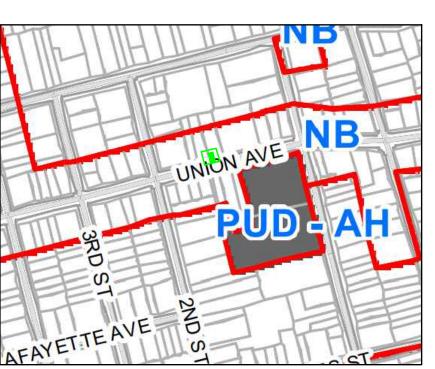


LOCATION PLAN GOOGLE MAPS



TAX MAP **WESTCHESTER COUNTY GIS**



ZONING MAP CITY OF NEW ROCHELLE



STREET VIEW **GOOGLE MAPS**

ALTERATION CATEGORY:

THIS IS AN ALTERATION-LEVEL 2 AS DEFINED BY SECTION 602 OF THE 2020 EXISTING BUILDING CODE OF NEW YORK STATE

ALL WORK UNDER THIS APPLICATION WILL BE PER THE FOLLOWING CODES:

2020 BUILDING CODE OF NEW YORK STATE (INTERNATIONAL BUILDING CODE 2018 WITH AMENDMENTS)

2020 EXISTING BUILDING CODE OF NEW YORK STATE (INTERNATIONAL EXISTING **BUILDING CODE 2018 WITH AMENDMENTS)**

CODE OF THE CITY OF NEW ROCHELLE, INCLUDING: CHAPTER 111, BUILDING CONSTRUCTION **CHAPTER 188, LICENSES** CHAPTER 260 REGISTRATION, RETAIL BUSINESS CHAPTER 331, ZONING

CURRENT OCCUPANCY: GROUP B BUSINESS, PER SECTION 304. PROPOSED OCCUPANCY: CROUP BUSINESS, PER SECTION 304

THIS PREMISES WAS PREVIOUSLY IN USE AS A HAIR SALON WITH MECHANICAL (PLUMBING AND HVAC) AND ELECTRICAL SYSTEMS IN PLACE AND FUNCTIONING AS REFLECTED IN THIS DRAWING; THERE WILL BE NO CHANGE MADE TO THE EXISTING SYSTEMS EXCEPT AS NOTED.

EXISTING LAYOUT AND STRUCTURE (EXCEPT AS NOTED) ARE TO REMAIN; NO STRUCTURAL WORK WILL BE INCLUDED UNDER THIS PERMIT.

ZONING:

CNR ZONE: NB-NEIGHBORHOOD BUSINESS DISTRICT

USE (MULTISERVICE) IS A PERMITTED PRINCIPAL USE PER: 331-56, NB NEIGHBORHOOD BUSINESS DISTRICT. A. PERMITTED PRINCIPAL USE(S):

(2) STORES AND SHOPS EXCLUSIVE OR LE AT TA. RTH PERFORMANCE OF CUSTOMARY PERSONA FRVICES.

HAIR/B UT SALON

PREVIOUS USE: PROPOSED USE:

OCCUPANT LOAD PER SECTION 1004

PER SECTION 1004.8, (CONCENTRATED BUSINESS USE AREA), <1 PERSON PER 50 S.F. OF GROSS OCCUPIABLE SPACE:

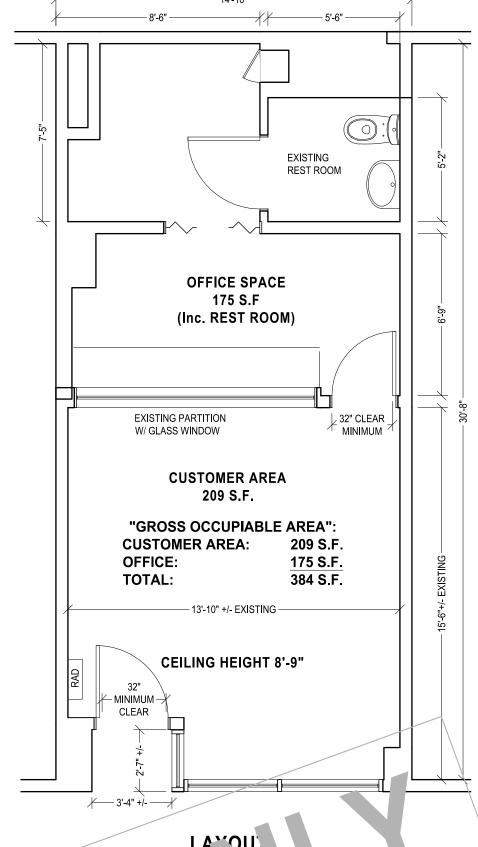
OCCUPIABLE SPACE, TOTAL: DESIGN OCCUPANT LOAD: OCCUPANT LOAD:

384 S.F. 8 PERSONS 1 PERSON PER 50.5 S.F

SIGN (EXTERIOR):

A SEPARATE PERMIT MUST BE OBTAINED FOR ANY SIGN REGULATED CHAPTER 270 OF THE CODE OF THE CITY OF NEW ROCHELLE AND MUST CONFORM WITH THE PROVISIONS OF CHAPTER 270.

ZONING



TING FLO PLAN REMAIL

...ANICAL TO REMAIN.

EXISTING FLOOR, WALL AND SEIL NO FINISHES TO LEMAIN.

SEE SHEET 02 JUN FOALIZ TON JEMS.

04.19.2021 FOR REVIEW

PROPERTY ADDRESS:

S-B-L:

OWNER:

CLIENT:

NEW ROCHELLE, NY 10801

05.27.2021 FOR PERMIT

02.17.2022 DOB COMMENTS

PROJECT NAME:

MULTISERVICES OFFICE

DRAWING NAME:

COVER SHEET

DRAWING NUMBER:

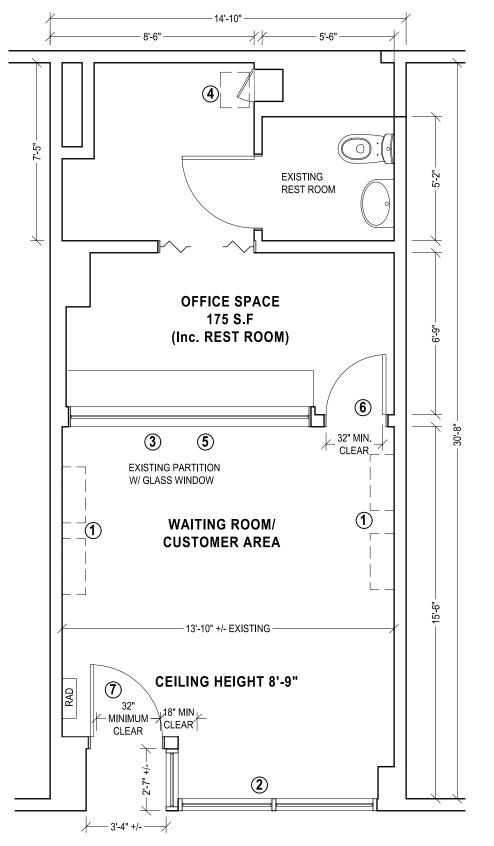
S.01

SCALE: DATE: 05.27.2021 **AS NOTED**

NOTE:

THIS DRAWING IS VALID FOR CONSTRUCTION IF (AND ONLY IF) A PERMIT IS ISSUED, BASED ON THIS DRAWING, BY THE CITY OF **NEW ROCHELLE**

THIS DRAWING IS AS A SAMPLE ONLY *** PERSONAL (CLIENT) INFORMATION WITHHELD



LAYOUT 1/4" = 1'-0"

<u>LAYOUT:</u>

EXISTING FLOOR PLAN TO REMAIN

EXISTING MECHANICAL TO REMAIN.

EXISTING FLOOR, WALL AND CEILING FINISHES TO REMAIN.

