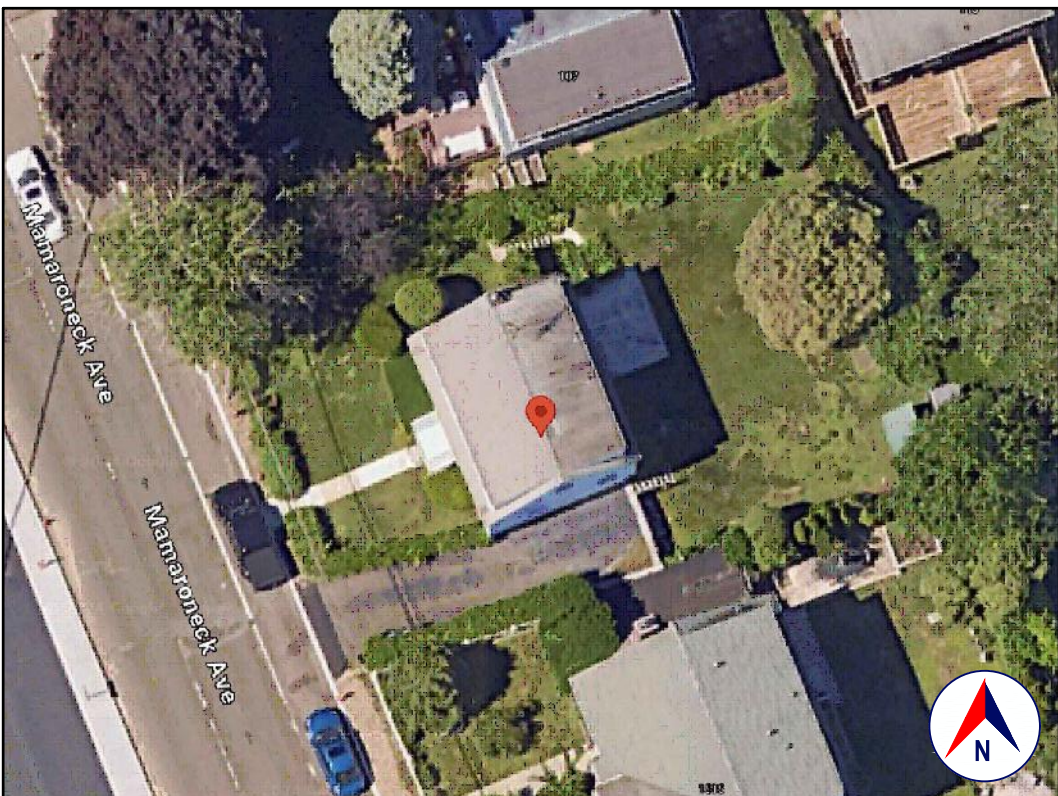


LOCATION
GOOGLE MAPS

***, MAMARONECK



SATELLITE VIEW
GOOGLE EARTH



TAX MAP AND TOPO
WESTCHESTER COUNTY GIS

S-B-L: ***



FRONT VIEW
GOOGLE STREET VIEW

1.0 GENERAL REQUIREMENTS:

1.1 PROJECT SCOPE:

REBUILD RETAINING WALL; EXTEND PORCH; ADD WALKWAY.

1.2 DESIGN INTENT:

IT IS THE OVERALL INTENT OF (ALL OF) THE DRAWINGS TO CALL FOR COMPLETE AND FINISHED WORK, IN COMPLIANCE WITH THE NOTED CODES, AND TESTED AND GUARANTEED AND READY FOR OPERATION.

THE ENGINEER HAS NOT BEEN ENGAGED TO SUPERVISE ANY WORK AND DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

1.3 CONSTRUCTION TYPE:

THE EXISTING BUILDING, PER THE BUILDING CODE OF NEW YORK STATE, TABLE 601 IS CONSTRUCTION TYPE VB - CONSTRUCTION WHERE THE PRIMARY ELEMENTS ARE NOT REQUIRED TO BE FIRE RATED

1.4 CLASSIFICATION OF PROPOSED WORK:

THE PROPOSED WORK IS OUTSIDE OF THE EXISTING BUILDING ENVELOPE, THE CODES REFERENCED BELOW APPLY TO ALL PROPOSED WORK.

1.5 ZONING, OCCUPANCY AND USE:

YEAR BUILT: 1968 (PER ZILLOW)
ZONING: R-5 ONE-FAMILY RESIDENCE
OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-3*
EXISTING USE: SINGLE FAMILY
PROPOSED USE: SINGLE FAMILY (NO CHANGES)

*WHERE THE OCCUPANTS ARE PRIMARILY PERMANENT IN NATURE AND NOT CLASSIFIED AS OCCUPANCY GROUP R-1, R-2, R-4 OR I, INCLUDING BUILDINGS THAT DO NOT CONTAIN MORE THAN TWO DWELLING UNITS.

1.6 COMPLIANCE:

ALL WORK SHALL BE IN COMPLIANCE WITH THE FOLLOWINGS CODES:

- GENERAL: 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS)
- EXISTING: EXISTING BUILDING CODE OF NEW YORK STATE (INTERNATIONAL EXISTING BUILDING CODE 2018 WITH AMENDMENTS)
- PLUMBING: NOT APPLICABLE TO THESE DRAWINGS.
- ELECTRICAL: NOT APPLICABLE TO THESE DRAWINGS.
- DRAINAGE: NOT APPLICABLE TO THESE DRAWINGS.
- ENERGY CODE: NOT APPLICABLE TO THESE DRAWINGS.
- MUNICIPAL: CHAPTER 350, BUILDING CODE ADMINISTRATION AND ENFORCEMENT OF THE CODE OF THE VILLAGE OF MAMARONECK.
- OTHER: ALL REFERENCED CODES, OTHER CODES AND REGULATIONS, FEDERAL, STATE AND LOCAL, THAT MAY APPLY.

1.7 AUTHORITY HAVING JURISDICTION:

THE AUTHORITY HAVING JURISDICTION, AS DEFINED IN SECTION 103.1 OF THE RESIDENTIAL CODE, AND WHICH SHALL PROVIDE FOR ADMINISTRATION AND ENFORCEMENT OF THE UNIFORM CODE AND ENERGY CODE BY LOCAL LAW, ORDINANCE, OTHER APPROPRIATE REGULATION, OR COMBINATION THEREOF, IS THE VILLAGE OF MAMARONECK. THE DULY APPOINTED BUILDING OFFICIAL OF THE VILLAGE OF MAMARONECK IS AUTHORIZED TO ENFORCE THE PROVISIONS OF THE CODE. THE BUILDING OFFICIAL MAY ADOPT POLICIES AND PROCEDURES IN ORDER TO CLARIFY THE APPLICATION OF THE PROVISIONS OF THE CODE. SUCH POLICIES AND PROCEDURES SHALL BE IN COMPLIANCE WITH THE INTENT AND PURPOSE OF THE CODE.

2.0 DESIGN CRITERIA:

2.1 DEAD LOAD:

PER 301.4, THE ACTUAL WEIGHTS OF MATERIALS AND CONSTRUCTION SHALL BE USED FOR DETERMINING DEAD LOAD; THE FOLLOWING APPROXIMATIONS (IN PSF) ARE USED FOR THIS PROJECT: USE:

	PSF
FRAMED WALL ASSEMBLY:	15
ROOF /CEILING ASSEMBLY:	20
FLOOR ASSEMBLY:	15

ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.2 LIVE LOAD:

UNIFORMLY DISTRIBUTED LIVE LOADS SHALL BE PER TABLE R301.5 AND AS FOLLOWS* (IN PSF): USE

	PSF	OTHER
UNINHABITABLE SPACE WITHOUT STORAGE:	10	(42"H, 24"W)
UNINHABITABLE ATTICS W/LIMITED STORAGE:	20	
HABITABLE ATTICS & ATTICS W/FIXED STAIRS:	30	
EXTERIOR BALCONIES & DECKS:	40	
FIRE ESCAPES:	40	
GUARDS & HANDRAILS:	200	(CONCENTRATED)
GUARD IN-FILL COMPONENTS:	50	(HORIZONTAL)
PASSENGER VEHICLE GARAGE:	50	(82.00LB/20SI)
ROOMS OTHER THAN SLEEPING ROOMS:	40	
SLEEPING ROOMS:	40	
STAIRS:	40	(& 300LB/4SI)
ROOF, PER 301.6 (INC. SNOW):	30	

*SOME OF THE LOADS LISTED ABOVE MAY BE HIGHER THAN THOSE REQUIRED PER CODE. ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.3 WIND LOAD:

WIND LOADS SHALL BE BASED ON THE ULTIMATE DESIGN WIND SPEED LISTED IN TABLE 301.2(1) AND ADJUSTED FOR HEIGHT AND EXPOSURE): 120 MPH. WIND LOADS WILL BE ALLOWED FOR IN: THE DESIGN LOAD PERFORMANCE REQUIREMENTS FOR WALL COVERINGS, ROOF COVERINGS, WINDOWS, SKYLIGHTS AND DOORS. COMPONENT AND CLADDING LOADS WILL BE PER TABLE R301.2(2)

2.4 ALLOWABLE LIVE LOAD DEFLECTION:

THE ALLOWABLE LIVE LOAD DEFLECTION OF ALL STRUCTURAL MEMBERS, SHALL BE PER TABLE R301.7 AND AS FOLLOWS:

STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
RAFTERS HAVING SLOPES GRATER THAN 3:12 WHIT FINISHED	L/180
CEILING NOT ATTACHED TO RAFTERS	H/180
INTERIOR WALLS AND PARTITIONS	L/360
FLOORS	L/360
CEILING WITH BRITTLE FINISHES (INCLUDING PLASTER AND STUCCO)	L/240
CEILING WITH FLEXIBLE FINISHES (INCLUDING GYPSUM BOARD)	L/360
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS-WIND LOAD WITH PLASTER OR STUCCO FINISHES	L/360
EXTERIOR WALLS-WIND LOAD WITH OTHER BRITTLE FINISHES	H/240
EXTERIOR WALLS-WIND LOADS WITH FLEXIBLE FINISHES	H/120
LINTELS SUPPORTING MASONRY VENEER WALLS	L/600

2.5 CLIMATIC AND GEOGRAPHIC CRITERIA:

CLIMATIC AND DESIGN CRITERIA FOR THE VILLAGE OF MAMARONECK ARE PER TABLE R301.2(1) BELOW:

PER 2020 RESIDENTIAL CODE OF NEW YORK STATE, TABLE 301.2(1)						(WIND) EXPOSURE CATEGORY: B				CLIMATE ZONE: 4A			
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLMT. REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	WIND SPEED MPH	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WINDBORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
30 PSF	115-120	NO	NO	NO	C	SEVERE	3'-6"	MOD/SEVERE	15	YES	MINIMAL	615	52.5°

3.0 CONTRACTOR'S RESPONSIBILITIES:

THE CONTRACTOR SHALL:

- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR A COMPLETE AND FINISHED JOB.
- PROVIDE ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.
- OBTAIN AND PAY FOR ALL REQUIRED PERMITS - UNLESS OTHERWISE STIPULATED.
- PRIOR TO THE SUBMISSION OF ANY BID, AND BEFORE PROCEEDING WITH ANY WORK, VISIT THE SITE AND VERIFY AND FAMILIARIZE HIM/HERSELF WITH ALL SITE DIMENSIONS AND CONDITIONS, WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION, METHODS AND ROUTES OF ACCESS, AND THE EXISTENCE AND EXTENT OF ANY OTHER RESTRICTIONS, AND BE RESPONSIBLE FOR THE VERIFICATION OF ALL SUCH CONDITIONS AND DIMENSIONS WHICH PERTAIN TO THE PROJECT.
- BRING ALL DISCREPANCIES IN CONDITIONS AND DIMENSIONS, BETWEEN THE APPROVED DRAWINGS AND ACTUAL FIELD CONDITIONS, TO THE IMMEDIATE ATTENTION OF THE OWNER, AND RECEIVE DIRECTION IN WRITING, BEFORE PROCEEDING WITH THE AFFECTED WORK.
- VERIFY THE AVAILABILITY, LOCATION LAYOUT AND CONDITION OF UTILITIES, INCLUDING SEWER, WATER, GAS AND ELECTRIC LINES, PRIOR TO THE SUBMISSION OF ANY BID.
- HAVE CONTROL OVER AND SUPERVISE AND DIRECT THE WORK, INCLUDING THAT OF ITS SUBCONTRACTORS, AND BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR JOBSITE SAFETY, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, VERIFY THE CONDITION OF ALL ADJOINING STRUCTURES WHICH MAY BE AFFECTED, AND PROVIDE ADEQUATE PROTECTION TO ANY STRUCTURE THAT MIGHT BE OTHERWISE AFFECTED.
- IN THE EVENT THAT DAMAGE IS CAUSED TO ANY STRUCTURE, FINISH, OR OTHER ELEMENT, RESTORE SUCH ELEMENTS TO THEIR ORIGINAL CONDITION.
- IF APPLICABLE, PROVIDE WEATHER PROTECTION, IN AN EFFECTIVE AND TIMELY MANNER, TO PROTECT THE PREMISES, PERSONNEL, MATERIALS AND INSTALLED WORK.
- BE A HOME IMPROVEMENT CONTRACTOR WITH A CURRENT LICENSE ISSUED BY THE WESTCHESTER COUNTY DEPARTMENT OF CONSUMER AFFAIRS.
- BE CERTIFIED AS A LEAD SAFE FIRM BY THE EPA PER 40 CFR 745.226.
- CARRY LIABILITY INSURANCE TO THE LIMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION AND ISSUE CERTIFICATE(S) OF INSURANCE AS REQUIRED BY THE HOMEOWNER AND/OR THAT AUTHORITY.
- CARRY WORKMAN'S COMPENSATION AND DISABILITY INSURANCE AS REQUIRED THE LAW AND ISSUE CERTIFICATE(S) AS REQUIRED BY THE HOMEOWNER AND/OR THE AUTHORITY HAVING JURISDICTION.

