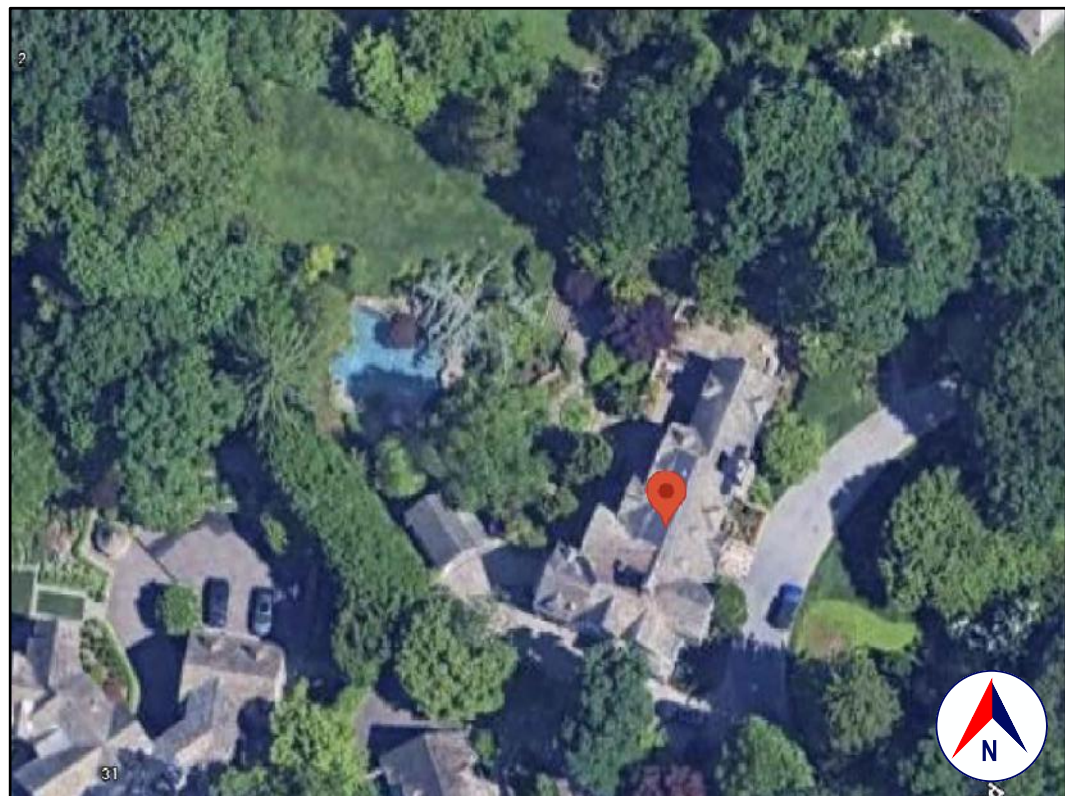
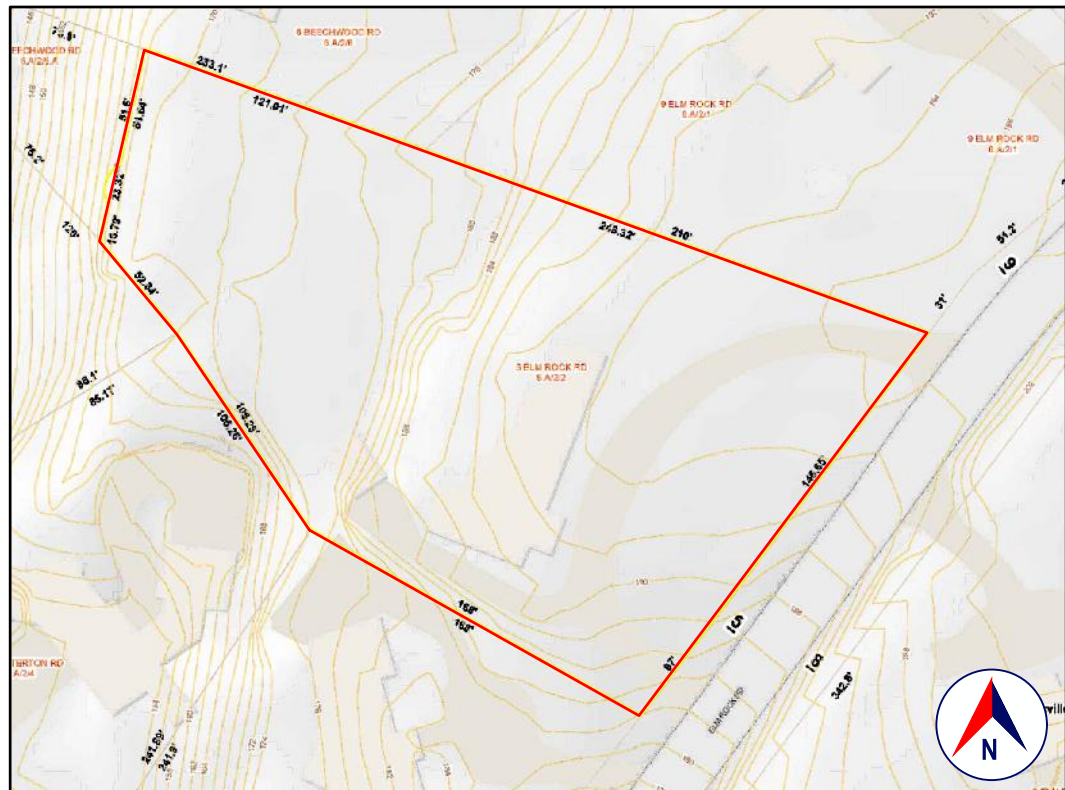


LOCATION
GOOGLE MAPS



SATELLITE VIEW
GOOGLE EARTH



TAX MAP AND TOPO
WESTCHESTER COUNY GIS



FRONT VIEW
REALTOR.COM

1.0 GENERAL REQUIREMENTS:

1.1 PROJECT SCOPE:
REPAIR/REPLACE EXISTING RETAINING WALLS.

1.2 DESIGN INTENT: WITH ARCHITECT
IT IS THE OVERALL INTENT OF (ALL OF) THE DRAWINGS TO CALL FOR COMPLETE AND FINISHED WORK, IN COMPLIANCE WITH THE NOTED CODES, AND TESTED AND GUARANTEED AND READY FOR OPERATION.

THESE (STRUCTURAL) DRAWINGS ARE NOT INTENDED TO ADDRESS: ZONING; DRAINAGE; GRADING; OR OTHER SITE ISSUES.
REFER TO THE HACKETT LANDSCAPE DESIGN DRAWINGS FOR ALL SITE-RELATED ISSUES.

THE ENGINEER HAS NOT BEEN ENGAGED TO SUPERVISE ANY WORK AND DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

1.3 EXISTING CONSTRUCTION TYPE:
THE EXISTING BUILDING, PER THE BUILDING CODE OF NEW YORK STATE, TABLE 603 IS CONSTRUCTION TYPE VB (CONSTRUCTION WHERE THE PRIMARY ELEMENTS ARE NOT REQUIRED TO BE FIRE RATED).

