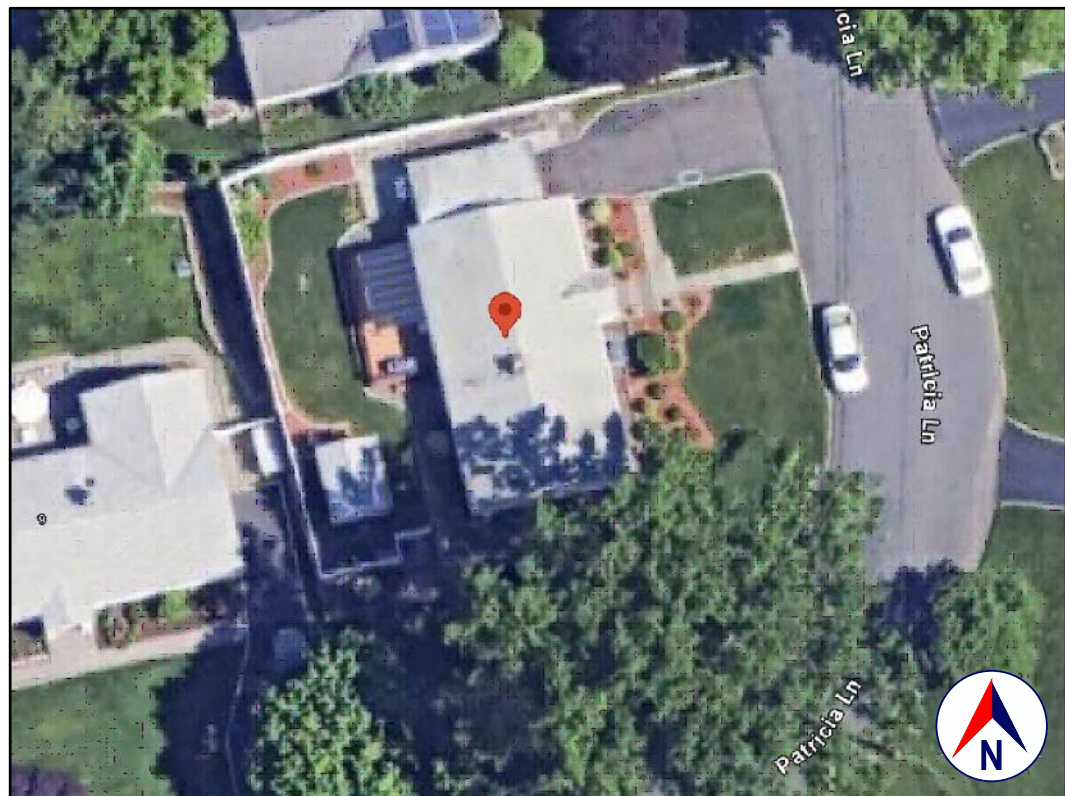
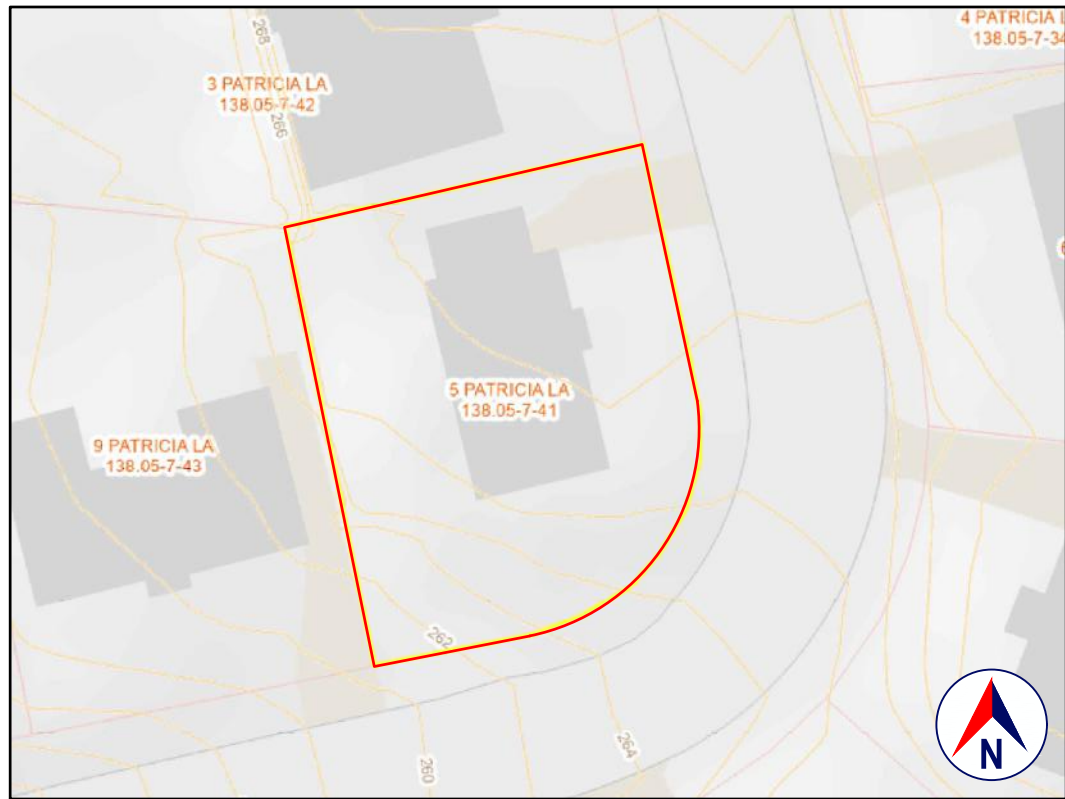