4.0 BUILDING PERMIT:

NO PERSON OR ENTITY SHALL COMMENCE, PERFORM, OR CONTINUE ANY WORK THAT MUST CONFORM WITH THE UNIFORM CODE AND/OR ENERGY CODE UNLESS:

- SUCH PERSON OR ENTITY HAS APPLIED TO THE VILLAGE OF MAMARONECK FOR A BUILDING PERMIT.
- THE VILLAGE OF MAMARONECK HAS ISSUED A BUILDING PERMIT AUTHORIZING SUCH WORK.
- SUCH BUILDING PERMIT HAS NOT BEEN REVOKED OR SUSPENDED, AND
- SUCH BUILDING PERMIT HAS NOT EXPIRED.

THE BUILDING PERMIT IS REQUIRED TO BE VISIBLY DISPLAYED AT THE WORKSITE AND TO REMAIN VISIBLE UNTIL THE PROJECT, AND ALL REQUIRED INSPECTIONS, HAVE BEEN COMPLETED

THE APPROVED DRAWINGS MUST BE KEPT AT THE WORKSITE AND BE AVAILABLE FOR REVIEW AT THE TIME OF ANY REQUIRED INSPECTIONS.

5.0 CONSTRUCTION INSPECTIONS:

IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING PERMIT, OR THEIR DULY AUTHORIZED AGENT, TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION:

BUILDING DEPARTMENT OF THE VILLAGE OF MAMARONECK.
169 MT. PLEASANT AVENUE
MAMARONECK, NY 10543
TEL: (914) 777-7731
EMAIL: buildingdepartment@vonnny.org
WEB SITE: www.village.mamaroneck.ny.us/building-department

ANY PERSON OR ENTITY PERFORMING WORK FOR WHICH A BUILDING PERMIT HAS BEEN ISSUED SHALL KEEP SUCH WORK ACCESSIBLE AND EXPOSED UNTIL THE WORK HAS BEEN INSPECTED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION, OR ITS AUTHORIZED AGENT, AT EACH ELEMENT OF THE CONSTRUCTION PROCESS THAT IS APPLICABLE TO THE WORK.

BUILDING PERMIT HOLDERS SHALL BE REQUIRED TO NOTIFY THE BUILDING OFFICIAL OF THE VILLAGE OF MAMARONECK WHEN CONSTRUCTION WORK IS READY FOR INSPECTION.

THE BUILDING OFFICIAL SHALL MAKE THE REQUIRED INSPECTIONS OR SHALL HAVE THE AUTHORITY TO ACCEPT WRITTEN REPORTS OF INSPECTION BY APPROVED AGENCIES OR INDIVIDUALS.

REQUIRED INSPECTIONS FOR THIS PROJECT MAY INCLUDE THE FOLLOWING, AS APPLICABLE, OR AS SPECIFIED IN THE CODE ENFORCEMENT PROGRAM OF THE VILLAGE OF MAMARONECK:

- WORKSITE PRIOR TO THE ISSUANCE OF A PERMIT
- PLUMBING*
- ELECTRICAL*
- MECHANICAL
- FRAMING (SUBSEQUENT TO THE INSPECTION & APPROVAL OF PLUMBING, ELECTRICAL & MECHANICAL)
- FIRE RESISTANT CONSTRUCTION
- FIRE RESISTANT PENETRATIONS
- ENERGY CODE COMPLIANCE
- A FINAL INSPECTION AFTER ALL WORK AUTHORIZED BY THE BUILDING PERMIT HAS BEEN COMPLETED
- ANY OTHER INSPECTIONS AS REQUIRED BY THE VILLAGE OF MAMARONECK.

A SCHEDULE OF REQUIRED INSPECTIONS IS AVAILABLE FROM THE BUILDING DEPARTMENT OF THE VILLAGE OF MAMARONECK.

*THE WORK APPLICABLE TO SOME OF THE ABOVE INSPECTIONS (FOR INSTANCE PLUMBING AND ELECTRICAL) SHALL BE COMPLETED UNDER A SEPARATE PERMIT, FILED BY THE RELEVANT LICENCED CONTRACTORS.

AFTER INSPECTION, THE WORK OR A PORTION THEREOF SHALL BE NOTED AS SATISFACTORY AS COMPLETED, OR THE BUILDING PERMIT HOLDER SHALL BE NOTIFIED AS TO THE MANNER IN WHICH THE WORK FAILS TO COMPLY WITH APPLICABLE CODES, INCLUDING A CITATION OF THE SPECIFIC CODE PROVISION OR PROVISIONS THAT HAVE NOT BEEN MET.

IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO ASCERTAIN THE RESULTS OF REQUIRED INSPECTIONS.

CONSTRUCTION WORK NOT IN COMPLIANCE WITH APPLICABLE CODES SHALL BE REQUIRED TO REMAIN EXPOSED UNTIL IT HAS BEEN BROUGHT INTO COMPLIANCE WITH THE CODES, RE-INSPECTED, AND FOUND SATISFACTORY AS COMPLETED.

SITE WORK

EXCAVATION SAFETY:

THE CONTRACTOR SHALL COMPLY WITH THE TRENCHING AND EXCAVATION REQUIREMENTS OF 29 CFR 1926.651 AND 1926.652 OR COMPARABLE OSHA-APPROVED STATE PLAN REQUIREMENTS.

TRENCHES 5 FEET DEEP OR GREATER REQUIRE A PROTECTIVE SYSTEM UNLESS THE EXCAVATION IS MADE ENTIRELY IN STABLE ROCK.

THE CONTRACTOR SHALL HAVE A COMPETENT PERSON INSPECT EXCAVATIONS DAILY AND AS CONDITIONS CHANGE TO ENSURE ELIMINATION OF EXCAVATION HAZARDS.

A COMPETENT PERSON IS AN INDIVIDUAL WHO IS CAPABLE OF IDENTIFYING EXISTING AND PREDICTABLE HAZARDS OR WORKING CONDITIONS THAT ARE HAZARDOUS, UNSANITARY, OR DANGEROUS TO WORKERS, SOIL TYPES AND PROTECTIVE SYSTEMS REQUIRED, AND WHO IS AUTHORIZED TO TAKE PROMPT CORRECTIVE MEASURES TO ELIMINATE THESE HAZARDS AND CONDITIONS.

EXCAVATION - LOCATING UTILITIES - CALL 811:

NEW YORK STATE LAW (16 NYCRR PART 753) REQUIRES ALL EXCAVATORS TO PLACE A LOCATION REQUEST WITH DIG SAFELY NEW YORK AT LEAST TWO (2) FULL WORKING DAYS, BUT NO MORE THAN 10 WORKING DAYS BEFORE BEGINNING AN EXCAVATION PROJECT IN ORDER TO ENSURE ALL UNDERGROUND UTILITY LINES ARE PROPERLY MARKED BY THEIR OWNERS.

A LOCATION REQUEST MAY BE PLACED, AND THE PROCESS OF MARKING UNDERGROUND UTILITIES MAY BE TRACKED, BY USING THE ONLINE LOCATION REQUEST PROGRAM, EXACTIX. OR, THE EXCAVATOR MAY CALL 811 TO PLACE THE LOCATION REQUEST.

- NOTIFY: NOTIFY 811 ONLINE WITH EXACTIX OR BY CALLING 811.
- WAIT: AT LEAST TWO DAYS FOR UTILITIES TO RESPOND (NOT INC. THE DAY YOU CALL).
- CONFIRM: CHECK ALL UTILITIES HAVE RESPONDED.
- RESPECT: ADHERE TO UTILITY MARKS AND FLAGS.
- DIG WCAUTION: DIG CAREFULLY AROUND BURIED UTILITIES.

NOTE:

THE VILLAGE OF MAMARONECK MAY REQUIRE THE CONTRACTOR TO PROVIDE A "DIG SAFELY" CODE 753 CASE NUMBER.

CONCRETE

STRUCTURAL CONCRETE AND CONCRETING PRACTICES SHALL CONFORM WITH THE LATEST EDITION OF ACI 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, ISSUED AND MAINTAINED BY THE AMERICAN CONCRETE INSTITUTE, AND AS NOTED BELOW.

ALL ACI REQUIREMENTS FOR HOT AND COLD WEATHERING CONCRETE MUST BE ADHERED TO.

STRENGTH:

CONCRETE SHALL HAVE A MINIMUM, COMPRESSIVE STRENGTH AT 28 DAYS AS FOLLOWS UNLESS OTHERWISE NOTED ON THE DRAWINGS:

FOUNDATION WALLS, SLAB ON GRADE:	4000 PSI, NORMAL WEIGHT
FOOTINGS AND PIERS:	4000 PSI, NORMAL WEIGHT
CONCRETE ON METAL DECK:	4000 PSI, NORMAL WEIGHT
ALL OTHER CONCRETE:	4000 PSI, NORMAL WEIGHT

ALL EXPOSED CONCRETE SHALL HAVE AN AIR ENTRAINING AGENT.

COVER:

MINIMUM CONCRETE COVER SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE ON THE DRAWINGS:

SLABS:	3/4"
WALLS:	1"
COLUMNS:	1 1/2"
EXPOSED TO WEATHER OR EARTH:	2"
CONCRETE PLACED AGAINST EARTH:	3"

REINFORCING STEEL:

DETAILS SHALL BE IN ACCORDANCE WITH ACI-315, DETAILS AND DETAILING OF CONCRETE REINFORCEMENT UNLESS OTHERWISE NOTED ON THE DRAWINGS.

ALL REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60 UNLESS REQUIRED TO BE WELDED AS SHOWN ON PLANS.

ALL REINFORCING BARS REQUIRED TO BE WELDED SHALL CONFORM TO ASTM A706, GRADE 50.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.

SUPPORT WIRE FABRIC WITH CHAIRS OR LIFTS DURING CONCRETE PLACEMENT TO INSURE PROPER POSITION IN SLAB.

ALL REINFORCEMENT SHALL BE SECURELY HELD IN PLACE WHILE PLACING CONCRETE. IF REQUIRED, ADDITIONAL BARS OR STIRRUPS SHALL BE PROVIDED BY THE CONTRACTOR TO FURNISH SUPPORT FOR ALL BARS. REINFORCEMENT SHALL BE SECURED IN THE PROPER LOCATION IN THE FORMS WITH TIE WIRE OR OTHER BAR SUPPORT SYSTEM TO PREVENT DISPLACEMENT DURING THE CONCRETE PLACEMENT OPERATION.

WHERE NOT SPECIFICALLY INDICATED ON THE DRAWINGS, SPLICING & EMBEDMENTS SHALL BE IN ACCORDANCE TABLE R608.5.4(1) LAP SPLICE AND TENSION DEVELOPMENT LENGTHS

WOOD FRAMING:

FLOOR FRAMING:

STRUCTURAL FLOOR MEMBERS SHALL CONFORM TO THE APPLICABLE PROVISIONS OF SECTION R502.

ALL FLOOR FRAMING, INCLUDING JOISTS, LEDGERS, HEADERS AND BLOCKING, IS TO BE 2X DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2, FB=850 PSI, 1.4E, OR BETTER.

FLOOR FRAMING IS TO BE AT 16" (MAXIMUM) ON CENTER, OR AS OTHERWISE NOTED IN THE DRAWINGS.

AVOID NOTCHING (SEE CUTTING AND NOTCHING BELOW). PROVIDE SISTER MEMBERS AS REQUIRED.

FLOOR SHEATHING SHALL BE AVANTECH T&G SUBFLOOR FASTENED WITH 8D COMMON NAILS. O.C. AND AVANTECH SUBFLOOR ADHESIVE PER MANUFACTURERS INSTRUCTIONS AND SHALL CONFORM OF SECTION 502 OF THE RESIDENTIAL CODE.

WALL FRAMING:

LOAD BEARING WALLS SHALL CONFORM TO THE APPLICABLE PROVISIONS OF SECTION 602.

ALL LOAD BEARING WOOD FRAMED PARTS SHALL INCLUDE STUDS, TOP AND BOTTOM PLATE AND BLOCKING, IS TO BE 2X DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2, FB=850 PSI, 1.4E, OR BETTER.

WALL FRAMING IS TO BE AT 16" (MAXIMUM) ON CENTER, OR AS OTHERWISE NOTED IN THE DRAWINGS.

AVOID NOTCHING (SEE CUTTING AND NOTCHING BELOW). PROVIDE SISTER STUDS AS REQUIRED.

EXCEPTION: BEARING STUDS NOT SUPPORTING FLOORS AND NONBEARING STUDS SHALL BE PERMITTED TO BE UTILITY GRADE LUMBER, PROVIDED THAT THE STUDS BE SPACED AT 16" O.C. MINIMUM.

BOTTOM (SOLE) PLATE: STUDS SHALL HAVE FULL BEARING ON A MINIMUM 2-BY (51 MM) OR LARGER PLATE OF SOLID FRAMING A WIDTH NOT LESS THAN TO THE WIDTH OF THE STUDS.