1.4 CLASSIFICATION OF PROPOSED WORK:
THE PROPOSED WORK IS OUTSIDE OF THE EXISTING BUILDING ENVELOPE, THE CODES REFERENCED BELOW APPLY TO ALL PROPOSED WORK.

1.5 CURRENT STATUS:
YEAR BUILT: 1925 (PER ZILLOW)
ZONING: AAA
OCCUPANCY CLASSIFICATION: RESIDENTIAL

1.6 COMPLIANCE:
ALL WORK SHALL BE IN COMPLIANCE WITH THE FOLLOWINGS CODES:
• GENERAL: 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS).
• EXISTING: EXISTING BUILDING CODE OF NEW YORK STATE (INTERNATIONAL EXISTING BUILDING CODE 2018 WITH AMENDMENTS).
• PLUMBING: NOT APPLICABLE TO THESE DRAWINGS.
• ELECTRICAL: NOT APPLICABLE TO THESE DRAWINGS.
• DRAINAGE: NOT APPLICABLE TO THESE DRAWINGS.
• MUNICIPAL: CHAPTER 112, BUILDING CONSTRUCTION OF THE CODE OF THE VILLAGE OF BRONXVILLE.
• OTHER: ALL REFERENCED CODES, OTHER CODES AND REGULATIONS, FEDERAL, STATE AND LOCAL, THAT MAY APPLY.

1.7 AUTHORITY HAVING JURISDICTION:
THE AUTHORITY HAVING JURISDICTION, AS DEFINED IN SECTION 103.1 OF THE RESIDENTIAL CODE, AND WHICH SHALL PROVIDE FOR ADMINISTRATION AND ENFORCEMENT OF THE UNIFORM CODE AND ENERGY CODE BY LOCAL LAW, ORDINANCE, OTHER APPROPRIATE REGULATION, OR COMBINATION THEREOF, IS THE VILLAGE OF BRONXVILLE.
THE DULY APPOINTED BUILDING OFFICIAL OF THE VILLAGE OF BRONXVILLE IS AUTHORIZED TO ENFORCE THE PROVISIONS OF THE CODE.
THE BUILDING OFFICIAL MAY ADOPT POLICIES AND PROCEDURES IN ORDER TO CLARIFY THE APPLICATION OF THE PROVISIONS OF THE CODE. SUCH POLICIES AND PROCEDURES SHALL BE IN COMPLIANCE WITH THE INTENT AND PURPOSE OF THE CODE.

3.0 CONTRACTOR'S RESPONSIBILITIES:

THE CONTRACTOR SHALL:
• PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR A COMPLETE AND FINISHED JOB.
• PROVIDE ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.
• OBTAIN AND PAY FOR ALL REQUIRED PERMITS - UNLESS OTHERWISE STIPULATED.
• PRIOR TO THE SUBMISSION OF ANY BID, AND BEFORE PROCEEDING WITH ANY WORK, VISIT THE SITE AND VERIFY AND FAMILIARIZE HIM/HERSELF WITH ALL SITE DIMENSIONS AND CONDITIONS, WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION, METHODS AND ROUTES OF ACCESS, AND THE EXISTENCE AND EXTENT OF ANY OTHER RESTRICTIONS, AND BE RESPONSIBLE FOR THE VERIFICATION OF ALL SUCH CONDITIONS AND DIMENSIONS WHICH PERTAIN TO THE PROJECT.
• BRING ALL DISCREPANCIES IN CONDITIONS AND DIMENSIONS, BETWEEN THE APPROVED DRAWINGS AND ACTUAL FIELD CONDITIONS, TO THE IMMEDIATE ATTENTION OF THE OWNER, AND RECEIVE DIRECTION IN WRITING, BEFORE PROCEEDING WITH THE AFFECTED WORK.
• VERIFY THE AVAILABILITY, LOCATION LAYOUT AND CONDITION OF UTILITIES, INCLUDING SEWER, WATER, GAS AND ELECTRIC LINES, PRIOR TO THE SUBMISSION OF ANY BID.
• HAVE CONTROL OVER AND SUPERVISE AND DIRECT THE WORK, INCLUDING THAT OF ITS SUBCONTRACTORS, AND BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR JOBSITE SAFETY, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
• PRIOR TO THE COMMENCEMENT OF ANY WORK, VERIFY THE CONDITION OF ALL ADJOINING STRUCTURES WHICH MAY BE AFFECTED, AND PROVIDE ADEQUATE PROTECTION TO ANY STRUCTURE THAT MIGHT BE OTHERWISE AFFECTED.
• IN THE EVENT THAT DAMAGE IS CAUSED TO ANY STRUCTURE, FINISH, OR OTHER ELEMENT, RESTORE SUCH ELEMENTS TO THEIR ORIGINAL CONDITION.
• IF APPLICABLE, PROVIDE WEATHER PROTECTION, IN AN EFFECTIVE AND TIMELY MANNER, TO PROTECT THE PREMISES, PERSONNEL, MATERIALS AND INSTALLED WORK.
• BE A HOME IMPROVEMENT CONTRACTOR WITH A CURRENT LICENSE ISSUED BY THE WESTCHESTER COUNTY DEPARTMENT OF CONSUMER AFFAIRS.
• BE CERTIFIED AS A LEAD SAFE FIRM BY THE EPA PER-40 CFR 745.226.
• CARRY LIABILITY INSURANCE TO THE LIMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION AND ISSUE CERTIFICATE(S) OF INSURANCE AS REQUIRED BY THE HOMEOWNER AND/OR THAT AUTHORITY.
• CARRY WORKMAN'S COMPENSATION AND DISABILITY INSURANCE AS REQUIRED THE LAW AND ISSUE CERTIFICATE(S) AS REQUIRED BY THE HOMEOWNER AND/OR THE AUTHORITY HAVING JURISDICTION.

4.0 BUILDING PERMIT:

NO PERSON OR ENTITY SHALL COMMENCE, PERFORM, OR CONTINUE ANY WORK THAT MUST CONFORM WITH THE UNIFORM CODE AND/OR ENERGY CODE UNLESS:
1. SUCH PERSON OR ENTITY HAS APPLIED TO THE VILLAGE OF BRONXVILLE FOR A BUILDING PERMIT.
2. THE VILLAGE OF BRONXVILLE HAS ISSUED A BUILDING PERMIT AUTHORIZING SUCH WORK.
3. SUCH BUILDING PERMIT HAS NOT BEEN REVOKED OR SUSPENDED, AND
4. SUCH BUILDING PERMIT HAS NOT EXPIRED.
THE BUILDING PERMIT IS REQUIRED TO BE VISIBLY DISPLAYED AT THE WORKSITE AND TO REMAIN VISIBLE UNTIL THE PROJECT, AND ALL REQUIRED INSPECTIONS, HAVE BEEN COMPLETED. THE APPROVED DRAWINGS MUST BE KEPT AT THE WORKSITE AND BE AVAILABLE FOR REVIEW AT THE TIME OF ANY REQUIRED INSPECTIONS.