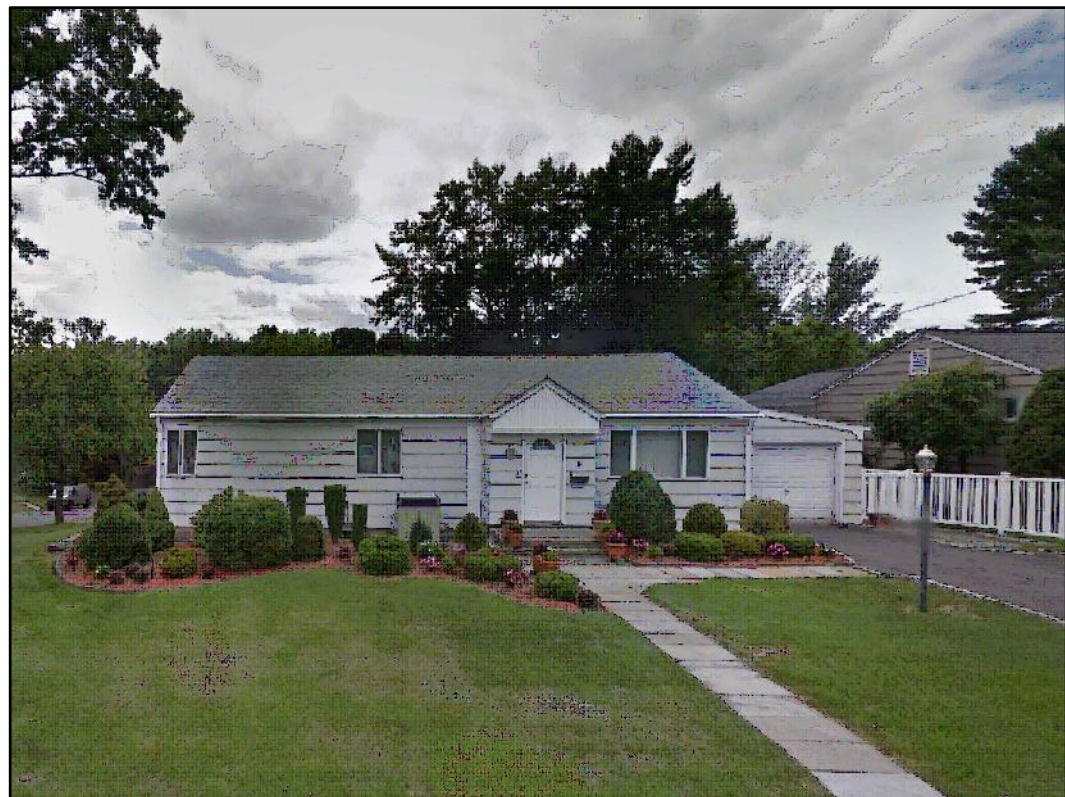
LOCATION
GOOGLE MAPS



SATELLITE VIEW
GOOGLE EARTH



TAX MAP AND TOPO
WESTCHESTER COUNTY GIS



FRONT VIEW
GOOGLE STREET VIEW

1.0 GENERAL REQUIREMENTS:

1.1 PROJECT SCOPE:

REPLACE EXISTING RAIL ROAD TIE RETAINING WALL WITH NEW SRW (SEGMENTAL RETAINING WALL).

1.2 DESIGN INTENT:

THE INVOLVEMENT OF OLIVER ENGINEERING IN THIS PROJECT IS: PROVIDE DESIGN AND DRAWINGS.

IT IS THE INTENT OF THESE DRAWINGS TO CALL FOR COMPLETE AND FINISHED WORK, IN COMPLIANCE WITH THE NOTED CODES, AND TESTED AND GUARANTEED AND READY FOR OPERATION.

THE ENGINEER HAS NOT BEEN ENGAGED TO SUPERVISE ANY WORK AND DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

1.3 EXISTING CONSTRUCTION TYPE:

THE EXISTING BUILDING, PER THE BUILDING CODE OF NEW YORK STATE, TABLE 601 IS CONSTRUCTION TYPE VB - CONSTRUCTION WHERE THE PRIMARY ELEMENTS ARE NOT REQUIRED TO BE FIRE RATED.

1.4 CLASSIFICATION OF PROPOSED WORK:

THE PROPOSED WORK IS OUTSIDE OF THE EXISTING BUILDING ENVELOPE; THE CODES REFERENCED BELOW APPLY TO ALL PROPOSED WORK.

1.5 ZONING, OCCUPANCY AND USE:

OUTSIDE:
YEAR BUILT: 1989 (PER ZILLLOW)
ZONING: R1-7.5 RESIDENTIAL ONE FAMILY
OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-3
EXISTING USE: SINGLE FAMILY
PROPOSED USE: SINGLE FAMILY (NO CHANGE)

* WHERE THE OCCUPANTS ARE PRIMARILY PERMANENT IN NATURE AND NOT CLASSIFIED AS OCCUPANCY GROUP R-1, R-2, R-4 OR I, INCLUDING BUILDINGS THAT DO NOT CONTAIN MORE THAN TWO DWELLING UNITS.

1.6 COMPLIANCE:

- ALL WORK SHALL BE IN COMPLIANCE WITH THE FOLLOWINGS CODES:
- GENERAL: 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS).
 - EXISTING: EXISTING BUILDING CODE OF NEW YORK STATE (INTERNATIONAL EXISTING BUILDING CODE 2018 WITH AMENDMENTS).
 - ENERGY: NOT APPLICABLE TO THESE DRAWINGS.
 - PLUMBING: NOT APPLICABLE TO THESE DRAWINGS.
 - ELECTRICAL: NOT APPLICABLE TO THESE DRAWINGS.
 - DRAINAGE: NOT APPLICABLE TO THESE DRAWINGS.
 - MAINTENANCE: NOT APPLICABLE TO THESE DRAWINGS.
 - MUNICIPAL: TITLE IX, ZONING, PLANNING, BUILDINGS AND STRUCTURES OF THE CODE OF THE CITY OF WHITE PLAINS.
 - OTHER: ALL REFERENCED CODES, OTHER CODES AND REGULATIONS, FEDERAL, STATE AND LOCAL, THAT MAY APPLY.

1.7 AUTHORITY HAVING JURISDICTION:

THE AUTHORITY HAVING JURISDICTION, AS DEFINED IN SECTION 103.1 OF THE RESIDENTIAL CODE, AND WHICH SHALL PROVIDE FOR ADMINISTRATION AND ENFORCEMENT OF THE UNIFORM CODE AND ENERGY CODE BY LOCAL LAW, ORDINANCE, OTHER APPROPRIATE REGULATION, OR COMBINATION THEREOF, IS THE CITY OF WHITE PLAINS.

THE DULY APPOINTED BUILDING OFFICIAL OF THE CITY OF WHITE PLAINS IS AUTHORIZED TO ENFORCE THE PROVISIONS OF THE CODE.

THE BUILDING OFFICIAL MAY ADOPT POLICIES AND PROCEDURES IN ORDER TO CLARIFY THE APPLICATION OF THE PROVISIONS OF THE CODE. SUCH POLICIES AND PROCEDURES SHALL BE IN COMPLIANCE WITH THE INTENT AND PURPOSE OF THE CODE.

2.0 DESIGN CRITERIA:

2.1 DEAD LOAD:

PER 301.4, THE ACTUAL WEIGHTS OF MATERIALS AND CONSTRUCTION SHALL BE USED FOR DETERMINING DEAD LOAD; THE FOLLOWING APPROXIMATIONS (IN PSF) ARE USED FOR THIS PROJECT:

USE	PSF
FRAMED WALL ASSEMBLY:	15
ROOF / CEILING ASSEMBLY:	20
FLOOR ASSEMBLY:	15

ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.2 LIVE LOAD:

UNIFORMLY DISTRIBUTED LIVE LOADS SHALL BE PER TABLE R301.5 AND AS FOLLOWS* (IN PSF):

USE	PSF	OTHER
UNINHABITABLE SPACE WITHOUT STORAGE:	10	(42" H, 24" W)
UNINHABITABLE ATTICS W/ LIMITED STORAGE:	20	
HABITABLE ATTICS & ATTICS W/ FIXED STAIRS:	30	
EXTERIOR BALCONIES & DECKS:	40	
FIRE ESCAPES:	40	
GUARDS & HANDRAILS:	200	(CONCENTRATED)
GUARD IN-FILL COMPONENTS:	50	(HORIZONTAL)
PASSENGER VEHICLE GARAGE:	50	(82,000LB/205S)
ROOMS OTHER THAN SLEEPING ROOMS:	40	
SLEEPING ROOMS:	40	
STAIRS:	40	(8,300LB/4SI)
ROOF, PER 301.6 (INC. SNOW):	30	

* SOME OF THE LOADS LISTED ABOVE MAY BE HIGHER THAN THOSE REQUIRED PER CODE. ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.3 WIND LOAD:

WIND LOADS SHALL BE BASED ON THE ULTIMATE DESIGN WIND SPEED LISTED IN TABLE 301.2(1) AND ADJUSTED FOR HEIGHT AND EXPOSURE):
120 MPH: WIND LOADS WILL BE ALLOWED FOR IN THE DESIGN LOAD PERFORMANCE REQUIREMENTS FOR WALL COVERINGS, ROOF COVERINGS, WINDOWS, SKYLIGHTS AND DOORS.
COMPONENT AND CLADDING LOADS WILL BE PER TABLE R301.2(2)