TOP PLATE: WOOD STUD WALLS SHALL BE CAPPED WITH A DOUBLE TOP PLATE INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND INTERSECTIONS WITH CEILING PARTITIONS. END JOINTS IN TOP PLATES SHALL BE OFFSET NOT LESS THAN 24 INCHES (610 MM). JOINTS IN PLATES NEED NOT OCCUR OVER STUDS. PLATES SHALL BE NOT LESS THAN 2-INCHES (51 MM) NOMINAL THICKNESS AND HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE STUDS.

AVOID NOTCHING (SEE CUTTING AND NOTCHING BELOW). PROVIDE SISTER MEMBERS AS REQUIRED.

WALL SHEATHING SHALL BE MINIMUM 1/2" WOOD STRUCTURAL PANEL, ZIP SYSTEM, PER MANUFACTURERS INSTRUCTIONS HARDIE PLANK LAP SIDING AND SHALL CONFORM OF SECTION 602 OF THE RESIDENTIAL CODE.

ROOF-CEILING CONSTRUCTION:

ROOF FRAMING SHALL CONFORM TO THE APPLICABLE PROVISIONS OF SECTION R802.

ALL ROOF FRAMING, INCLUDING RAFTERS, COLLAR TIES, RAFTER TIES AND CEILING JOISTS, IS TO BE 2X DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2, FB=850 PSI, 1.4E, OR BETTER.

ROOF FRAMING IS TO BE AT 16" (MAXIMUM) ON CENTER, OR AS OTHERWISE NOTED IN THE DRAWINGS.

AVOID NOTCHING (SEE CUTTING AND NOTCHING BELOW). PROVIDE SISTER MEMBERS AS REQUIRED.

ROOF SHEATHING SHALL BE ZIP SYSTEM 5/8" SHEATHING AND SHALL CONFORM PER SECTION 803 OF THE RESIDENTIAL CODE.

CUTTING, DRILLING AND NOTCHING FOR WIRES AND PIPES:

WOOD-FRAMED STRUCTURAL MEMBERS SHALL NOT BE DRILLED, NOTCHED OR ALTERED IN ANY MANNER EXCEPT AS PROVIDED IN SECTIONS R502.8, R602.6, R802.7 AND R802.7.1 OF THE RESIDENTIAL CODE.



EXISTING CONDITION
04.12.2024



EXISTING CONDITION
04.12.2024

STATEMENT OF DESIGN PROFESSIONAL:

THIS PLAN IS HEREBY PREPARED IN CONFORMANCE WITH 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS).

VICENT COAKLEY, P.E.
(STAMP AFFIXED AND SIGNED)

LIST OF DRAWINGS			
SHEET	DRAWING NAME	DATE	REVISION
C-01	COVER SHEET	10.01.2024	04.24.2025
S-01	SITE PLAN	10.01.2024	04.03.2025
S-02	DRIVEWAY LAYOUT AND ELEVATIONS	10.01.2024	04.24.2025
S-03	SECTIONS	10.01.2024	04.24.2025
S-04	PLATFORM AND WALKWAY	10.01.2024	04.24.2025

PROPERTY ADDRESS:

MAMARONECK, NY 10543
(VILLAGE OF MAMARONECK
BUILDING DEPARTMENT)

S-B-L:

CLIENT:

*** ***

TEL:

EMAIL:

DATE:

10.01.2024

ISSUE:

PRELIMINARY

01.10.2025

FOR REVIEW

03.12.2025

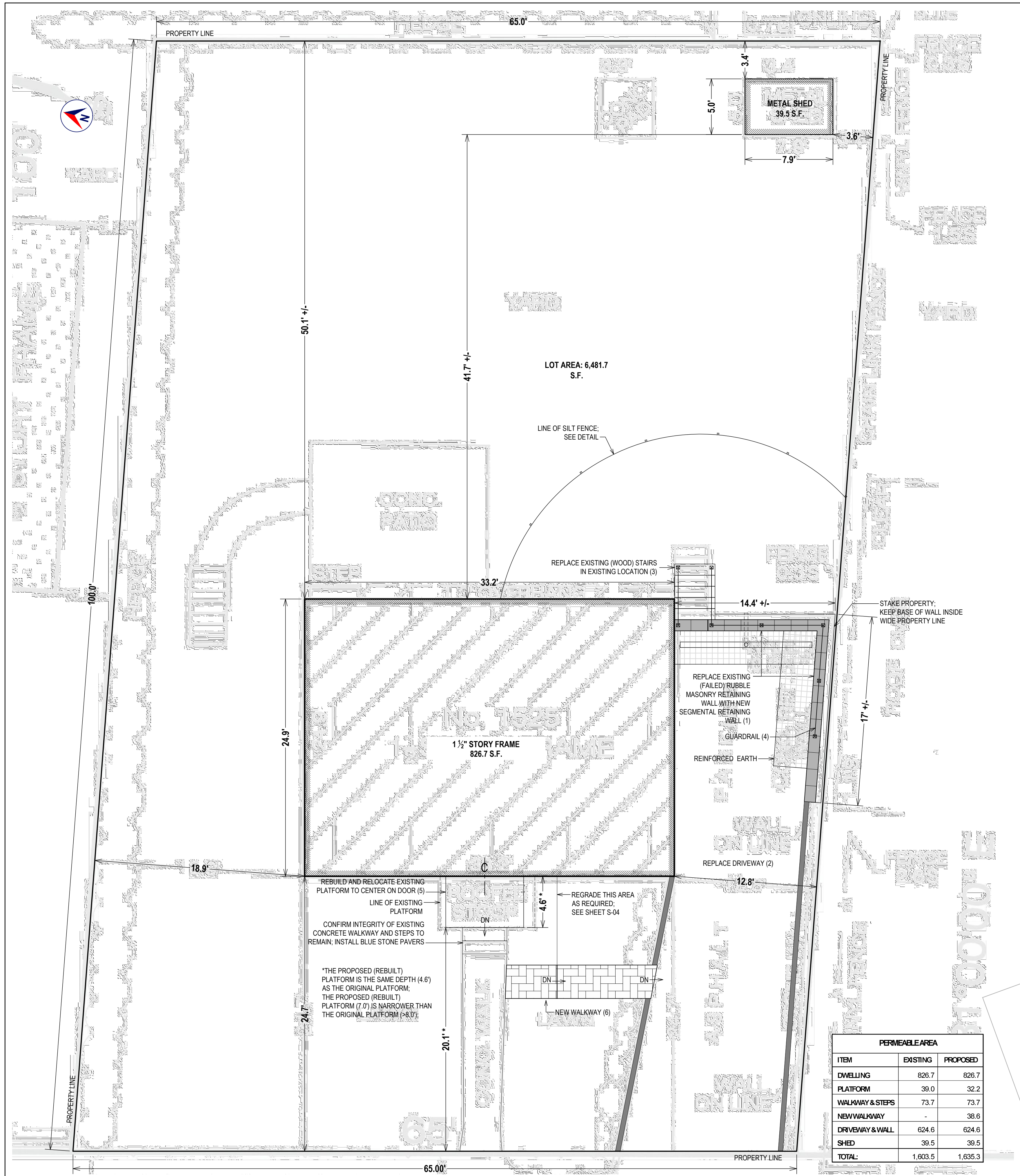
FOR REVIEW

04.03.2025

FOR PERMIT

04.24.2025

FOR B.A.R.



SITE PLAN
BACKGROUND INFORMATION FROM SURVEY BY C.O.C. MAPPING CORP. 09.13.2022
1"=5'-0"

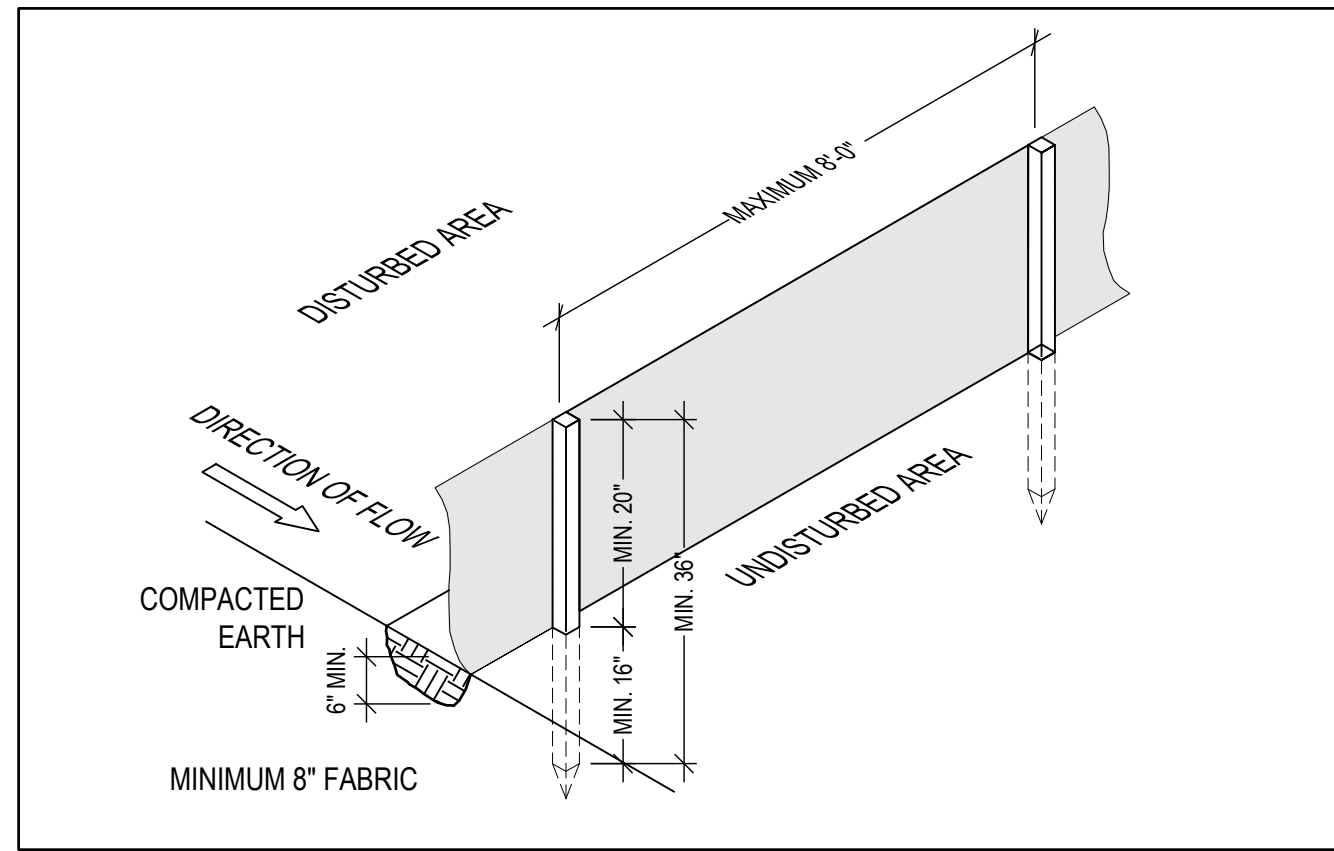
EROSION CONTROL:
THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYS DEC) PROVIDES MINIMUM STANDARDS AND SPECIFICATIONS FOR THE CONTROL OF STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.
EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, WITH ALL RELEVANT REGULATIONS OF THE VILLAGE OF MAMARONECK AND AS FOLLOWS:

THE SILT FENCE SHALL BE INSTALLED BEFORE UP-SLOPE GROUND COVER IS REMOVED.
FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE. A RUN OF SILT FENCE SHOULD FOLLOW THE CONTOUR AS CLOSELY AS POSSIBLE WITH THE ENDS TURNED UPSLOPE TO POND WATER BEHIND THE FENCE.

THE SILT FENCE FABRIC SHOULD BE BURIED AT LEAST 6" DEEP AND HAVE A TOTAL OF 8" (MINIMUM) FABRIC BELOW THE GROUND.

STAKES SHALL BE A MINIMUM OF 2X2 NOMINAL (1 1/2" X 1 1/2" ACTUAL) HARDWOOD AND OF SOUND QUALITY; THE STAKES SHALL BE PLACED ON THE DOWN-SLOPE SIDE OF THE GEOTEXTILE AND AT A MAXIMUM SPACING OF 8'-0" ON CENTER.

THE APPLICANT AND/OR CONTRACTOR SHALL ESTABLISH EROSION CONTROL AS NOTED IN THESE DRAWINGS AND SHALL MAINTAIN EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION UNTIL SUCH TIME THAT THE BUILDING INSPECTOR DEEMS THE LAND TO BE STABLE.