5.0 CONSTRUCTION INSPECTIONS:

IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING PERMIT, OR THEIR DULY AUTHORIZED AGENT, TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION.

BUILDING DEPARTMENT OF THE VILLAGE OF BRONXVILLE.
200 PONDFIELD ROAD
BRONXVILLE, NY 10708
TEL: (914) 337-7338
EMAIL: unknown
WEB SITE: www.villageofbronxville.com/building-department

ANY PERSON OR ENTITY PERFORMING WORK FOR WHICH A BUILDING PERMIT HAS BEEN ISSUED SHALL KEEP SUCH WORK ACCESSIBLE AND EXPOSED UNTIL THE WORK HAS BEEN INSPECTED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION, OR ITS AUTHORIZED AGENT, AT EACH ELEMENT OF THE CONSTRUCTION PROCESS THAT IS APPLICABLE TO THE WORK.

BUILDING PERMIT HOLDERS SHALL BE REQUIRED TO NOTIFY THE BUILDING OFFICIAL OF THE VILLAGE OF BRONXVILLE WHEN CONSTRUCTION WORK IS READY FOR INSPECTION.

THE BUILDING OFFICIAL SHALL MAKE THE REQUIRED INSPECTIONS OR SHALL HAVE THE AUTHORITY TO ACCEPT WRITTEN REPORTS OF INSPECTION BY APPROVED AGENCIES OR INDIVIDUALS.

REQUIRED INSPECTIONS FOR THIS PROJECT MAY INCLUDE THE FOLLOWING, AS APPLICABLE, OR AS SPECIFIED IN THE CODE ENFORCEMENT PROGRAM OF THE VILLAGE OF BRONXVILLE:
• WORKSITE PRIOR TO THE ISSUANCE OF A PERMIT
• PLUMBING*
• ELECTRICAL*
• MECHANICAL
• FRAMING (SUBSEQUENT TO THE INSPECTION & APPROVAL OF PLUMBING, ELECTRICAL & MECHANICAL)
• FIRE RESISTANT CONSTRUCTION
• FIRE RESISTANT PENETRATIONS
• ENERGY CODE COMPLIANCE
• A FINAL INSPECTION AFTER ALL WORK AUTHORIZED BY THE BUILDING PERMIT HAS BEEN COMPLETED
• ANY OTHER INSPECTIONS AS REQUIRED BY THE VILLAGE OF BRONXVILLE.

ALL OF THE ABOVE INSPECTIONS MAY NOT REQUIRED FOR THIS, OR ANY GIVEN, PROJECT.

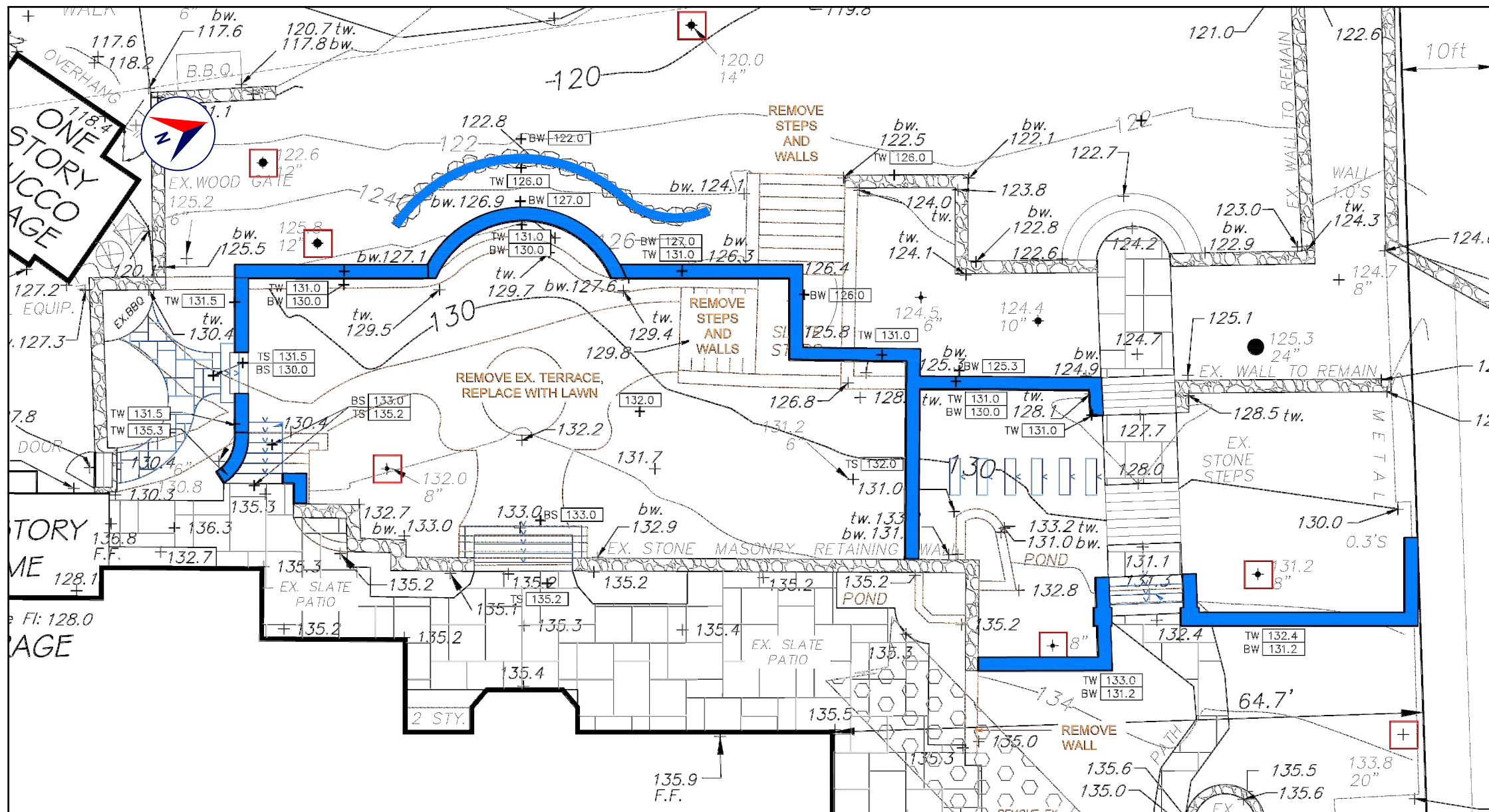
A SCHEDULE OF REQUIRED INSPECTIONS IS AVAILABLE FROM THE BUILDING DEPARTMENT OF THE VILLAGE OF BRONXVILLE.

*THE WORK APPLICABLE TO SOME OF THE ABOVE INSPECTIONS (FOR INSTANCE PLUMBING AND ELECTRICAL) SHALL BE COMPLETED UNDER A SEPARATE PERMIT, FILED BY THE RELEVANT LICENSED CONTRACTORS.