2.4 ALLOWABLE LIVE LOAD DEFLECTION:

THE ALLOWABLE LIVE LOAD DEFLECTION OF ALL STRUCTURAL MEMBERS, SHALL BE PER TABLE R301.7 AND AS FOLLOWS:

STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
RAFTERS HAVING SLOPES GRATER THAN 3:12 WHIT FINISHED	L/180
CEILING NOT ATTACHED TO RAFTERS	H/180
INTERIOR WALLS AND PARTITIONS	L/360
FLOORS	L/360
CEILING WITH BRITTLE FINISHES (INCLUDING PLASTER AND STUCCO)	L/240
CEILING WITH FLEXIBLE FINISHES (INCLUDING GYPSUM BOARD)	L/240
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS-WIND LOAD WITH PLASTER OR STUCCO FINISHES	L/360
EXTERIOR WALLS-WIND LOAD WITH OTHER BRITTLE FINISHES	H/240
EXTERIOR WALLS-WIND LOADS WITH FLEXIBLE FINISHES	H/120
LINTELS SUPPORTING MASONRY VENEER WALLS	L/600

2.5 CLIMATIC AND GEOGRAPHIC CRITERIA:

CLIMATIC AND DESIGN CRITERIA FOR THE CITY OF WHITE PLAINS ARE PER TABLE R301.2(1) BELOW:

PER 2020 RESIDENTIAL CODE OF NEW YORK STATE, TABLE 301.2(1)						(WIND) EXPOSURE CATEGORY: B				CLIMATE ZONE: 4A		
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLMT. REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX
	WIND SPEED MPH	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WINDBORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE				
30 PSF	125	NO	NO	NO	B	SEVERE	3'-6"	MOD/HEAVY	12°	YES	F.I.R.M (SEPT 2007)	1,500

3.0 CONTRACTOR'S RESPONSIBILITIES:

THE CONTRACTOR SHALL:

- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR A COMPLETE AND FINISHED JOB.
- PROVIDE ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.
- OBTAIN AND PAY FOR ALL REQUIRED PERMITS - UNLESS OTHERWISE STIPULATED.
- PRIOR TO THE SUBMISSION OF ANY BID, AND BEFORE PROCEEDING WITH ANY WORK, VISIT THE SITE AND VERIFY AND FAMILIARIZE HIMSELF WITH ALL SITE DIMENSIONS AND CONDITIONS, WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION, METHODS AND ROUTES OF ACCESS, AND THE EXISTENCE AND EXTENT OF ANY OTHER RESTRICTIONS, AND BE RESPONSIBLE FOR THE VERIFICATION OF ALL SUCH CONDITIONS AND DIMENSIONS WHICH PERTAIN TO THE PROJECT.
- BRING ALL DISCREPANCIES IN CONDITIONS AND DIMENSIONS, BETWEEN THE APPROVED DRAWINGS AND ACTUAL FIELD CONDITIONS, TO THE IMMEDIATE ATTENTION OF THE OWNER, AND RECEIVE DIRECTION IN WRITING, BEFORE PROCEEDING WITH THE AFFECTED WORK.
- VERIFY THE AVAILABILITY, LOCATION LAYOUT AND CONDITION OF UTILITIES, INCLUDING SEWER, WATER, GAS AND ELECTRIC LINES, PRIOR TO THE SUBMISSION OF ANY BID.
- HAVE CONTROL OVER AND SUPERVISE AND DIRECT THE WORK, INCLUDING THAT OF ITS SUBCONTRACTORS, AND BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR JOBSITE SAFETY, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, VERIFY THE CONDITION OF ALL ADJOINING STRUCTURES WHICH MAY BE AFFECTED, AND PROVIDE ADEQUATE PROTECTION TO ANY STRUCTURE THAT MIGHT BE OTHERWISE AFFECTED.
- IN THE EVENT THAT DAMAGE IS CAUSED TO ANY STRUCTURE, FINISH, OR OTHER ELEMENT, RESTORE SUCH ELEMENTS TO THEIR ORIGINAL CONDITION.
- IF APPLICABLE, PROVIDE WEATHER PROTECTION, IN AN EFFECTIVE AND TIMELY MANNER, TO PROTECT THE PREMISES, PERSONNEL, MATERIALS AND INSTALLED WORK.
- BE A HOME IMPROVEMENT CONTRACTOR WITH A CURRENT LICENSE ISSUED BY THE WESTCHESTER COUNTY DEPARTMENT OF CONSUMER AFFAIRS.
- BE CERTIFIED AS A LEAD SAFE FIRM BY THE EPA PER 40 CFR 745.226.
- CARRY LIABILITY INSURANCE TO THE LIMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION AND ISSUE CERTIFICATE(S) OF INSURANCE AS REQUIRED BY THE HOMEOWNER AND/OR THAT AUTHORITY.
- CARRY WORKMAN'S COMPENSATION AND DISABILITY INSURANCE AS REQUIRED THE LAW AND ISSUE CERTIFICATE(S) AS REQUIRED BY THE HOMEOWNER AND/OR THE AUTHORITY HAVING JURISDICTION.

4.0 BUILDING PERMIT:

NO PERSON OR ENTITY SHALL COMMENCE, PERFORM, OR CONTINUE ANY WORK THAT MUST CONFORM WITH THE UNIFORM CODE AND/OR ENERGY CODE UNLESS:

- SUCH PERSON OR ENTITY HAS APPLIED TO THE CITY OF WHITE PLAINS FOR A BUILDING PERMIT.
- THE CITY OF WHITE PLAINS HAS ISSUED A BUILDING PERMIT AUTHORIZING SUCH WORK.
- SUCH BUILDING PERMIT HAS NOT BEEN REVOKED OR SUSPENDED, AND
- SUCH BUILDING PERMIT HAS NOT EXPIRED.

THE BUILDING PERMIT IS REQUIRED TO BE VISIBLY DISPLAYED AT THE WORKSITE AND TO REMAIN VISIBLE UNTIL THE PROJECT, AND ALL REQUIRED INSPECTIONS, HAVE BEEN COMPLETED.

THE APPROVED DRAWINGS MUST BE KEPT AT THE WORKSITE AND BE AVAILABLE FOR REVIEW AT THE TIME OF ANY REQUIRED INSPECTIONS.

5.0 CONSTRUCTION INSPECTIONS:

IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING PERMIT, OR THEIR DULY AUTHORIZED AGENT, TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION:

BUILDING DEPARTMENT OF THE CITY OF WHITE PLAINS.

70 CHURCH STREET
WHITE PLAINS, NY 10601
TEL: (914) 422-1269
EMAIL: building@whiteplainsny.gov
WEB SITE: www.cityofwhiteplains.com/86/building

ANY PERSON OR ENTITY PERFORMING WORK FOR WHICH A BUILDING PERMIT HAS BEEN ISSUED SHALL KEEP SUCH WORK ACCESSIBLE AND EXPOSED UNTIL THE WORK HAS BEEN INSPECTED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION, OR ITS AUTHORIZED AGENT, AT EACH ELEMENT OF THE CONSTRUCTION PROCESS THAT IS APPLICABLE TO THE WORK.

BUILDING PERMIT HOLDERS SHALL BE REQUIRED TO NOTIFY THE BUILDING OFFICIAL OF THE CITY OF WHITE PLAINS WHEN CONSTRUCTION WORK IS READY FOR INSPECTION.