SEDIMENT FENCE DETAIL
NOT TO SCALE

ZONING COMPLIANCE				
ADDRESS:	ZONE: R-5	MUNICIPALITY:	Village of Mamaroneck	
		TAX ID:	8-10-283	
	EXISTING	REQUIRED/ PERMITTED	PROPOSED	VARIANCE REQUIRED
LOT INFORMATION				
LOT AREA (SF)	6,481.7	5,000	NO CHANGE	NO
LOT FRONTAGE (FT)	65	50	NO CHANGE	NO
YARD SETBACKS (FT):			NO CHANGE	
FRONT YARD (HOUSE/PLATFORM)	24.7 / 20.1	20	NO CHANGE	NO
REAR YARD	50.1 +/-	25	NO CHANGE	NO
LESSER SIDE YARD	12.8	6	NO CHANGE	NO
COMBINED SIDE YARD	31.7	14	NO CHANGE	NO
SIDE YARD ADJOINING STREET	NOT APPLICABLE	NOT APPLICABLE		
PRINCIPAL BUILDING INFORMATION				
GROSS FLOOR AREA (SF)			NO CHANGE	
BUILDING HEIGHT:			NO CHANGE	
STORIES	1 1/2		NO CHANGE	
HEIGHT TO PRINCIPAL EAVE (FT)			NO CHANGE	
HEIGHT TO HIGHEST ROOF RIDGE (FT)			NO CHANGE	
ACCESSORY STRUCTURES				
DETACHED GARAGE (NOT APPLICABLE)				
SETBACKS				
TO PRINCIPAL BUILDING				
TO SIDE LOT LINE				
TO REAR LOT LINE				
BUILDING HEIGHT:				
HEIGHT TO PRINCIPAL EAVE (FT)				
HEIGHT TO HIGHEST ROOF RIDGE (FT)				
OTHER ACCESSORY STRUCTURE (INDICATE TYPE OF STRUCTURE: SHED, POOL, ETC.) (SHED)				
SETBACK				
TO PRINCIPAL BUILDING	41.7 +/-		NO CHANGE	
TO SIDE LOT LINE	3.6		NO CHANGE	
TO REAR LOT LINE	3.4		NO CHANGE	
BUILDING HEIGHT:				
HEIGHT TO PRINCIPAL EAVE (FT)			NO CHANGE	
HEIGHT TO HIGHEST ROOF RIDGE (FT)			NO CHANGE	
BUILDING COVERAGE				
PRINCIPAL BUILDING COVERAGE (SF)	826.7			
PRINCIPAL BUILDING COVERAGE (%)	12.8%	9% (TAL)		
ACCESSORY BUILDING COVERAGE (SF)	39.5			
ACCESSORY BUILDING COVERAGE (%)	0.6%			
IMPERVIOUS SURFACE COVERAGE (SF)	1,603.5	25%		1635.3
IMPERVIOUS SURFACE COVERAGE (%)	24.7%	4%		25.2%
FRT. YD. SETBACK REQUIREMENTS:				
PER FRONT LOT FAMILY RESIDENCE				
ENCROACHMENTS:				
STEPS TO BUILDING ENTRANCE		NO REGULATION IN FRONT YARD	REQUIRED SETBACK	
OPEN PORCHES AND LOADING DOCKS		NO REGULATION IN FRONT YARD	REQUIRED SETBACK	

SCOPE OF WORK:

- NEW SRW WALL TO REPLACE DETERIORATED CMU WALL; SEE SHEET S-02 AND S-03 FOR DETAILS.
- REPLACE SIDEWALK AND CURBS IN EXISTING LOCATION; SEE SHEET S-02 AND S-03 FOR DETAILS.
- REPLACE WOOD STAIRS; SEE SHEETS S-02 AND S-03 FOR DETAILS.
- INSTALL GUARDRAIL AT STAIRS AND AT NEW WALL IN ALL AREAS WHERE DROP OFF IS 30" OR GREATER; PROPRIETARY PVC POST AND RAOIL SYSTEM, INSTALL PER MANUFACTURER; SEE SHEET S-02 AND S-03 FOR DETAILS.
- EXTEND PLATFORM: ... SEE SHEET S-04 FOR DETAILS.
- NEW WALKWAY: ... SEE SHEET S-04 FOR DETAILS.

PROPERTY ADDRESS:

MAMARONECK, NY 10543
(VILLAGE OF MAMARONECK
BUILDING DEPARTMENT)

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CLIENT:
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EMAIL: ***

DATE: 10.01.2024
01.10.2025
03.12.2025
04.03.2025
ISSUE: PRELIMINARY
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PROJECT NAME:
EXTERIOR RENOVATION

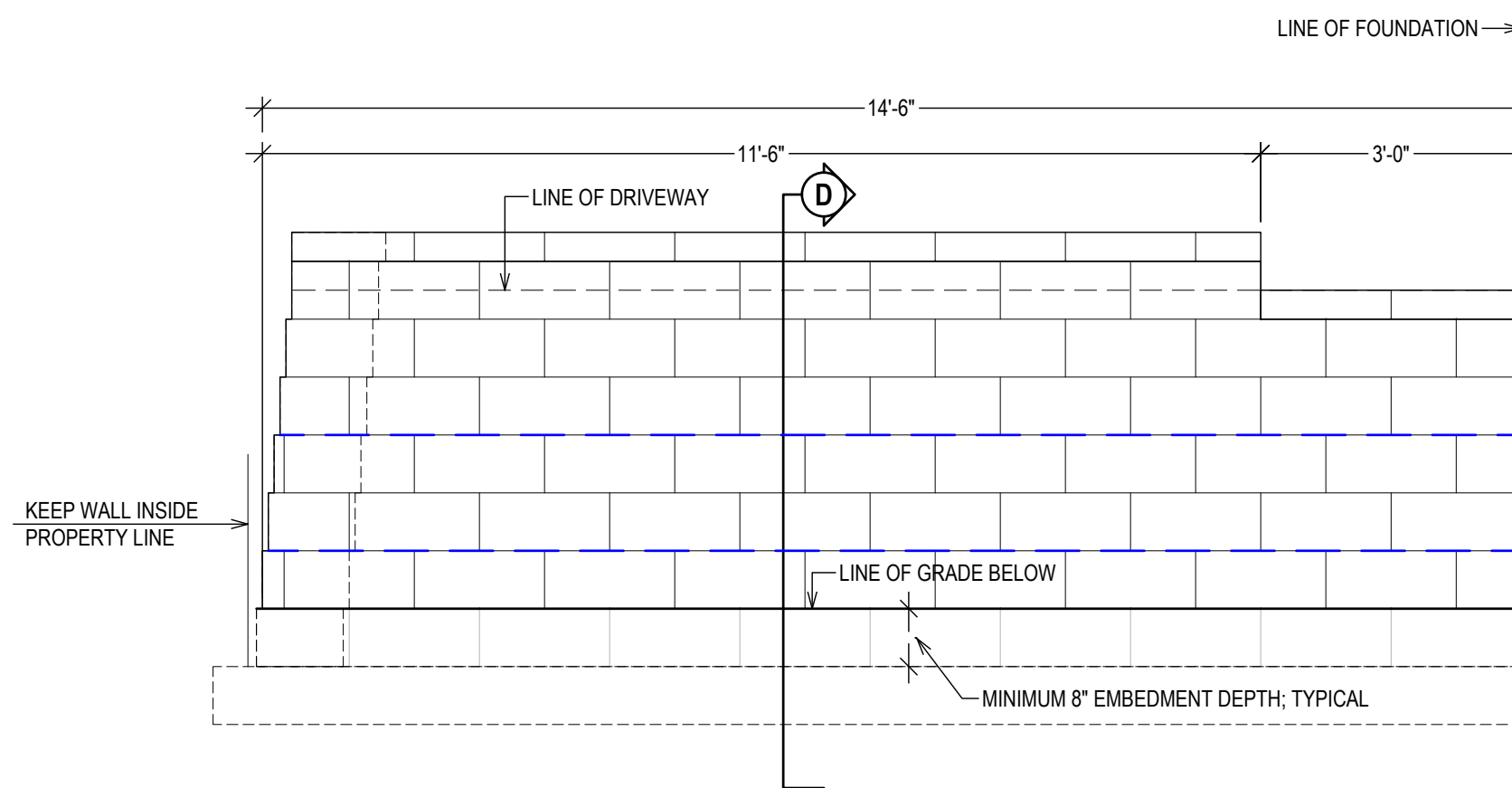
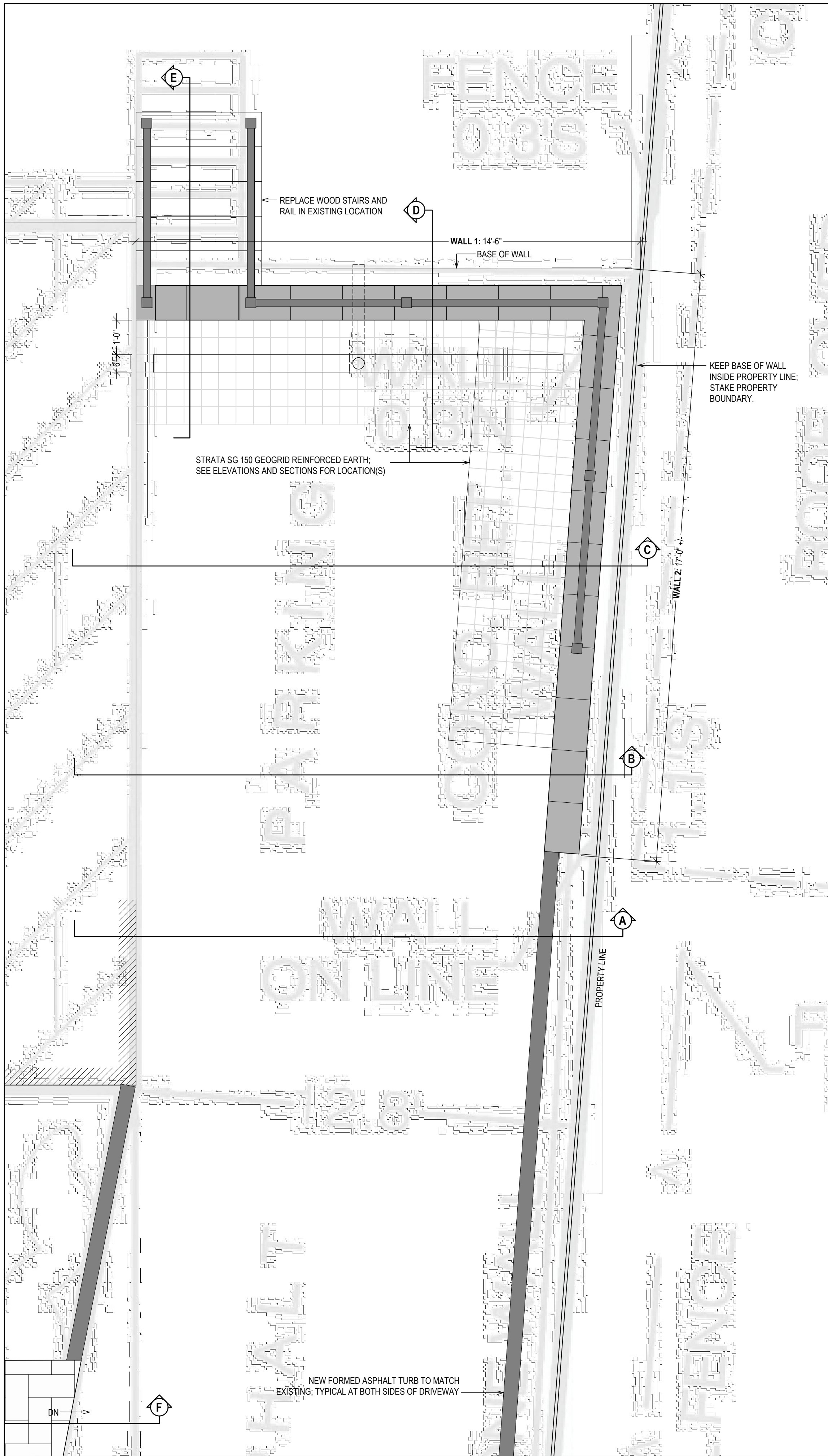
DRAWING NAME:
SITE PLAN