SUMMARY AND SCOPE OF WORK:

THE FOLLOWING EXISTING CONDITIONS ARE TO REMAIN, AND SHOULD BE CONFIRMED AND **LEGALIZED AS REQUIRED, AND AS FOLLOWS:**

- (1) PER DOB RECORDS, SHELF/COUNTERS WERE TO BE INSTALLED AT THE LOCATIONS INDICATED; CONFIRM NON-INSTALLATION OR REMOVAL OF SHELF/COUNTERS.
- **2** EXISTING STOREFRONT TO REMAIN.
- (3) EXISTING PARTITION, CREATING OFFICE SPACE, TO REMAIN.

THE EXISTING ELECTRICAL INSTALLATION IS TO REMAIN; RE-LAMP EXISTING LIGHT FIXTURES AND INSTALL LENSES AND PROVIDE SMOKE AND CARBON MONOXIDE DETECTORS AS REQUIRED; NO OTHER ELECTRICAL WORK TO BE PERFORMED UNDER THIS PERMIT. THE CERTIFICATION OR LEGALIZATION - IF REQUIRED - OF ANY EXISTING ELECTRICAL WORK IS TO BE FILED UNDER SEPARATE PERMIT BY A LICENSED ELECTRICIAN.

(4) PER DOB RECORDS, A NEW HAIR WASHING SINK WAS TO BE INSTALLED AT THE LOCATION

LICENSED PLUMBER TO CONFIRM THAT ANY PRIOR EXISTING PLUMBING HAS BEEN CORRECTLY CAPPED OFF.

THE EXISTING PLUMBING INSTALLATION IS TO REMAIN; AS NOTED; NO NEW PLUMBING TO BE PERFORMED UNDER THIS PERMIT.

THE CERTIFICATION OR LEGALIZATION - IF REQUIRED - OF ANY EXISTING PLUMBING WORK IS TO BE FILED UNDER SEPARATE PERMIT BY A LICENSED PLUMBER.

THE EXISTING HVAC INSTALLATION IS TO REMAIN; NO HVAC WORK WILL BE PERFORMED **UNDER THIS PERMIT**

THE FOLLOWING ITEMS ARE TO ALSO BE INCLUDED IN THIS PERMIT APPLICATION:

5 ADD GLASS WINDOW ABOVE EXISTING PARTITION:

GLAZING WITHIN 24" OF THE DOOR IS CONSIDERED TO BE IN A HAZARDOUS LOCATION REQUIRING SAFETY GLAZING MATERIALS PER THE 2020 BUILDING CODE OF NEW YORK STATE, SECTION 2406.1 SAFETY GLAZING.

(6) ADD DOOR TO OFFICE:

AND AS SHOWN.

DOOR TO CONFORM WITH ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES 2009 OF NEW YORK STATE (A117.1 2009), SECTION 404.2.2 CLEAR WIDTH,

SECTION 404.2.3.2 MANEUVERING CLEARANCES FOR SWINGING DOORS & SECTION 404.2.4 THRESHOLDS.

(7) CHANGE SWING ON STOREFRONT DOOR:

CHANGE SWING ON EXISTING DOOR TO OPEN IN AND WITH 32" CLEAR TO COMPLY WITH ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES 2009 OF NEW YORK STATE (A117.1 2009): SECTION 404.2.2 CLEAR WIDTH,