THE BUILDING OFFICIAL SHALL MAKE THE REQUIRED INSPECTIONS OR SHALL HAVE THE AUTHORITY TO ACCEPT WRITTEN REPORTS OF INSPECTION BY APPROVED AGENCIES OR INDIVIDUALS.

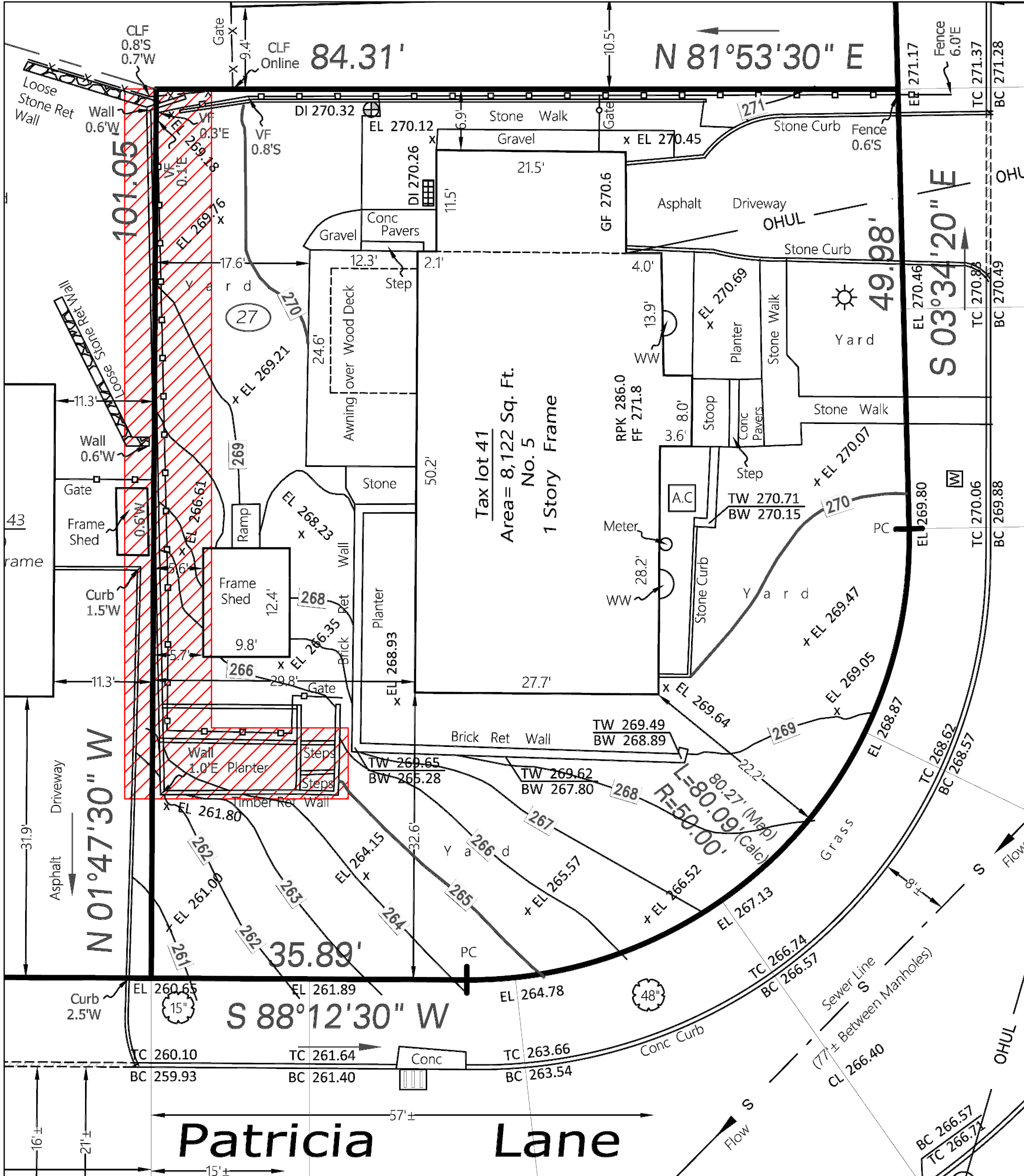
REQUIRED INSPECTIONS FOR THIS PROJECT MAY INCLUDE THE FOLLOWING, AS APPLICABLE, OR AS SPECIFIED IN THE CODE ENFORCEMENT PROGRAM OF THE CITY OF WHITE PLAINS:

- WORKSITE PRIOR TO THE ISSUANCE OF A PERMIT
 - PLUMBING*
 - ELECTRICAL*
 - MECHANICAL
 - FRAMING (SUBSEQUENT TO THE INSPECTION & APPROVAL OF PLUMBING, ELECTRICAL & MECHANICAL)
 - FIRE RESISTANT CONSTRUCTION
 - FIRE RESISTANT PENETRATIONS
 - ENERGY CODE COMPLIANCE
 - A FINAL INSPECTION AFTER ALL WORK AUTHORIZED BY THE BUILDING PERMIT HAS BEEN COMPLETED
 - ANY OTHER INSPECTIONS AS REQUIRED BY THE CITY OF WHITE PLAINS.
- ALL OF THE ABOVE INSPECTION MAY NOT BE REQUIRED FOR THIS, OR ANY GIVEN, PROJECT. A SCHEDULE OF REQUIRED INSPECTIONS IS AVAILABLE FROM THE BUILDING DEPARTMENT OF THE CITY OF WHITE PLAINS.
- *THE WORK APPLICABLE TO SOME OF THE ABOVE INSPECTIONS (FOR INSTANCE PLUMBING AND ELECTRICAL) SHALL BE COMPLETED UNDER A SEPARATE PERMIT, FILED BY THE RELEVANT LICENSED CONTRACTORS.

AFTER INSPECTION, THE WORK OR A PORTION THEREOF SHALL BE NOTED AS SATISFACTORY AS COMPLETED, OR THE BUILDING PERMIT HOLDER SHALL BE NOTIFIED AS TO THE MANNER IN WHICH THE WORK FAILS TO COMPLY WITH APPLICABLE CODES, INCLUDING A CITATION OF THE SPECIFIC CODE PROVISION OR PROVISIONS THAT HAVE NOT BEEN MET.

IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO ASCERTAIN THE RESULTS OF REQUIRED INSPECTIONS.

CONSTRUCTION WORK NOT IN COMPLIANCE WITH APPLICABLE CODES SHALL BE REQUIRED TO REMAIN EXPOSED UNTIL IT HAS BEEN BROUGHT INTO COMPLIANCE WITH THE CODES, RE-INSPECTED, AND FOUND SATISFACTORY AS COMPLETED.



WORK AREA LOCATION
SURVEY INFORMATION FROM TOPOGRAPHIC SURVEY BY ALLI SURVEYING P.C. SEPTEMBER, 2025

DEMOLITION:

THE CONTRACTOR SHALL:
DEMOLISH AND REMOVE ALL ELEMENTS NOTED IN THE DRAWINGS FOR DEMOLITION, AND AS REQUIRED FOR THE COMPLETION OF ALL WORK SHOWN ON THESE DRAWINGS.

ALLOW NO DEBRIS TO ACCUMULATE: HAUL AWAY FROM SITE ALL DEBRIS AT CONTRACTOR'S EXPENSE; REMOVE ALL DEBRIS ON A REGULAR BASIS AND MAINTAIN JOBSITE IN A CLEAN AND TIDY CONDITION.

FULLY PROTECT ALL STRUCTURES, BUILDING ELEMENTS, EQUIPMENT, APPLIANCES AND FINISHES THAT ARE TO REMAIN FROM DAMAGE CAUSED BY ANY OF THE CONTRACTORS ACTIVITIES.