DRAWING NUMBER:
S-01

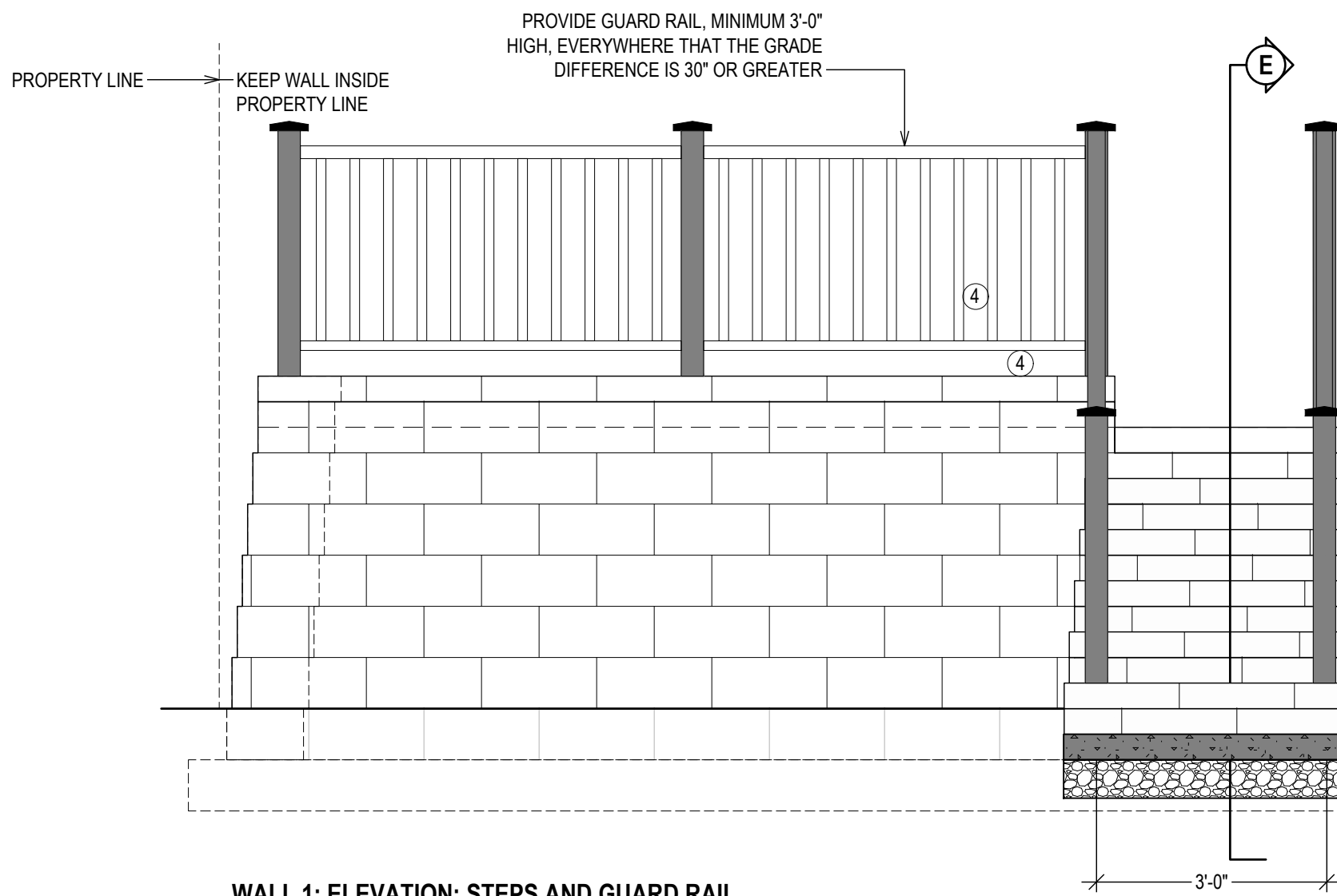
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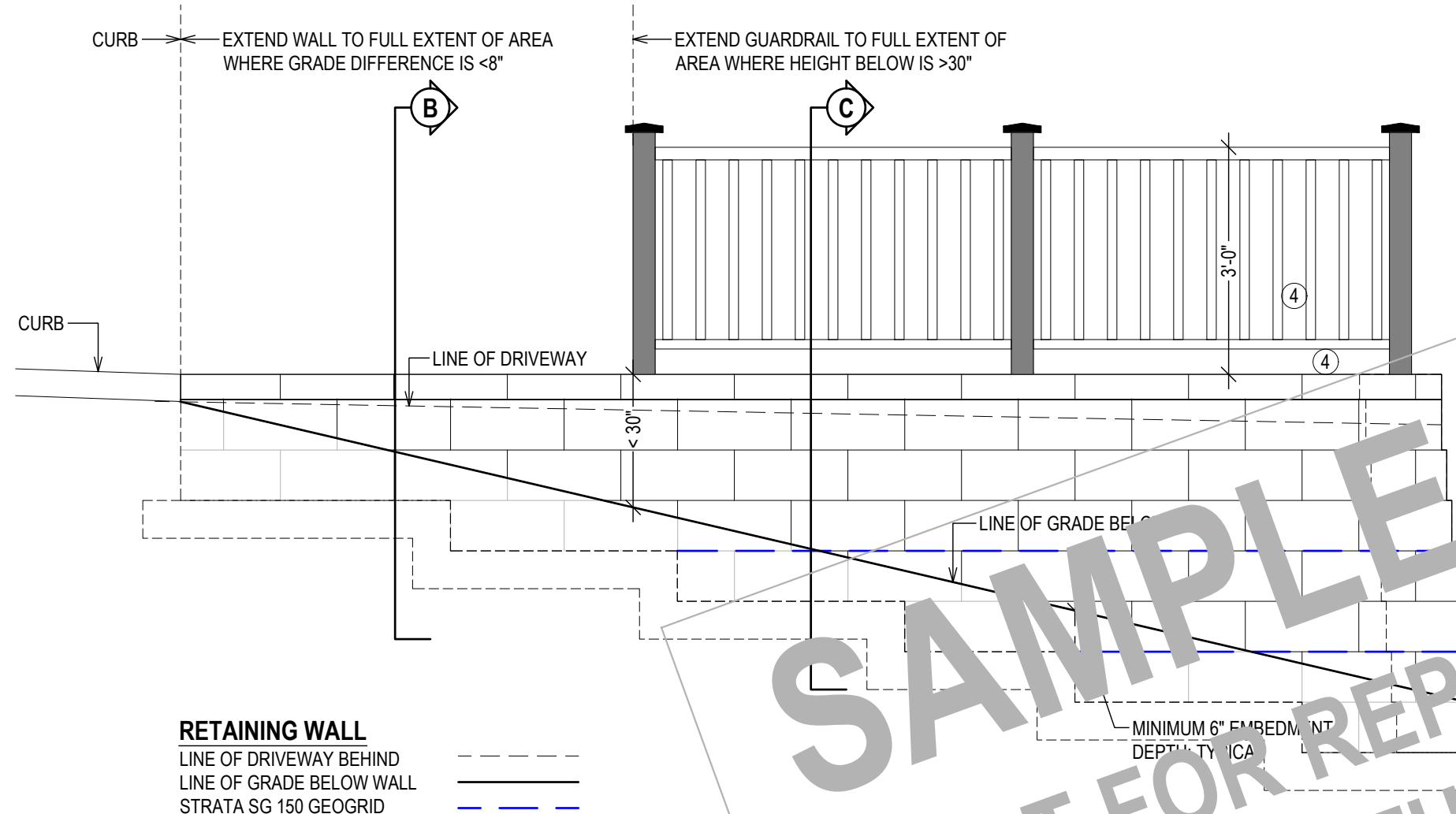
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WALL 1: ELEVATION
STEPS NOT SHOWN
1/2" = 1'-0"



WALL 1: ELEVATION; STEPS AND GUARD RAIL
1/2" = 1'-0"



RETAINING WALL
LINE OF DRIVEWAY BEHIND
LINE OF GRADE BELOW WALL
STRATA SG 150 GEOGRID

WALL 2: ELEVATION
1/2" = 1'-0"

ELEVATIONS
SCALE AS NOTED

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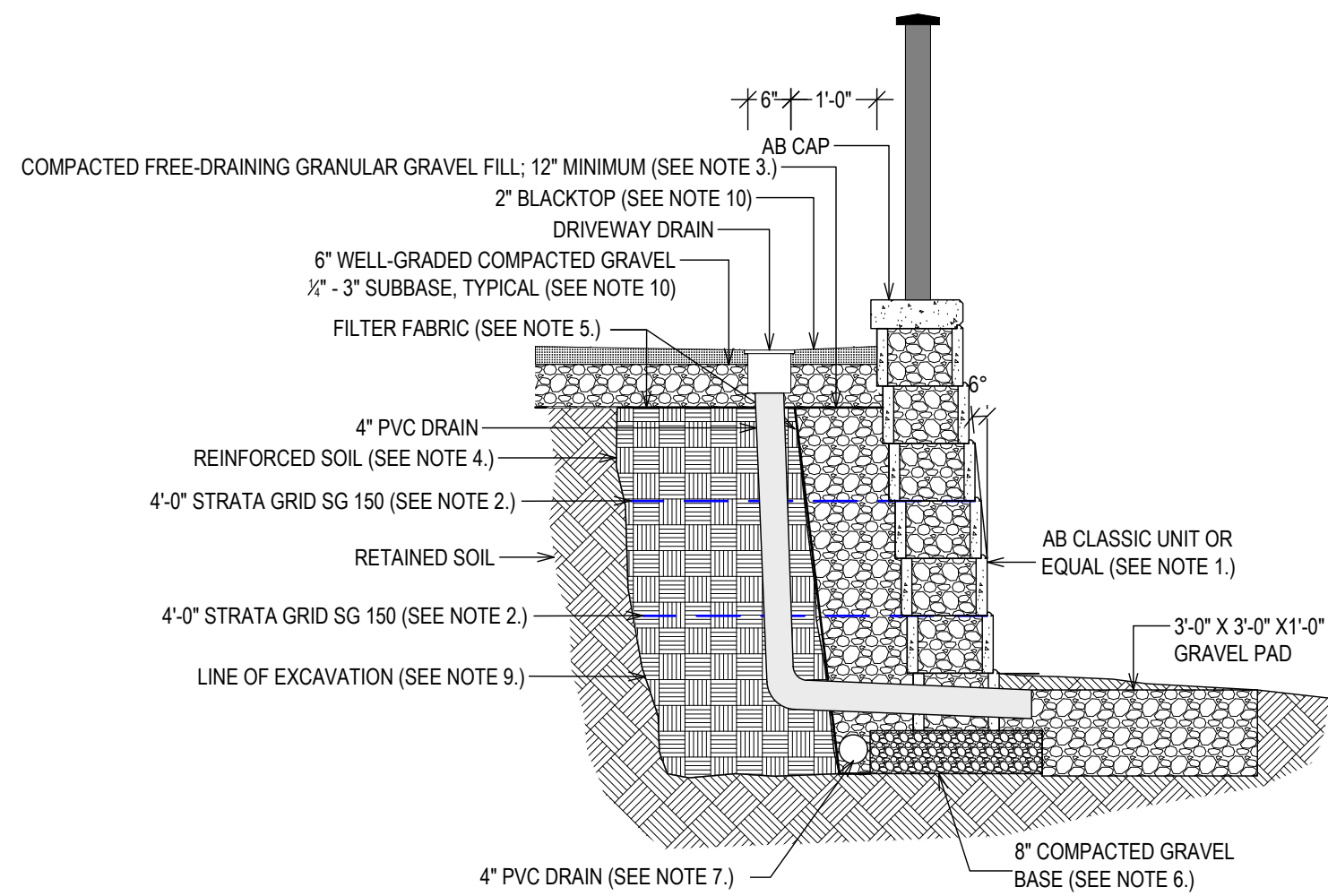
DRAWING NAME:
DRIVEWAY LAYOUT AND
ELEVATIONS