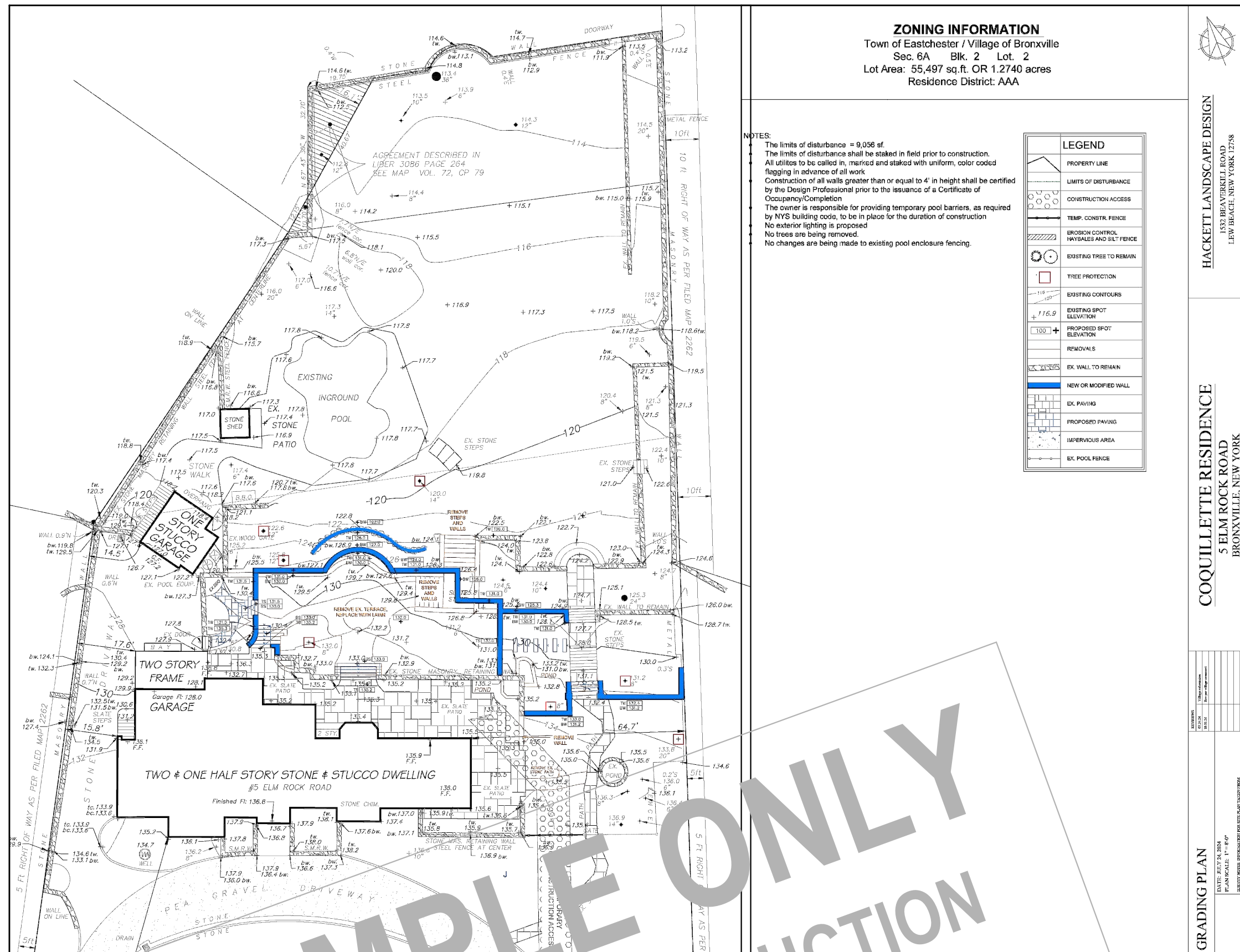
AFTER INSPECTION, THE WORK OR A PORTION THEREOF SHALL BE NOTED AS SATISFACTORY AS COMPLETED, OR THE BUILDING PERMIT HOLDER SHALL BE NOTIFIED AS TO THE MANNER IN WHICH THE WORK FAILS TO COMPLY WITH APPLICABLE CODES, INCLUDING A CITATION OF THE SPECIFIC CODE PROVISION OR PROVISIONS THAT HAVE NOT BEEN MET.

IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO ASCERTAIN THE RESULTS OF REQUIRED INSPECTIONS.

CONSTRUCTION WORK NOT IN COMPLIANCE WITH APPLICABLE CODES SHALL BE REQUIRED TO REMAIN EXPOSED UNTIL IT HAS BEEN BROUGHT INTO COMPLIANCE WITH THE CODES, RE-INSPECTED, AND FOUND SATISFACTORY AS COMPLETED.



RETAINING WALLS
NOT TO SCALE
FROM "GRADING PLAN", HACKETT LANDSCAPE DESIGN



PARTIAL GRADING PLAN
NOT TO SCALE
"GRADING PLAN", HACKETT LANDSCAPE DESIGN

STATEMENT OF DESIGN PROFESSIONAL:

THESE PLANS HAVE BEEN PREPARED IN CONFORMANCE WITH 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS).

VINCENT COAKLEY, P.E.
(STAMP AFFIXED AND SIGNED).

LIST OF DRAWINGS

SHEET	DRAWING NAME	DATE	REVISION
C-01	COVER SHEET	10.31.2024	05.06.2025
S-01	SITE PLAN	10.31.2024	05.06.2025
S-02	WALL LAYOUT	10.31.2024	05.06.2025
S-03	ELEVATION(S) AND SECTION(S)	10.31.2024	05.06.2025

PROPERTY ADDRESS:

BRONXVILLE, NY 10708
(VILLAGE OF BRONXVILLE
BUILDING DEPARTMENT)

S-B-L:

CLIENT:

*** ***

TEL: ***

EMAIL: ***

DATE:

10.31.2024

12.19.2024

05.06.2025 PER BD COMMENTS

PROJECT NAME:

REPAIR/REPLACE RETAINING
WALL

DRAWING NAME:

COVER SHEET

DRAWING NUMBER:

C-01

DATE:

10.31.2024

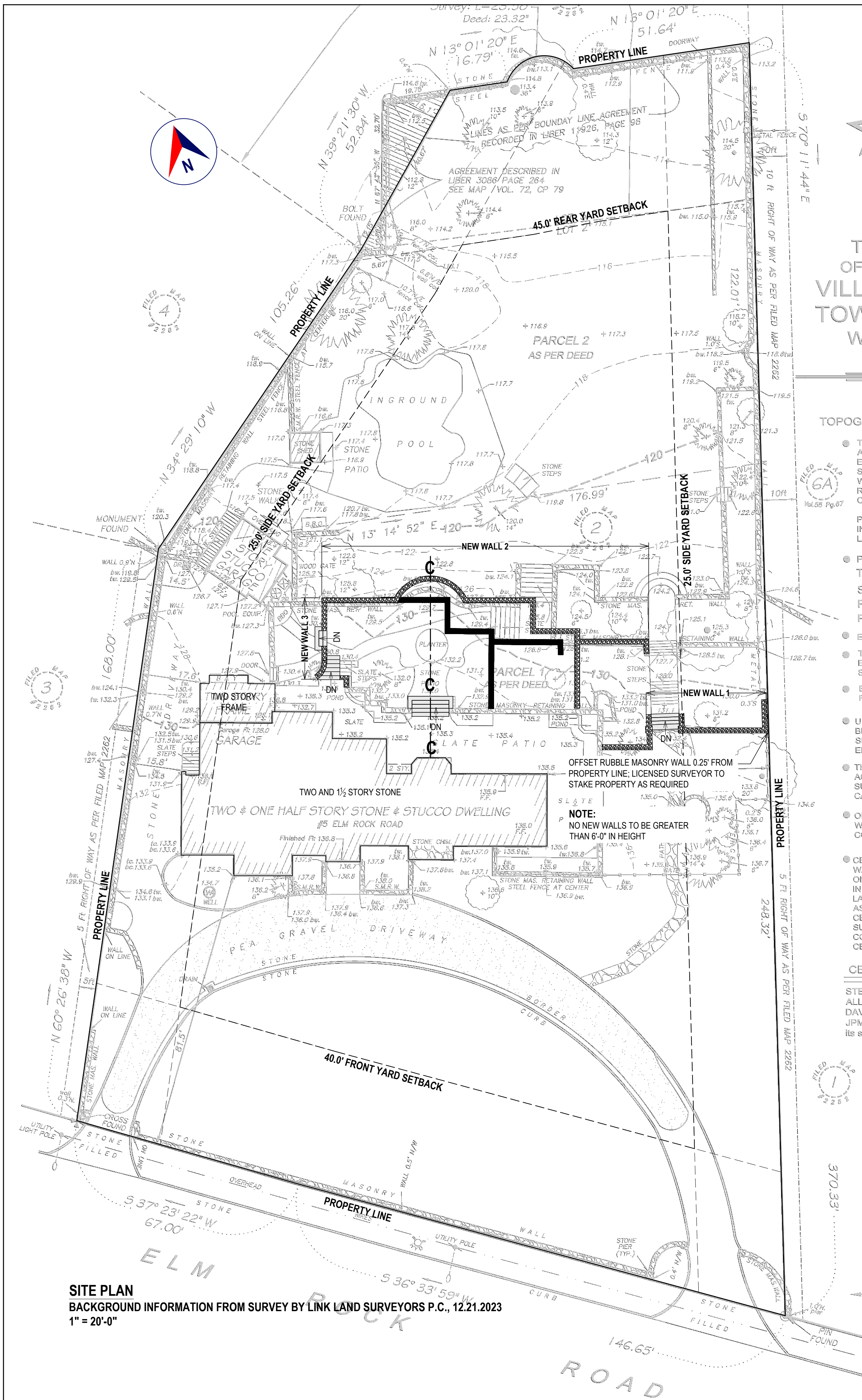
SCALE:

AS NOTED

NOTE:

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PERMIT IS ISSUED, BASED ON THIS
DRAWING, BY THE VILLAGE OF
BRONXVILLE.

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Design - Permit Applications - Legalizations
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188 North Main Street | Port Chester, NY 10573
(914) 774-9878 | www.proeng.nyc | vc@proeng.nyc



SITE WORK

1. EXCAVATION SAFETY:

THE CONTRACTOR SHALL COMPLY WITH THE TRENCHING AND EXCAVATION REQUIREMENTS OF 29 CFR 1926.651 AND 1926.652 OR COMPARABLE OSHA-APPROVED STATE PLAN REQUIREMENTS. TRENCHES 5 FEET DEEP OR GREATER REQUIRE A PROTECTIVE SYSTEM UNLESS THE EXCAVATION IS MADE ENTIRELY IN STABLE ROCK.

THE CONTRACTOR SHALL HAVE A COMPETENT PERSON INSPECT EXCAVATIONS DAILY AND AS CONDITIONS CHANGE TO ENSURE ELIMINATION OF EXCAVATION HAZARDS.

A COMPETENT PERSON IS AN INDIVIDUAL WHO IS CAPABLE OF IDENTIFYING EXISTING AND PREDICTABLE HAZARDS OR WORKING CONDITIONS THAT ARE HAZARDOUS, UNSANITARY, OR DANGEROUS TO WORKERS. SOIL TYPES AND PROTECTIVE SYSTEMS REQUIRED, AND WHO IS AUTHORIZED TO TAKE PROMPT CORRECTIVE MEASURES TO ELIMINATE THESE HAZARDS AND CONDITIONS.

2. EXCAVATION - LOCATING UTILITIES - CALL 811:

NEW YORK STATE LAW (16 NYCRR PART 753) REQUIRES ALL EXCAVATORS TO PLACE A LOCATION REQUEST WITH DIG SAFELY NEW YORK AT LEAST TWO (2) FULL WORKING DAYS, BUT NO MORE THAN 10 WORKING DAYS BEFORE BEGINNING AN EXCAVATION PROJECT IN ORDER TO ENSURE ALL UNDERGROUND UTILITY LINES ARE PROPERLY MARKED BY THEIR OWNERS.

A LOCATION REQUEST MAY BE PLACED, AND THE PROCESS OF MARKING UNDERGROUND UTILITIES MAY BE TRACKED, BY USING THE ONLINE LOCATION REQUEST PROGRAM, EXACTIX. OR, THE EXCAVATOR MAY CALL 811 TO PLACE THE LOCATION REQUEST.

- NOTIFY: NOTIFY 811 ONLINE WITH EXACTIX OR BY CALLING 811.
- WAIT: AT LEAST TWO DAYS FOR UTILITIES TO RESPOND (NOT INC. THE DAY YOU CALL).
- CONFIRM: CHECK ALL UTILITIES HAVE RESPONDED.
- RESPECT: ADHERE TO UTILITY MARKS AND FLAGS.
- DIG W/CAUTION: DIG CAREFULLY AROUND BURIED UTILITIES.

NOTE: THE VILLAGE OF BRONXVILLE MAY REQUIRE THE CONTRACTOR TO PROVIDE A "DIG SAFELY" CODE 753 CASE NUMBER.

MASONRY AND CONCRETE

1. CONCRETE

STRUCTURAL CONCRETE AND CONCRETING PRACTICES SHALL CONFORM WITH THE LATEST EDITION OF ACI 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, ISSUED AND MAINTAINED BY THE AMERICAN CONCRETE INSTITUTE, AND AS NOTED BELOW.

ALL ACI REQUIREMENTS FOR HOT AND COLD WEATHERING CONCRETE MUST BE ADHERED TO.