PROTECT ALL ADJACENT AREAS, AND ALL NEIGHBORING PROPERTY; FROM DAMAGE, INJURY AND DISCOMFORT CAUSED BY DUST.

PROTECT ALL PUBLIC PROPERTIES AND PREMISES FROM DAMAGE AND ALL ACCUMULATION OF DEBRIS, DUST OR RUBBISH IN ANY PUBLIC AREA.

ASSUME FULL RESPONSIBILITY FOR ANY DAMAGE CAUSED TO EXISTING ELEMENTS AND REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.

CONDUCT ALL DEMOLITION OPERATIONS IN SUCH A MANNER TO PREVENT UNAUTHORIZED ENTRY OF ANY PERSONS AT ANY TIME POST APPROVAL OF SIGNAGE AS REQUIRED.

LOCATE ALL UTILITY AND DRAINAGE LINES PRIOR TO COMMENCEMENT OF DEMOLITION AND PROTECT ALL ACTIVE LINES AS REQUIRED. NOTIFY CLEARLY ANY WORK THAT MAY RESULT IN THE INTERRUPTION OF ANY SERVICES WITHIN THE AREA OF WORK OR IN AN ADJACENT SPACE OR PROPERTY AND COORDINATE SUCH INTERRUPTIONS WITH ALL INVOLVED PARTIES.

NOTIFY THE OWNER, UTILITY COMPANIES, HOOD, PAR, JEN, ALARM COMPANIES, ETC. OF ANY WORK AFFECTING THEIR SYSTEMS AS REQUIRED BY ALL APPLICABLE CODES, RULES, AND REGULATIONS.

VINCENT COAKLEY, P.E.
(STAMP AFFIXED AND SIGNED).

STATEMENT OF DESIGN PROFESSIONAL:

THESE PLANS HAVE BEEN PREPARED IN CONFORMANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS).

VINCENT COAKLEY, P.E.
(STAMP AFFIXED AND SIGNED).

LIST OF DRAWINGS			
SHEET	DRAWING NAME	DATE	REVISION
C-01	COVER SHEET	08.06.2025	11.15.2025
S-01	SITE PLAN	08.06.2025	11.15.2025
S-02	LAYOUT	08.06.2025	11.15.2025
S-03	SECTIONS AND DETAILS	08.06.2025	11.15.2025

PROPERTY ADDRESS:

WHITE PLAINS, NY 10605
(CITY OF WHITE PLAINS
BUILDING DEPARTMENT)

S-B-L:

CLIENT:

GERALD ***

TEL:

EMAIL:

DATE:

08.06.2025

10.20.2025

11.15.2025

ISSUE:

PRELIMINARY

FOR REVIEW

FOR PERMIT

PROJECT NAME:

REPLACE RETAINING WALL

DRAWING NAME:

COVER SHEET

DRAWING NUMBER:

C-01

DATE:

08.06.2025

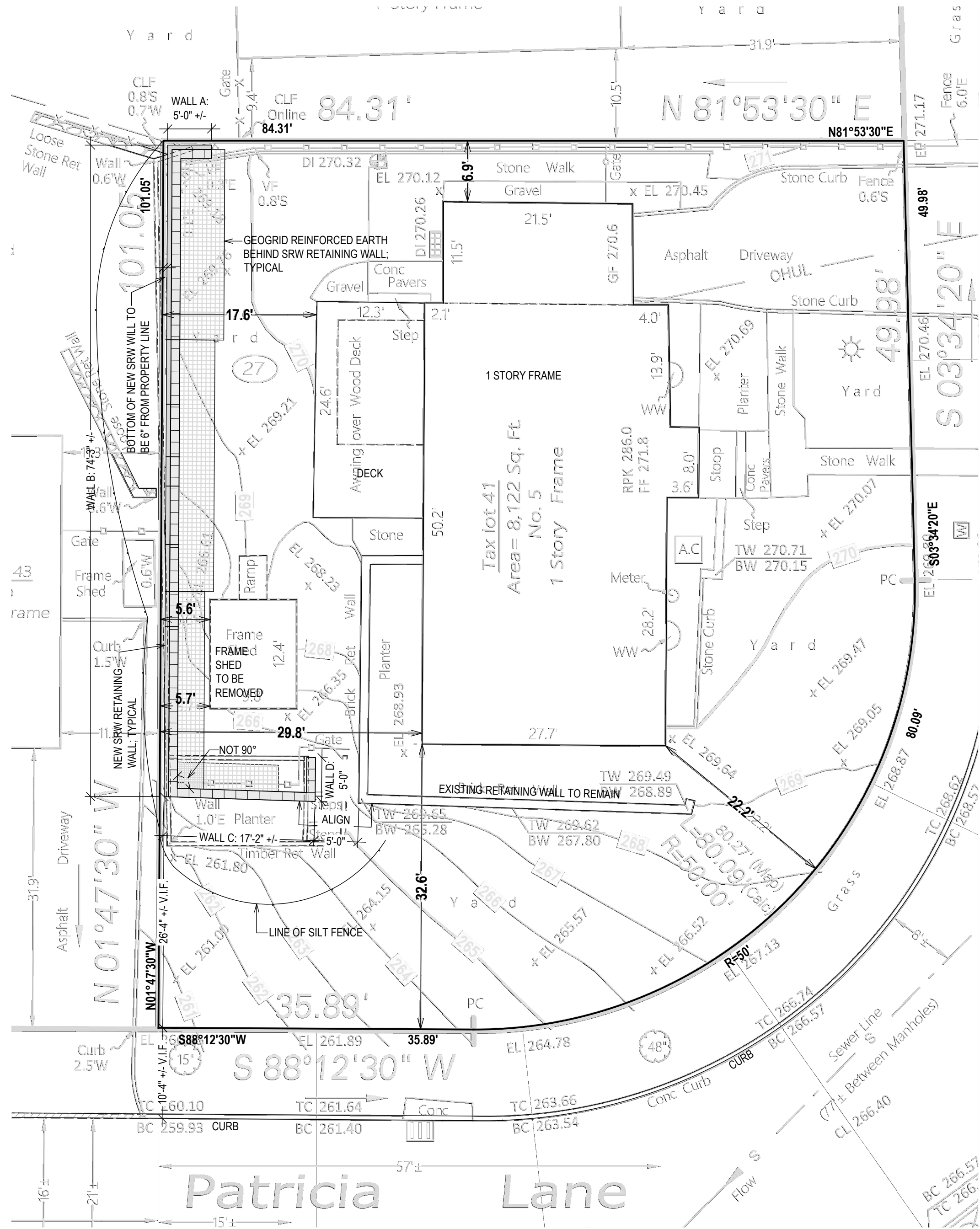
SCALE:

AS NOTED

NOTE:

THIS DRAWING IS VALID FOR CONSTRUCTION IF (AND ONLY IF) A PERMIT IS ISSUED, BASED ON THIS DRAWING, BY THE CITY OF WHITE PLAINS.