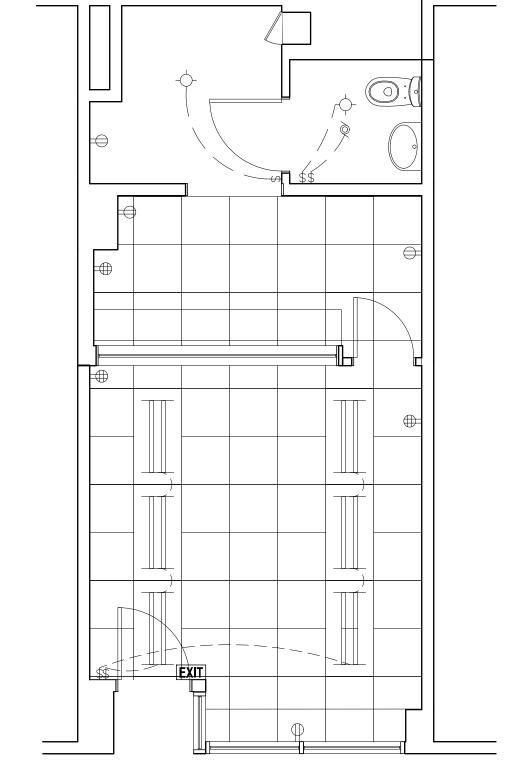
SECTION 404.2.3.2 MANEUVERING CLEARANCES FOR SWINGING DOORS, SECTION 404.2.3.2 MANEUVERING CLEARANCES AT RECESSED DOORS & SECTION 404.2.4 THRESHOLDS.

FINISHES:

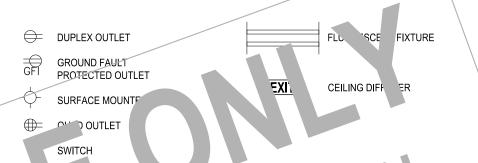
AND AS SHOWN.

EXISTING DROPPED CEILING TO REMAIN EXISTING VCT FLOOR TO REMAIN EXISTING LAMINATE FLOOR TO REMAIN EXISTING PAINTED GYPSUM WALLBOARD WALL TO REMAIN

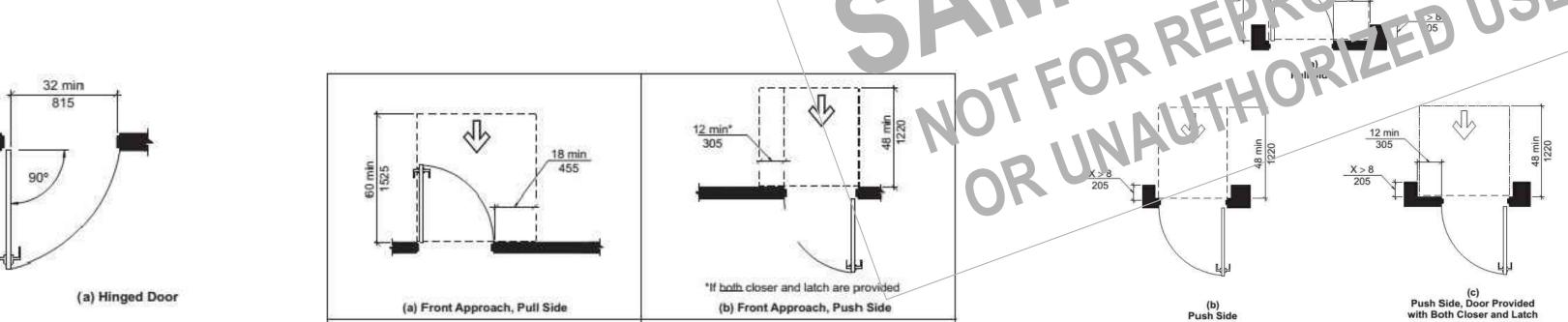
EXISTING (DOOR AND BASE) TRIM TO REMAIN







SCOPE OF WORK



DOOR CLEARANCE

DOOR CLEARANCE AT FRONT APPROACH

CLEARANCE AT RECESSED (>8") DOOR

PROPERTY ADDRESS:

NEW ROCHELLE, NY 10801

OWNER:

CLIENT:

04.19.2021 FOR REVIEW 05.27.2021 FOR PERMIT **02.17.2022 DOB COMMENTS**

PROJECT NAME:

MULTISERVICES OFFICE

DRAWING NAME:

LAYOUT

DRAWING NUMBER:

S.01

SCALE: DATE: 05.27.2021 **AS NOTED**

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