DRAWING NUMBER:
S-02

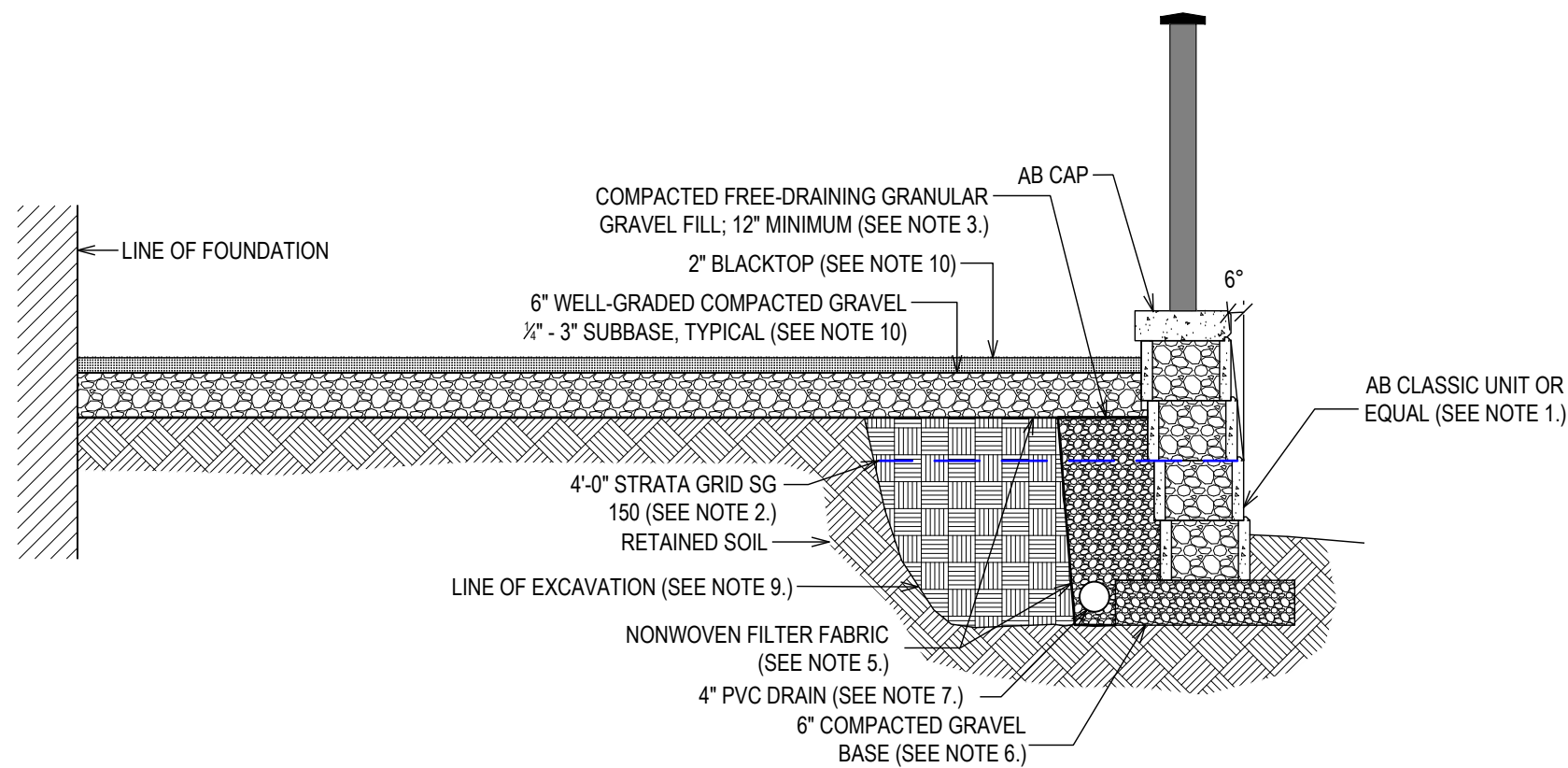
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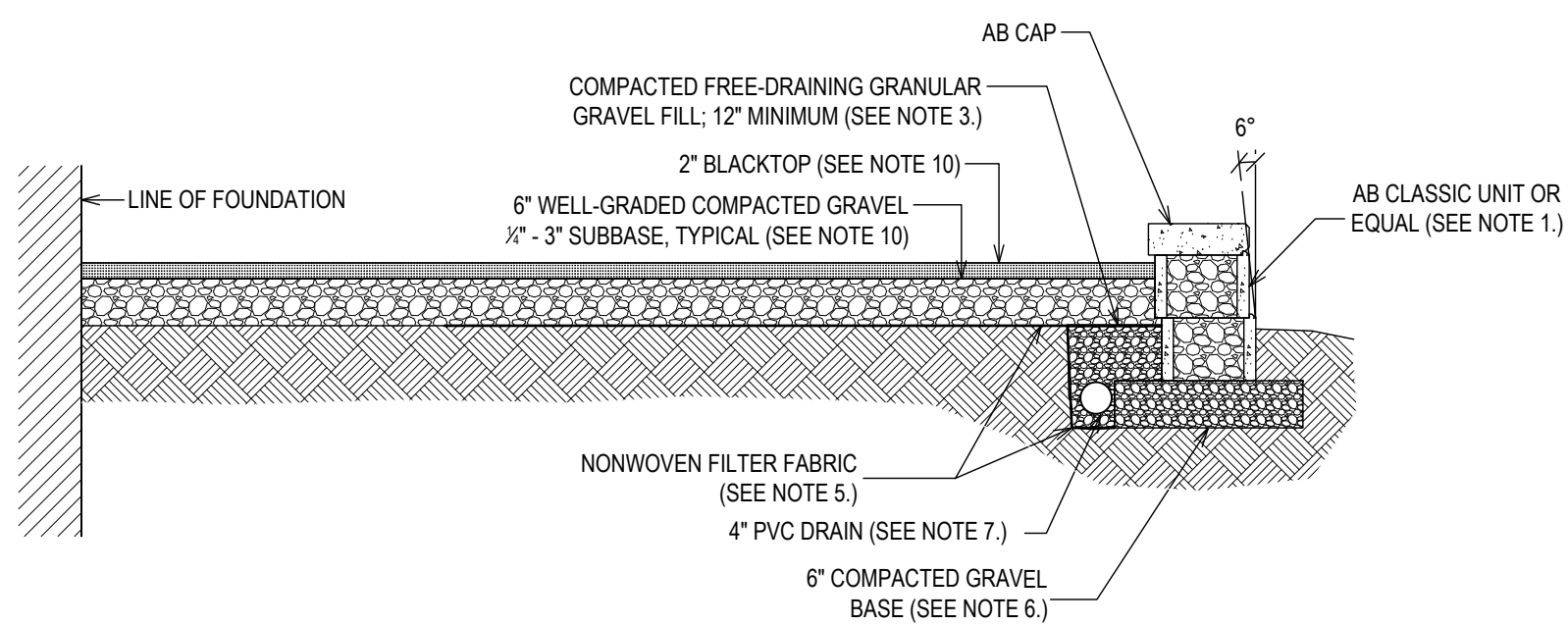
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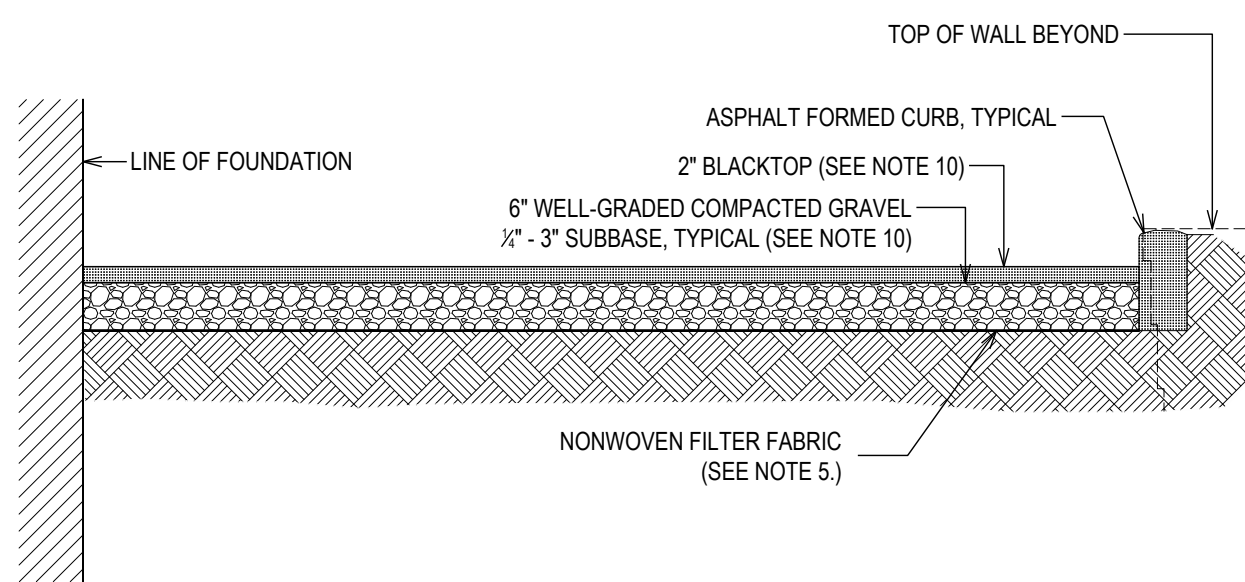
SECTION D
2 LAYERS 4'-0" GEOGRID
MAX HEIGHT 4'-0"
1/2" = 1'-0"



SECTION C
1 LAYER 4'-0" GEOGRID
MAX. HEIGHT 3'-0"
WIDTH VARIES
1/2" = 1'-0"



SECTION B
WIDTH VARIES
1/2" = 1'-0"



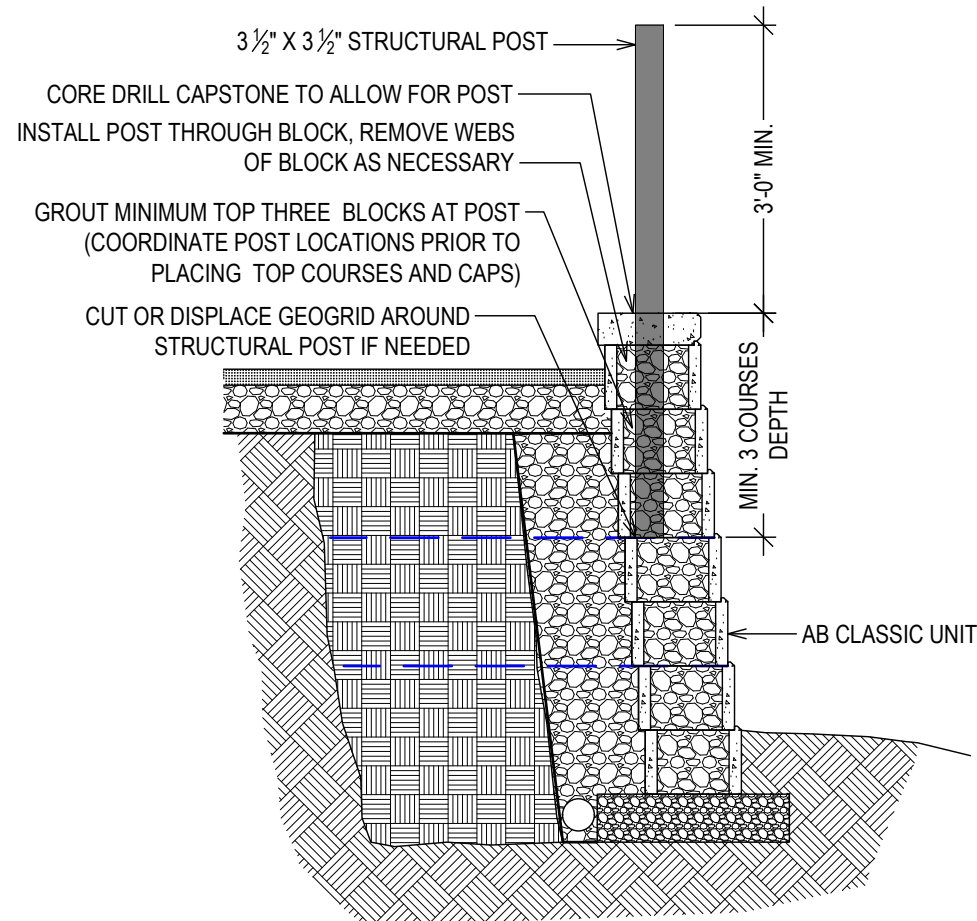
SECTION A
WIDTH VARIES
1/2" = 1'-0"

SRW (SEGMENTAL RETAINING WALL) SECTION NOTES

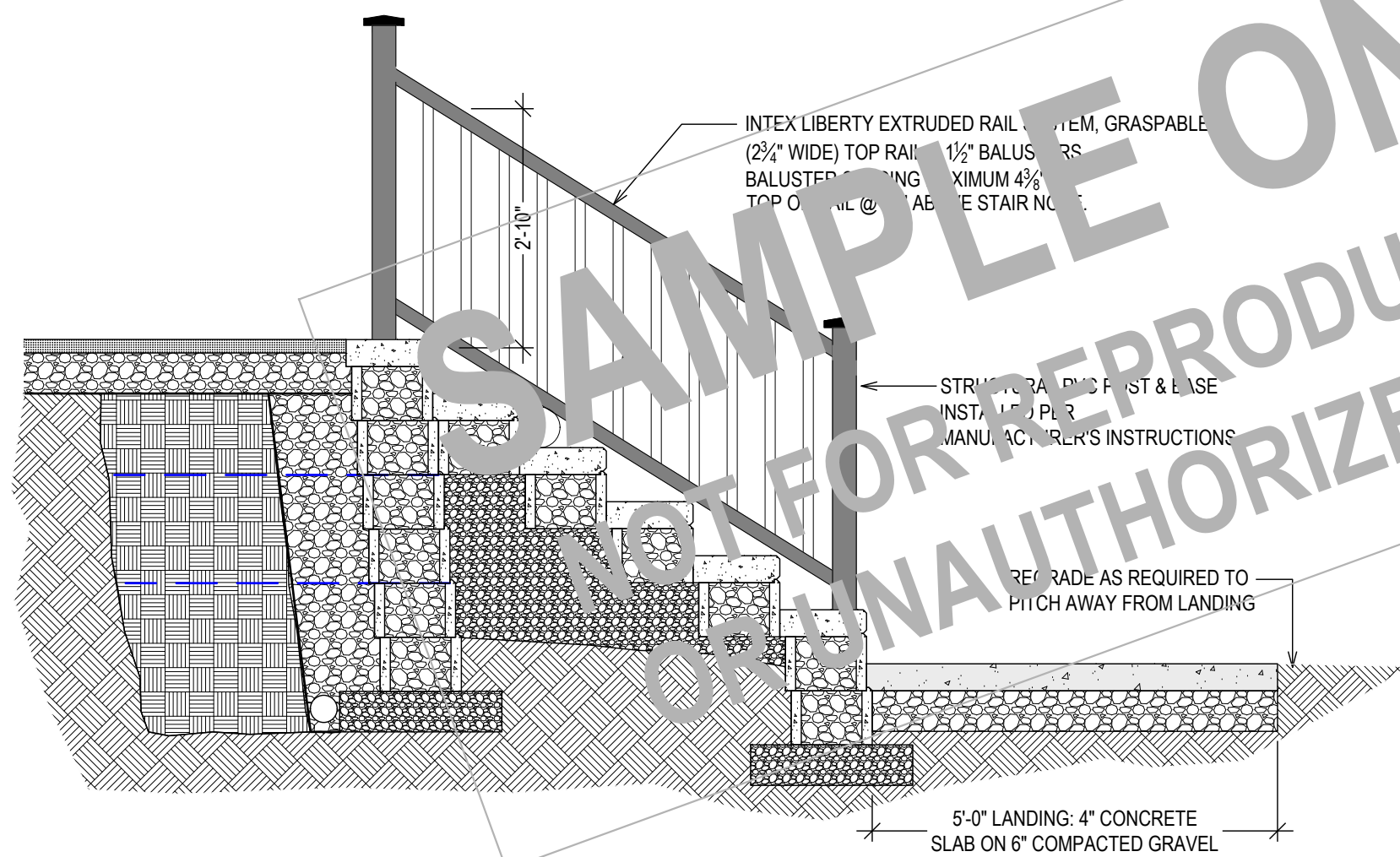
- SEGMENTAL BLOCK:**
AB BLOCK, CAMBRIDGE WALLSTONE, OR EQUAL; INSTALL PER MANUFACTURERS INSTRUCTIONS; FILL CORES WITH GRANULAR FILL.
- GEOGRID:**
STRATA GRID SG 150, TENSILE STRENGTH; INSTALL PER MANUFACTURERS INSTRUCTIONS.
- GRANULAR FILL:**
WELL-GRADED COMPACTIBLE AGGREGATE, 1/2" TO 1 1/2" WITH NO MORE THAN 10% FINES (PASSING THE #200 SIEVE); MATERIAL BEHIND AND IN THE BLOCKS MAY BE THE SAME MATERIAL.
- INFILL SOIL:**
INFILL (REINFORCED SOIL ZONE) SOILS SHALL COHESIONLESS, FREE DRAINING MATERIALS (LESS THAN 50% PASSING A NUMBER 40 SIEVE AND LESS THAN 10% PASSING A NUMBER 200 SIEVE). THE INTIRE REINFORCED ZONE SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE STANDARD PROCTOR DENSITY. COMPACTION SHALL BE IN LIFTS NOT EXCEEDING 8".
- FILTER FABRIC:**
FILTER FABRIC SHALL BE MINIMUM 8 OZ. NONWOVEN GEOTEXTILE WITH MINIMUM TENSILE STRENGTH OF 205 LBS (PER ASTM D463), 95 LB PUNCTURE RESISTANCE (PER ASTM D4833) AND WATER FLOW RATE OF 90 GPM/SF (PER ASTM D4491).
- GRAVEL BASE:**
MAY BE THE SAME MATERIAL AS THE GRANULAR FILL.
TOP OF BASE SHALL BE LOCATED TO ALLOW BOTTOM WALL UNITS TO BE BURIED TO PROPER DEPTH NOTED.
BASE MATERIAL SHALL BE INSTALLED ON UNDISTURBED NATIVE SOILS OR SUITABLE REPLACEMENT FILLS COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR (ASTM D698).
- DRAIN:**
4" PERFORATED PVC PIPE WITH FILTER SOCK; DRAIN TO DAYLIGHT.
- ELEVATION:**
(FROM WESTCHESTER COUNTY GIS AND/OR SURVEY TOPO);
ELEVATIONS ARE APPROXIMATE ONLY; VERIFY ALL ELEVATIONS IN THE FIELD;
MAINTAIN MINIMUM EMBEDMENT DEPTH, GEOGRID LOCATION & EXTENT, AND MAXIMUM WALL HEIGHT, PER SECTION.
- EXCAVATION:**
SEE GENERAL NOTES ON EXCAVATION SAFETY, AND LOCATING UTILITIES, ON SHEET C-01.
- DRIVEWAY:**
2" BLACKTOP ON
6" WELL-GRADED COMPACTIBLE SUB-BASE, 1/2" TO 3".