Oliver Engineering, P.C.
Design - Permit Applications - Legalizations
Code Compliance - Project Supervision
188 North Main Street | Port Chester, NY 10573
(914) 774-9878 | www.proeng.nyc | vc@proeng.nyc

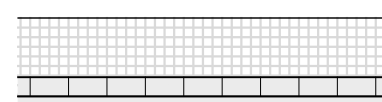


SITE PLAN
BACKGROUND INFORMATION FROM TOPOGRAPHIC SURVEY BY ALLI SURVEYING P.C. SEPTEMBER, 2025
1" = 10'

SCOPE:
REPLACE EXISTING RAILROAD TIE RETAINING WALLS WITH SEGMENTAL RETAINING WALLS (SRW);
LENGTH OF WALL AND OFFSET FROM PROPERTY LINE AS INDICATED;
SEE SECTIONS

NOTES:
PROPERTY LINE SHALL BE STAKED BY A LICENSED SURVEY PRIOR TO CONSTRUCTION.
NO WORK SHALL BE PERFORMED ON ANY ADJACENT PROPERTY WITHOUT FIRST OBTAINING
PERMISSION OF THE OWNER OF SUCH PROPERTY, IN WRITING.
REINSTATE ALL DISTURBED AREAS TO EXISTING CONDITION.

EXISTING RAILROAD TIE
RETAINING WALL TO BE REMOVED



NEW SEGMENTAL RETAINING WALL WITH
GEOGRID; SEE ELEVATIONS AND SECTIONS

SITE WORK

EXCAVATION SAFETY:

THE CONTRACTOR SHALL COMPLY WITH THE TRENCHING AND EXCAVATION REQUIREMENTS OF 29 CFR 1926.651 AND 1926.652 OR COMPARABLE OSHA-APPROVED STATE PLAN REQUIREMENTS.
TRENCHES 5 FEET DEEP OR GREATER REQUIRE A PROTECTIVE SYSTEM UNLESS THE EXCAVATION IS MADE ENTIRELY IN STABLE ROCK.

THE CONTRACTOR SHALL HAVE A COMPETENT PERSON INSPECT EXCAVATIONS DAILY AND AS CONDITIONS CHANGE TO ENSURE ELIMINATION OF EXCAVATION HAZARDS.

A COMPETENT PERSON IS AN INDIVIDUAL WHO IS CAPABLE OF IDENTIFYING EXISTING AND PREDICTABLE HAZARDS OR WORKING CONDITIONS THAT ARE HAZARDOUS, UNSANITARY, OR DANGEROUS TO WORKERS, SOIL TYPES AND PROTECTIVE SYSTEMS REQUIRED, AND WHO IS AUTHORIZED TO TAKE PROMPT CORRECTIVE MEASURES TO ELIMINATE THESE HAZARDS AND CONDITIONS.

EXCAVATION - LOCATING UTILITIES - CALL 811:

NEW YORK STATE LAW (16 NYCRR PART 753) REQUIRES ALL EXCAVATORS TO PLACE A LOCATION REQUEST WITH DIG SAFELY NEW YORK AT LEAST TWO (2) FULL WORKING DAYS, BUT NO MORE THAN 10 WORKING DAYS BEFORE BEGINNING AN EXCAVATION PROJECT IN ORDER TO ENSURE ALL UNDERGROUND UTILITY LINES ARE PROPERLY MARKED BY THEIR OWNERS.

A LOCATION REQUEST MAY BE PLACED, AND THE PROCESS OF MARKING UNDERGROUND UTILITIES MAY BE TRACKED, BY USING THE ONLINE LOCATION REQUEST PROGRAM, EXACTIX. OR, THE EXCAVATOR MAY CALL 811 TO PLACE THE LOCATION REQUEST.

- NOTIFY: NOTIFY 811 ONLINE WITH EXACTIX OR BY CALLING 811.
- WAIT: AT LEAST TWO DAYS FOR UTILITIES TO RESPOND (NOT INC. THE DAY YOU CALL).
- CONFIRM: CHECK ALL UTILITIES HAVE RESPONDED.
- RESPECT: ADHERE TO UTILITY MARKS AND FLAGS.
- DIG W/CAUTION: DIG CAREFULLY AROUND BURIED UTILITIES.

NOTE:
THE CITY OF WHITE PLAINS MAY REQUIRE THE CONTRACTOR TO PROVIDE A "DIG SAFELY" CODE 753 CASE NUMBER.

EROSION CONTROL:

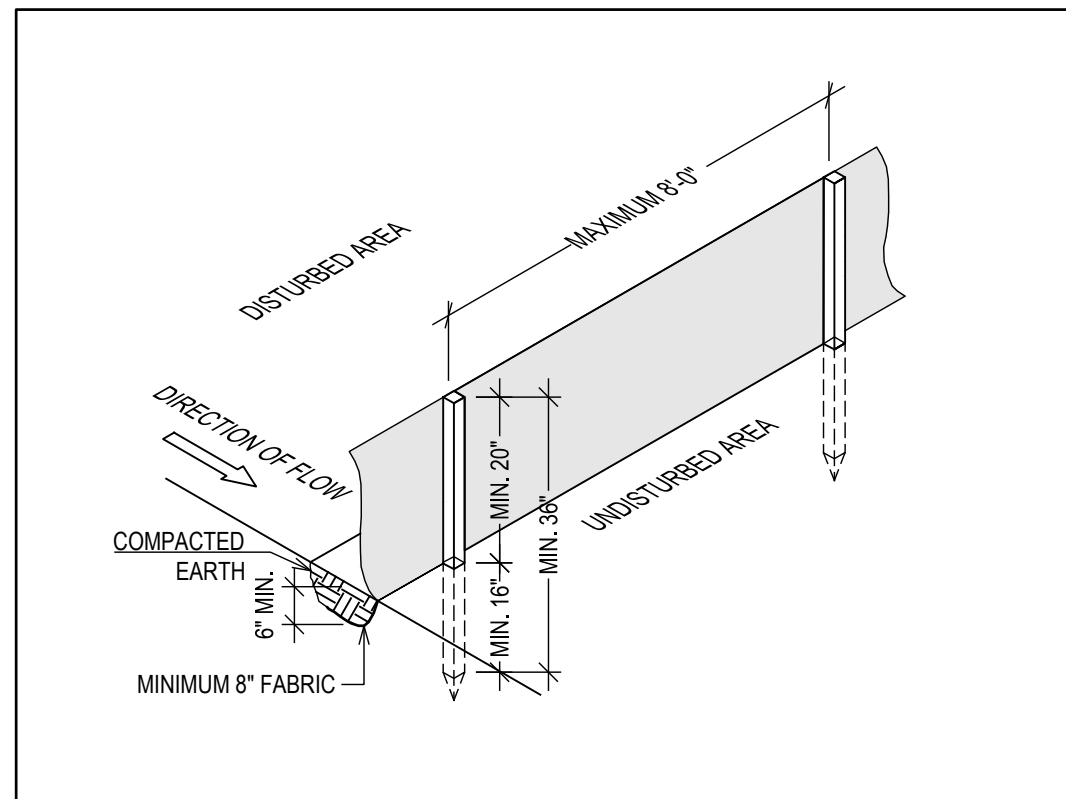
THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYS DEC) PROVIDES MINIMUM STANDARDS AND SPECIFICATIONS FOR THE CONTROL OF STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.
EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, WITH ALL RELEVANT REGULATIONS OF THE CITY OF WHITE PLAINS AND AS FOLLOWS:

THE SILT FENCE SHALL BE INSTALLED BEFORE UP-SLOPE GROUND COVER IS REMOVED.
FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE; A RUN OF SILT FENCE SHOULD FOLLOW THE CONTOUR AS CLOSELY AS POSSIBLE WITH THE ENDS TURNED UPSLOPE TO POND WATER BEHIND THE FENCE.

THE SILT FENCE FABRIC SHOULD BE BURIED AT LEAST 6" DEEP AND HAVE A TOTAL OF 8" (MINIMUM) FABRIC BELOW THE GROUND.