STRENGTH:

CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS AS FOLLOWS UNLESS OTHERWISE NOTED ON THE DRAWINGS:

FOUNDATION WALLS, SLAB ON GRADE:	4000 PSI, NORMAL WEIGHT
FOOTINGS AND PIERS:	4000 PSI, NORMAL WEIGHT
CONCRETE ON METAL DECK:	4000 PSI, NORMAL WEIGHT
ALL OTHER CONCRETE:	4000 PSI, NORMAL WEIGHT

ALL EXPOSED CONCRETE SHALL HAVE AN AIR ENTRAINING AGENT.

COVER:

MINIMUM CONCRETE COVER SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE ON THE DRAWINGS:

SLABS:	3/4"
WALLS:	1"
COLUMNS:	1 1/2"
EXPOSED TO WEATHER OR EARTH:	2"
CONCRETE PLACED AGAINST EARTH:	3"

2. REINFORCING STEEL:

DETAILS SHALL BE IN ACCORDANCE WITH ACI-315, DETAILS AND DETAILING OF CONCRETE REINFORCEMENT UNLESS OTHERWISE NOTED ON THE DRAWINGS.

ALL REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60 UNLESS REQUIRED TO BE WELDED AS SHOWN ON PLANS.

ALL REINFORCING BARS REQUIRED TO BE WELDED SHALL CONFORM TO ASTM A706, GRADE 50.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.

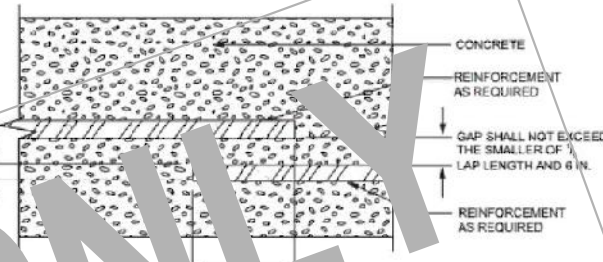
SUPPORT WIRE FABRIC WITH CHAIRS OR LIFTS DURING CONCRETE PLACEMENT TO INSURE PROPER POSITION IN SLAB.

ALL REINFORCEMENT SHALL BE SECURELY HELD IN PLACE WHILE PLACING CONCRETE. IF REQUIRED, ADDITIONAL BARS OR STIRRUPS SHALL BE PROVIDED BY THE CONTRACTOR TO FURNISH SUPPORT FOR ALL BARS. REINFORCEMENT SHALL BE SECURED IN THE PROPER LOCATION IN THE FORMS WITH TIE WIRE OR OTHER BAR SUPPORT SYSTEM TO PREVENT DISPLACEMENT DURING THE CONCRETE PLACEMENT OPERATION.

WHERE NOT SPECIFICALLY INDICATED ON THE DRAWINGS, SPLICING & EMBEDMENTS SHALL BE IN ACCORDANCE TABLE R608.5.4(1) LAP SPICE AND TENSION DEVELOPMENT LENGTHS

TABLE R608.5.4(1)			
LAP SPICE AND TENSION DEVELOPMENT LENGTHS			
BAR SIZE NO.	YIELD STRENGTH OF STEEL, f_y , psi (MPa)	SPLICE LENGTH OR TENSION DEVELOPMENT LENGTH (INCHES)	
		40,000 (280)	60,000 (420)
Lap splice length tension	4	20	30
	5	25	38
	6	30	45
Tension development length for straight bar	4	15	23
	5	19	28
	6	23	34
Tension development length for: a. 90-degree and 180-degree standard hooks with not less than 3/4 inch of side cover perpendicular to plane of hook, and b. 90-degree standard hooks with not less than 2 inches of cover on the bar extension beyond the hook.	4	8	9
	5	10	11
	6	12	13
	4	8	12
	5	10	15
	6	12	18

For S1: 1 inch = 25.4 mm; 1 degree = 0.0175 rad; 1 pound per square inch = 0.075 MPa.



For S1: 1 inch = 25.4

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For S1: 1 inch = 25.4

PROPERTY ADDRESS:

BRONXVILLE, NY 10708
(VILLAGE OF BRONXVILLE
BUILDING DEPARTMENT)

S-B-L:

CLIENT:

*** **

TEL:

EMAIL:

DATE:

10.31.2024

DATE:

12.19.2024

DATE:

05.06.2025

DATE:

PER BD COMMENTS

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PER BD COMMENTS

PROJECT NAME:

REPAIR/REPLACE RETAINING
WALL

DRAWING NAME:

SITE PLAN

DRAWING NUMBER:

S-01

DATE:

10.31.2024

SCALE:

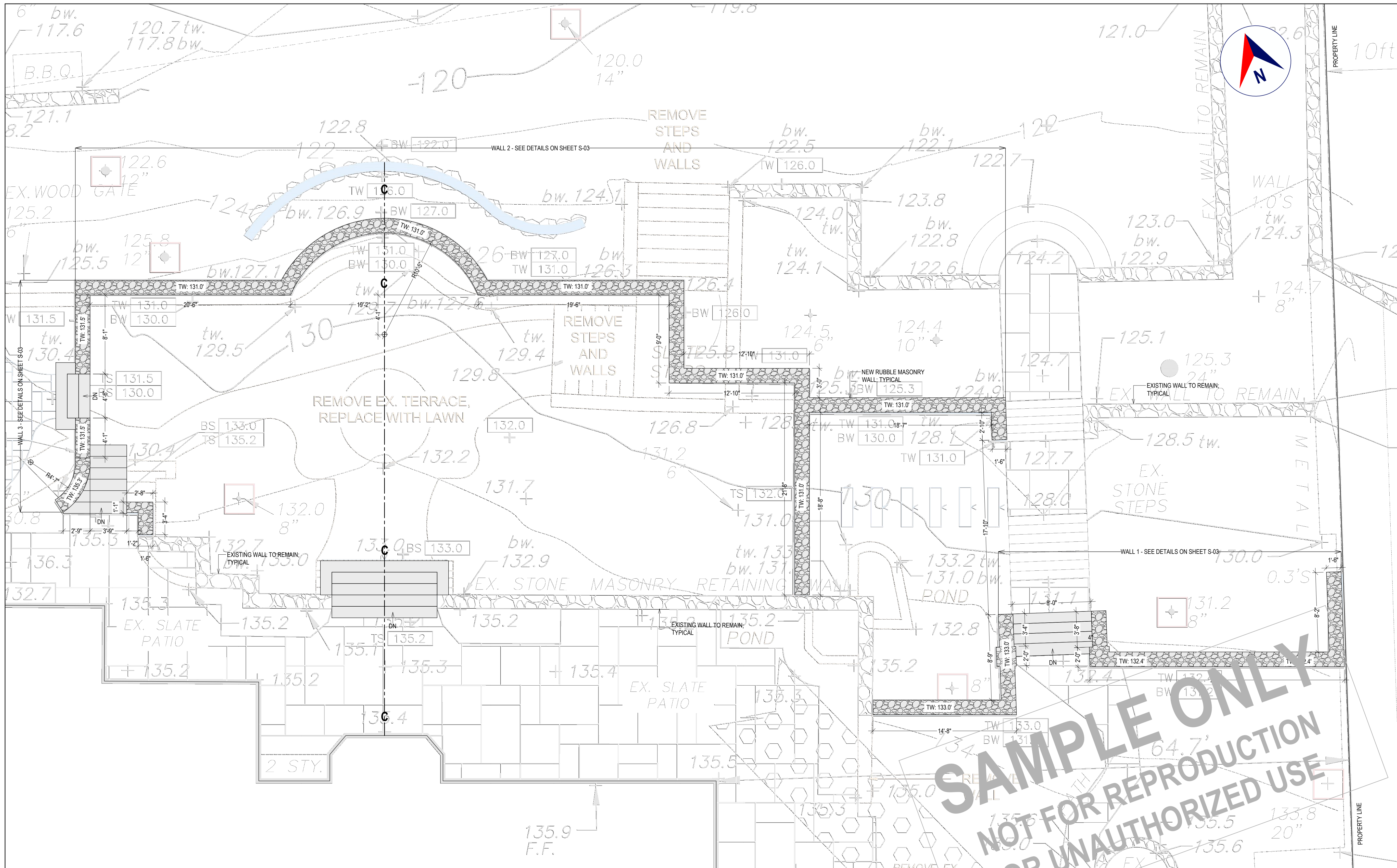
AS NOTED

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WALL LAYOUT
1"=5'

PROPERTY ADDRESS:

BRONXVILLE, NY 10708
(VILLAGE OF BRONXVILLE
BUILDING DEPARTMENT)

S-B-L:

CLIENT:

TEL: ***

EMAIL: ***

DATE: 10.31.2024
12.19.2024
ISSUE: PRELIMINARY
FOR PERMIT

PROJECT NAME:
REPAIR/REPLACE RETAINING
WALL

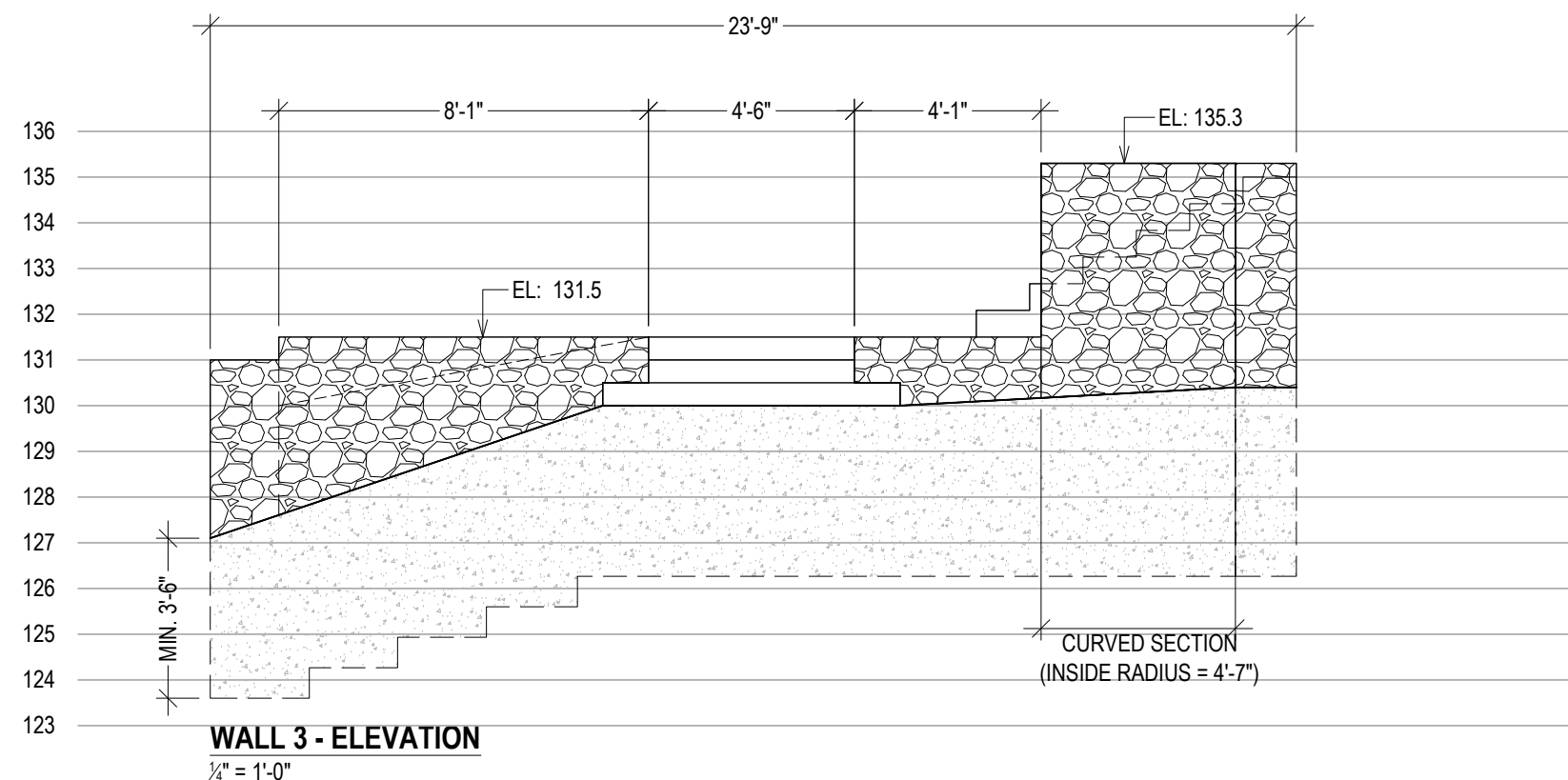
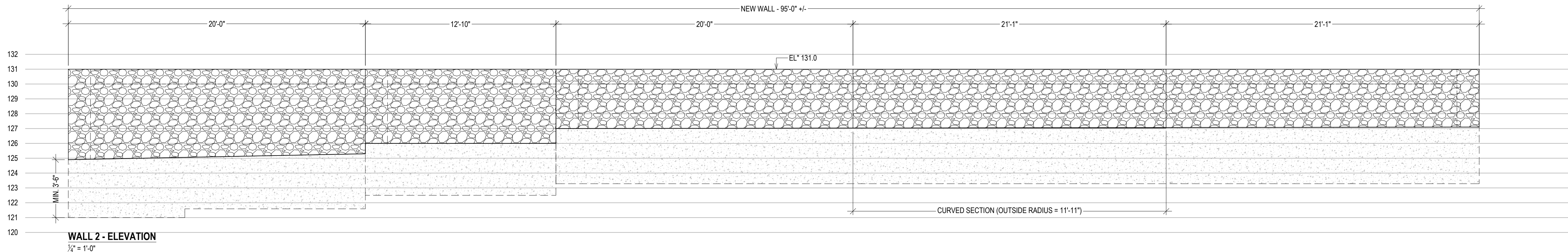
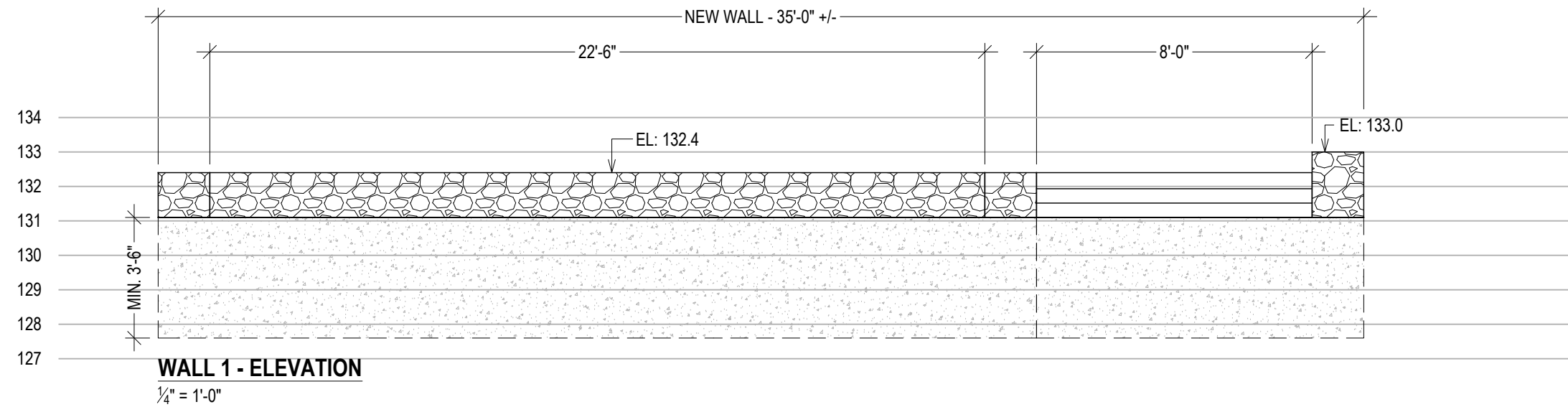
DRAWING NAME:
WALL LAYOUT