WALL HEIGHTS AND LOCATION:
*PROPERTY LINE SHALL BE STAKED BY A LICENSED SURVEY PRIOR TO CONSTRUCTION.
EXACT WALL HEIGHT & LOCATION WILL BE DETERMINED BY TOPOGRAPHY.

GUARDRAIL:
*PROVIDE CONTINUOUS GUARD RAIL IN ALL AREAS WHERE UPPER SURFACE AND GRADE DIFFERENCE IS 30" OR GREATER.



SECTION AT POST CONNECTION, TYPICAL
1/2" = 1'-0"



SECTION E
DETAIL AT STAIRS
1/2" = 1'-0"



CAMBRIDGE SIGMA 6 PLUS SPLIT FACE WALLSTONE

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SECTIONS

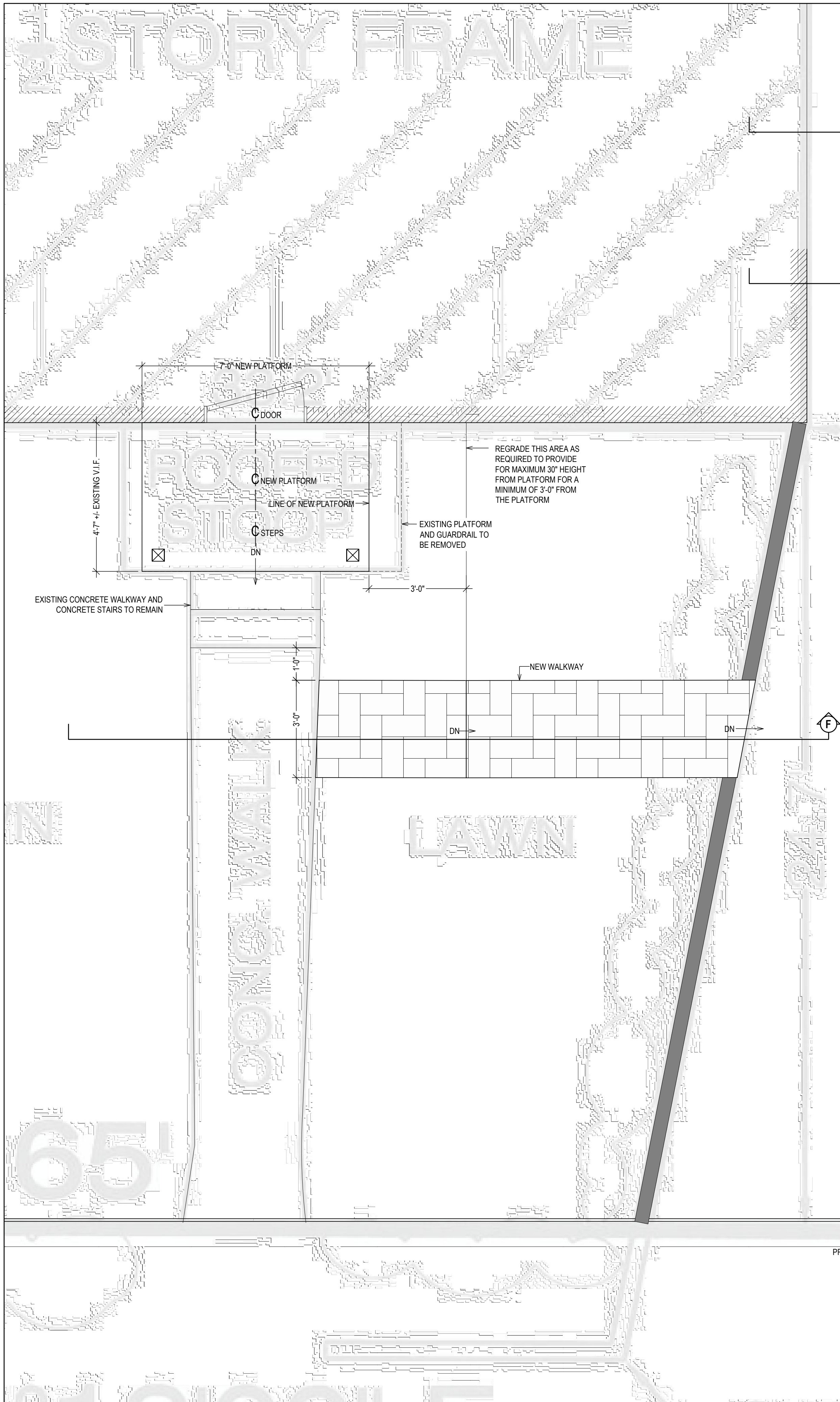
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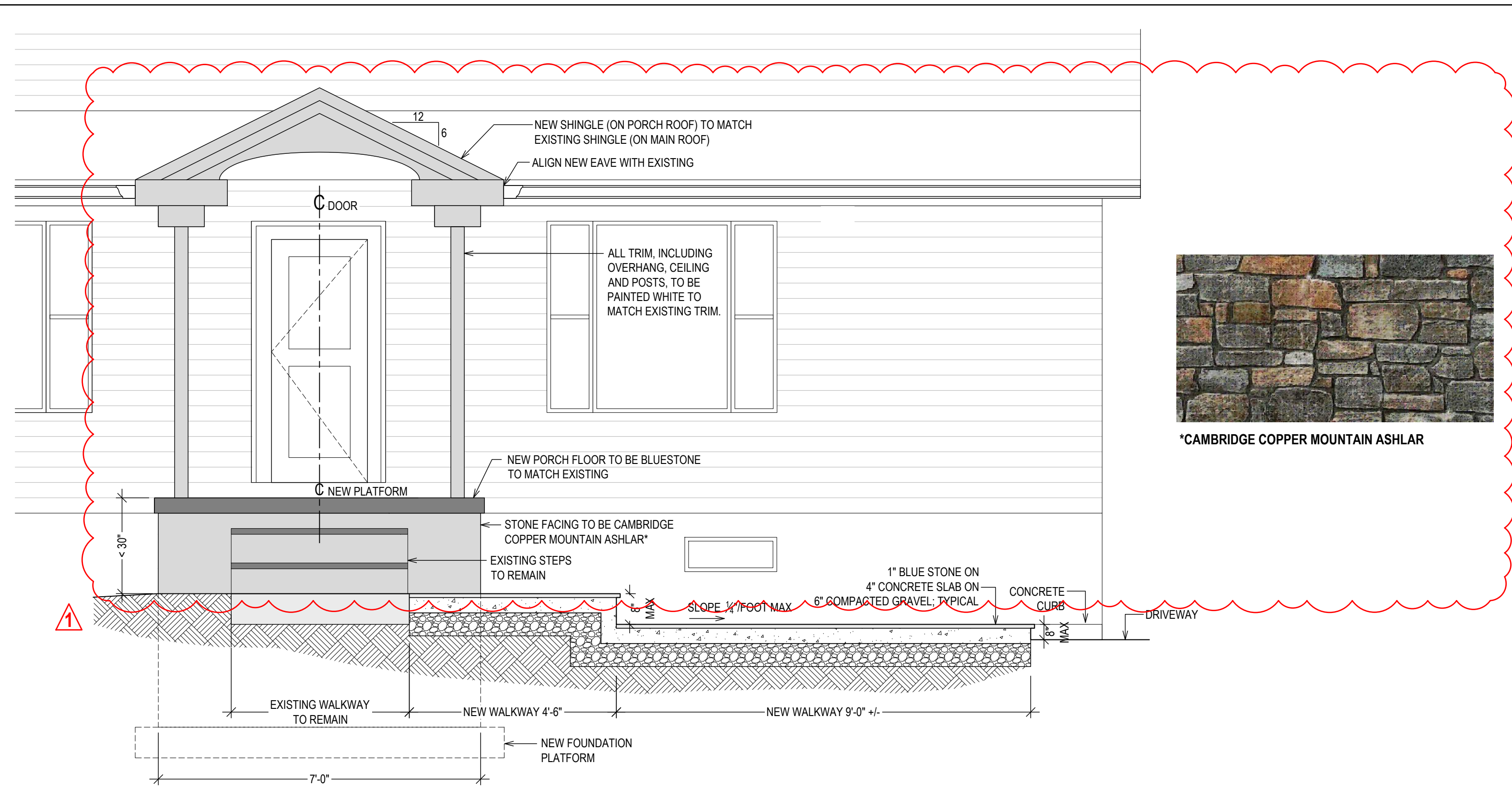
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Oliver Engineering, P.C.
Design - Permit Applications - Legalizations
Code Compliance - Project Supervision
188 North Main Street | Port Chester | NY 10573
(914) 774-9878 | www.proeng.nyc | vc@proeng.nyc

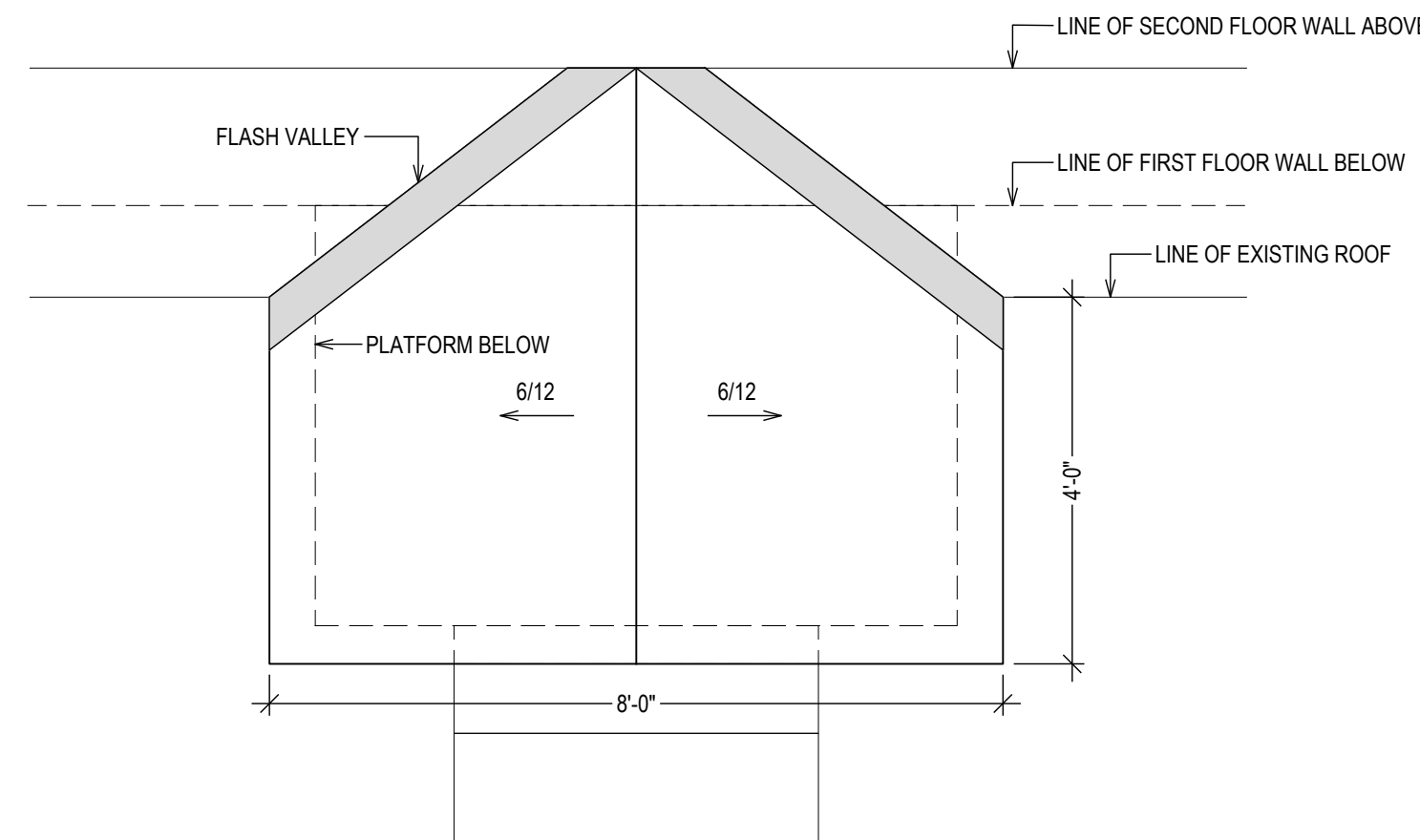


PARTIAL SURVEY - PLATFORM AND WALKWAY
1/2" = 1'-0"