DRAWING NUMBER:
S-02

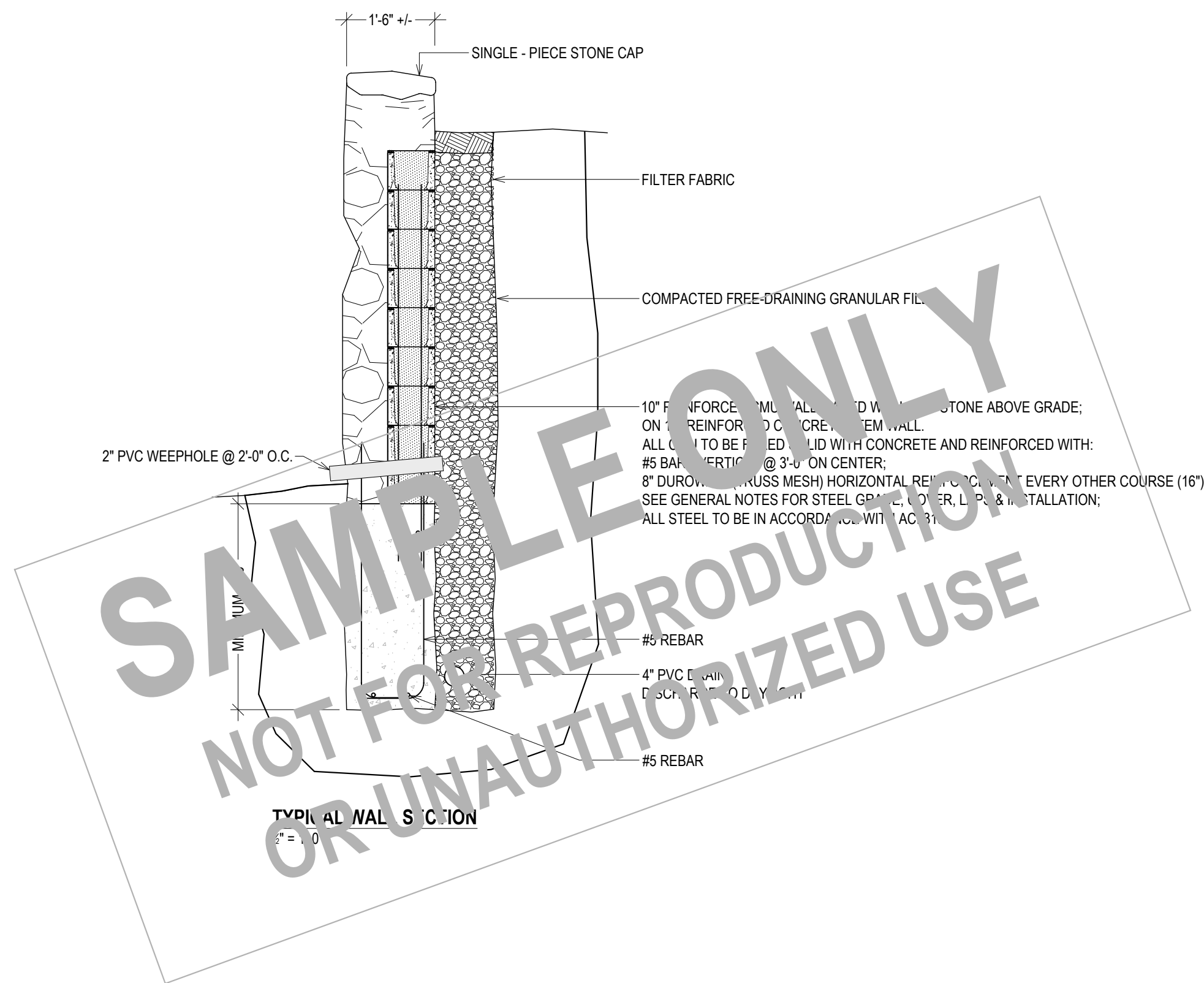
DATE:
10.31.2024

SCALE:
AS NOTED

NOTE:
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BRONXVILLE.



RETAINING WALL
LINE OF GRADE BELOW WALL _____
LINE OF GRADE ABOVE WALL - - - - -



PROPERTY ADDRESS:

BRONXVILLE, NY 10708
(VILLAGE OF BRONXVILLE
BUILDING DEPARTMENT)

S-B-L:

CLIENT:
*** ***

TEL: ***
EMAIL: ***

DATE: 10.31.2024
12.19.2024
ISSUE: PRELIMINARY
FOR PERMIT

PROJECT NAME:
REPAIR/REPLACE RETAINING
WALL

DRAWING NAME:
ELEVATION(S) AND
SECTION(S)

DRAWING NUMBER:
S-03

DATE:
10.31.2024

SCALE:
AS NOTED

NOTE:
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CONSTRUCTION IF (AND ONLY IF) A
PERMIT IS ISSUED, BASED ON THIS
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BRONXVILLE.