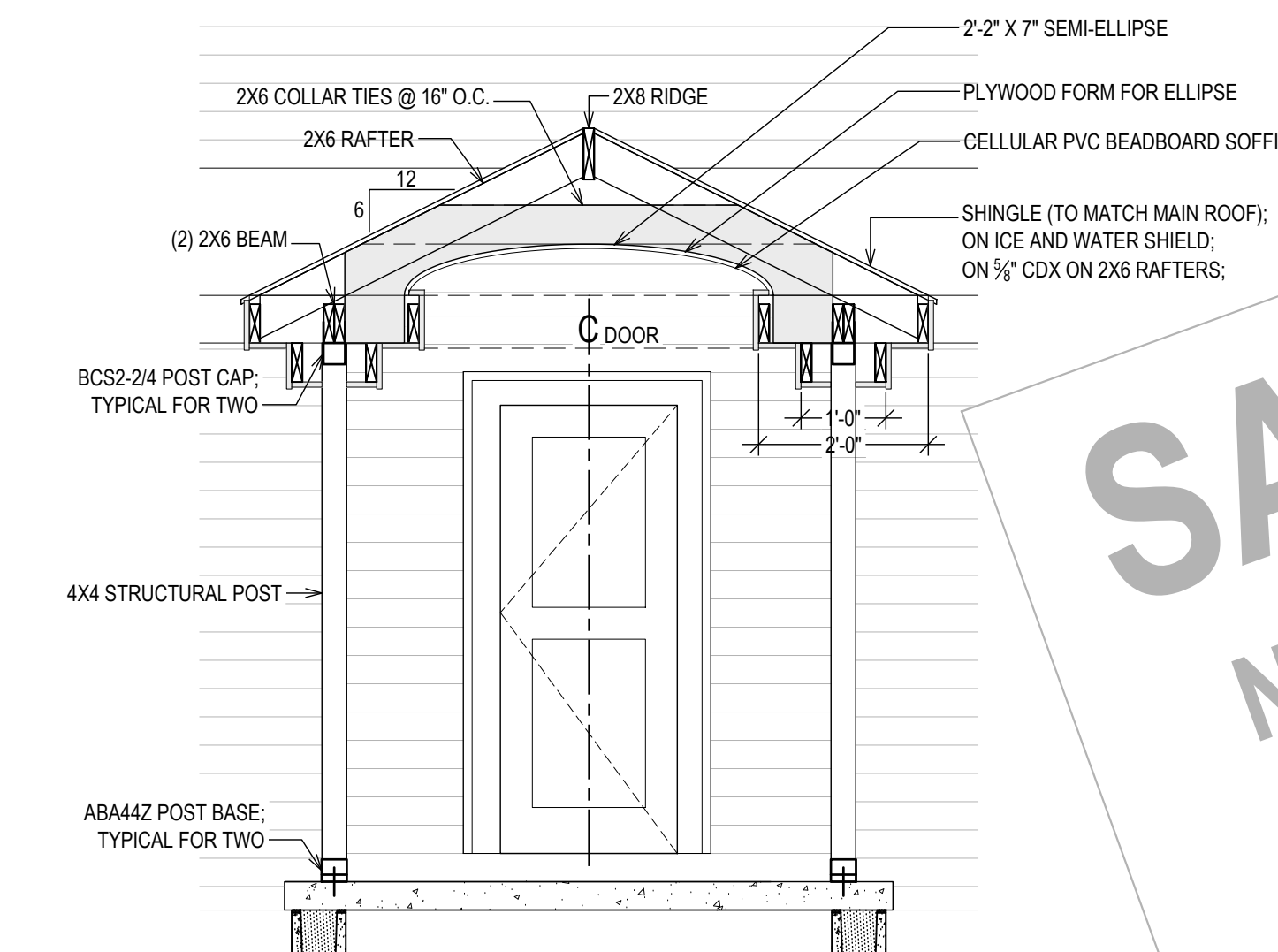
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*** PERSONAL (CLIENT) INFORMATION WITHHELD



SECTION F (AND PORCH ELEVATION)
1/2" = 1'-0"

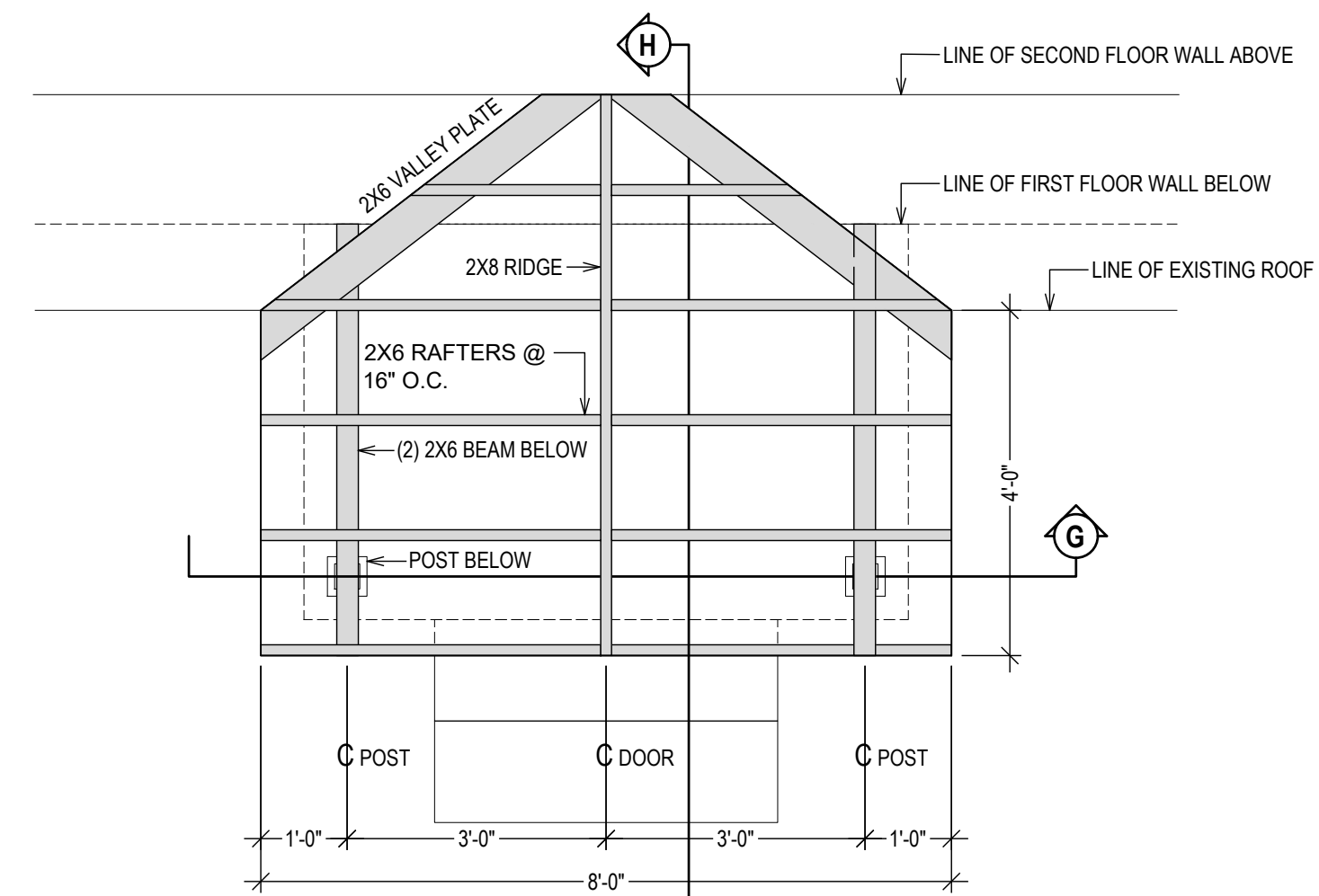


ROOF PLAN
1/2" = 1'-0"

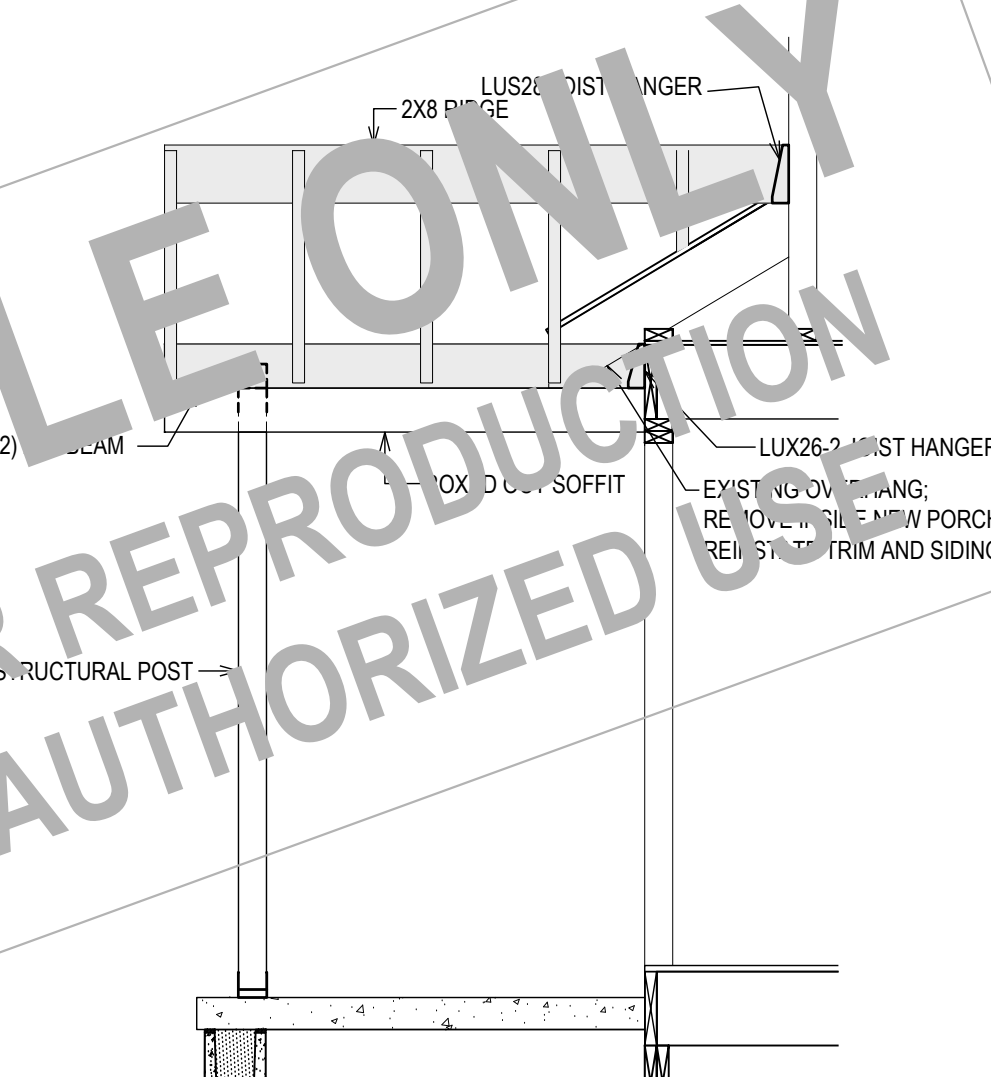


SECTION G
1/2" = 1'-0"

DETAILS
SCALE AS NOTED



ROOF FRAMING PLAN
1/2" = 1'-0"



SECTION H
1/2" = 1'-0"



*CAMBRIDGE COPPER MOUNTAIN ASHLAR

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DRAWING NAME:

PLATFORM AND WALKWAY

DRAWING NUMBER:

S-04

DATE:

10.01.2024

SCALE:

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