STAKES SHALL BE A MINIMUM OF 2X2 NOMINAL (1 1/2" X 1 1/2" ACTUAL) HARDWOOD AND OF SOUND QUALITY. THE STAKES SHALL BE PLACED ON THE DOWN-SLOPE SIDE OF THE GEOTEXTILE AND AT A MAXIMUM SPACING OF 8'-0" ON CENTER.

THE APPLICANT AND/OR CONTRACTOR SHALL ESTABLISH EROSION CONTROL AS NOTED IN THESE DRAWINGS AND SHALL MAINTAIN EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION UNTIL SUCH TIME THAT THE BUILDING INSPECTOR DEEMS THE LAND TO BE STABLE.



SEDIMENT FENCE DETAIL

NOT TO SCALE

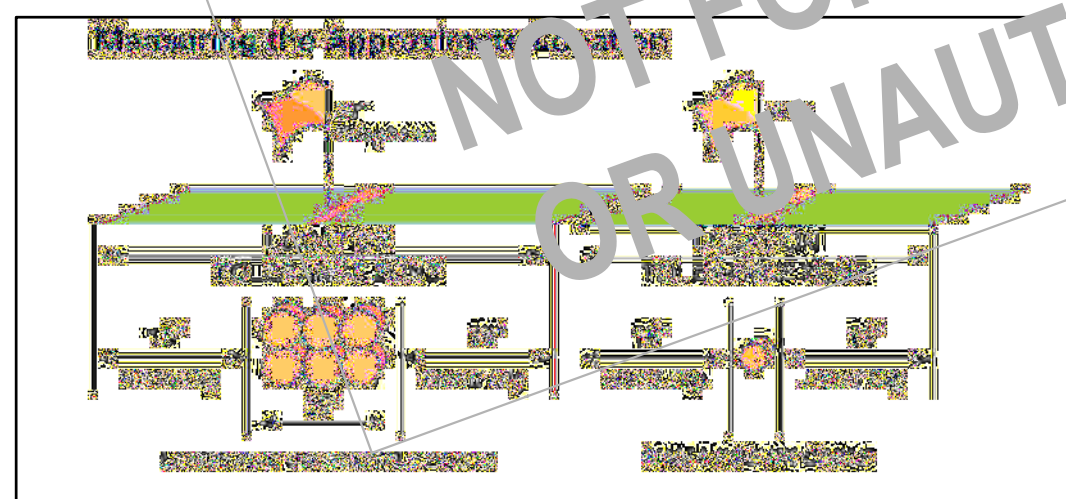
DRAINAGE

PER #401.3, SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD.

LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL NOT BE FEWER THAN 6" WITHIN THE FIRST 10'-0".

Color Code for Utility Locations

Gas/Oil/Petroleum	Sewer
Water	Unclaimed Water
Internet/Communication/TV	Proposed Excavation
Electric	



ZONING COMPLIANCE				
ADDRESS:	ZONE	R1-7.5	MUNICIPALITY:	CITY OF WHITE PLAINS
			TAX ID:	
	REQUIRED	EXISTING	PROPOSED	
MAXIMUM "BUILDING COVERAGE" (%)				
"ALL "BUILDINGS"		25	6.0	NO CHANGE
"MAIN BUILDING"		22	5.0	NO CHANGE
"ACCESSORY BUILDINGS"		7	0.6	NO CHANGE
MAXIMUM "FLOOR AREA RATIO"				
RESIDENTIAL	R 0.55			NO CHANGE
MINIMUM "LOT" DIMENSIONS				
"AREA" IN S.F. PER:				
"LOT"		7,500	8,122.0	NO CHANGE
"DWELLING UNITS"		7,500	1674 +/-	NO CHANGE
"FRONTAGE" FT.		75	49.98	NO CHANGE
"DEPTH" FT.		75	84.31	NO CHANGE
MINIMUM REQUIRED "YARD" DIMENSIONS (FT)				
"FRONT"		25	22.2	NO CHANGE
"ONE SIDE"		12	6.9	NO CHANGE
"TWO SIDES"		25	39.5 +/-	NO CHANGE
"REAR"		30	17.6	NO CHANGE
MAXIMUM "HEIGHT"				
"STORIES"		2-1/2	1.0	NO CHANGE
"FEET"		30		NO CHANGE
ACCESSORY "STRUCTURES"				
MAXIMUM "HEIGHT"		15		NO CHANGE
MINIMUM DISTANCES IN FT TO:				
"ANY OTHER "STRUCTURE" IF NOT ATTACHED TO IT"		10		NO CHANGE
"SIDE LOT LINE"		5	36.7 +/-	NO CHANGE
"REAR LOT LINE"		5	56	NO CHANGE

PROPERTY ADDRESS:

WHITE PLAINS, NY 10605
(CITY OF WHITE PLAINS
BUILDING DEPARTMENT)

S-B-L:

CLIENT:

GERALD ***

TEL:

EMAIL:

DATE:

08.06.2025

10.20.2025

11.15.2025

ISSUE:

PRELIMINARY

FOR REVIEW

FOR PERMIT

PROJECT NAME:

REPLACE RETAINING WALL

DRAWING NAME:

SITE PLAN

DRAWING NUMBER:

S-01

DATE:

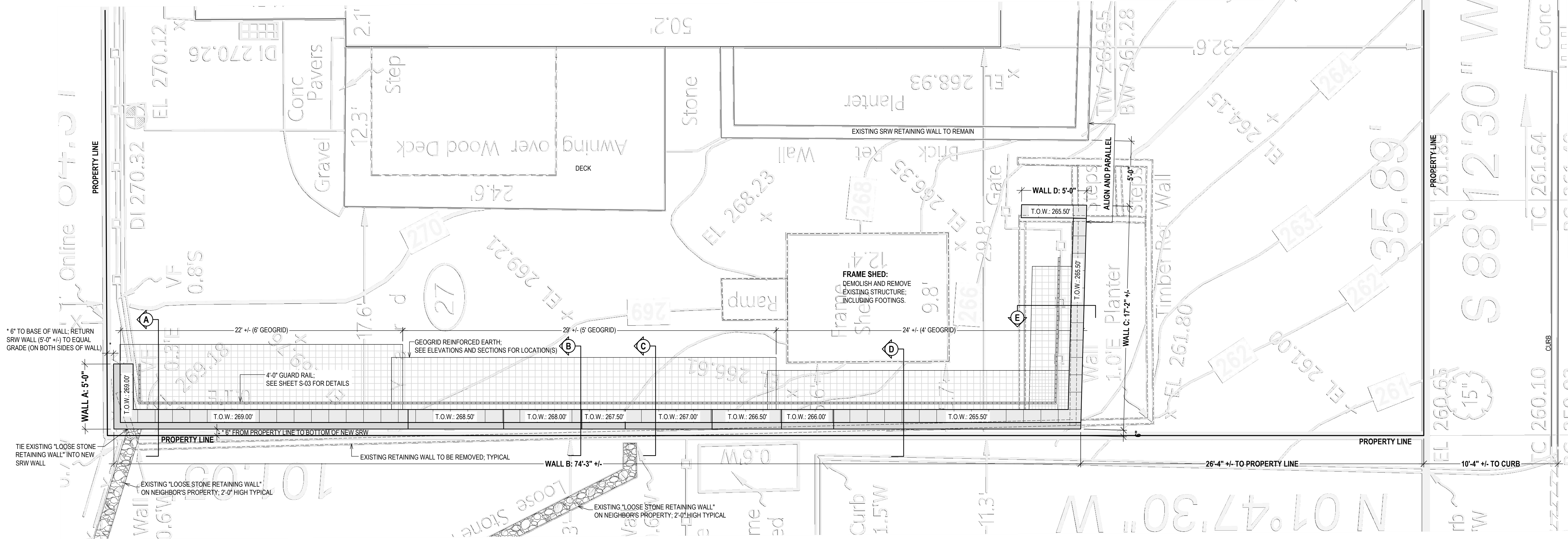
08.06.2025

SCALE:

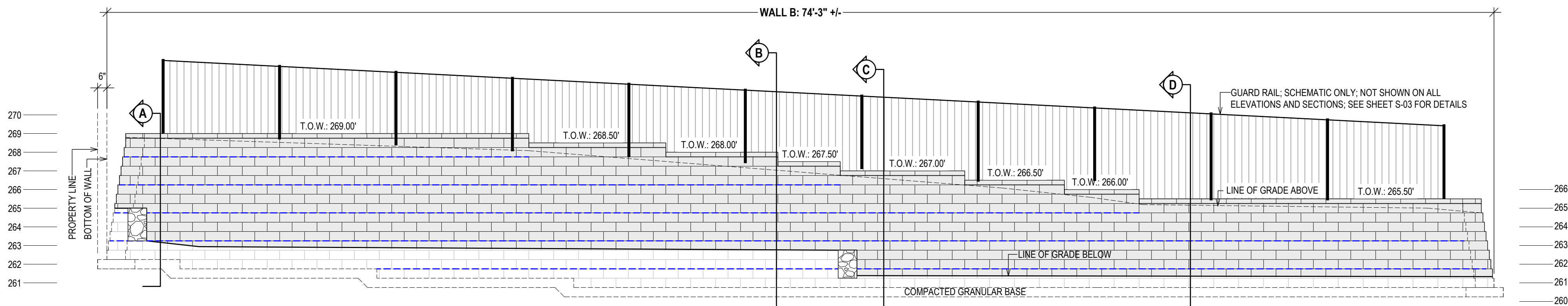
AS NOTED

NOTE:

THIS DRAWING IS VALID FOR
CONSTRUCTION IF (AND ONLY IF) A
PERMIT IS ISSUED, BASED ON THIS
DRAWING, BY THE CITY OF WHITE
PLAINS.



RETAINING WALL LAYOUT
BACKGROUND INFORMATION FROM TOPOGRAPHIC SURVEY BY ALLI SURVEYING P.C. SEPTEMBER, 2025
1/4" = 1'-0"

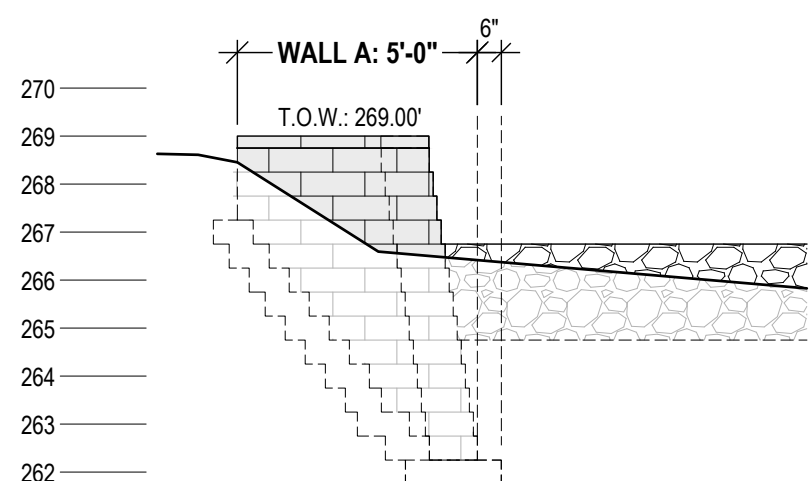


WALL B, ELEVATION
1/4" = 1'-0"

WALL "B" NOTE:
LOCATE BASE OF NEW RETAINING WALL @ 2'-6" BELOW TOP OF
EXISTING "LOOSE STONE RETAINING WALL" ALLOW FOR POSSIBLE
FUTURE REMOVAL OF "LOOSE STONE RETAINING WALL" BY NEIGHBOR

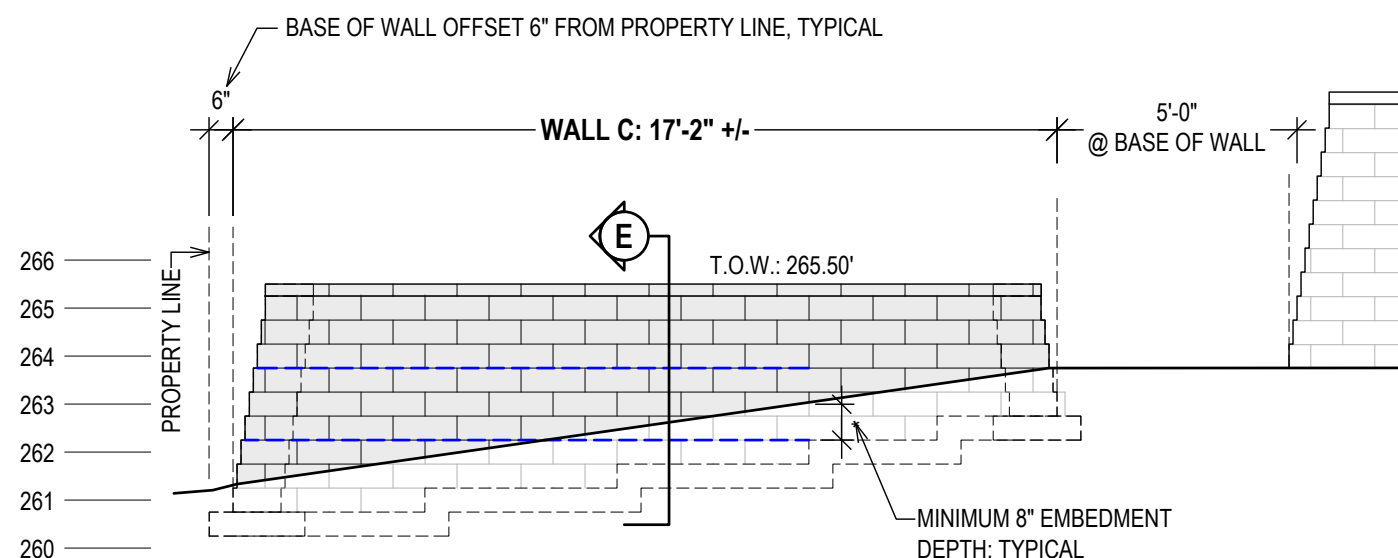
LEGEND

LINE OF SOIL BEHIND
LINE OF GRADE BELOW WALL
GEOGRID

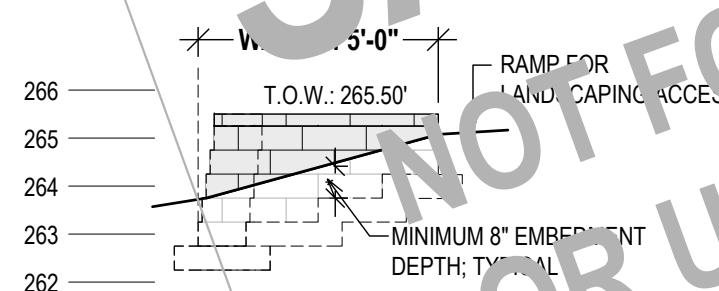


WALL A, ELEVATION
1/4" = 1'-0"

WALL ELEVATIONS:
ALL WALLS VIEWED FROM LOWER SIDE



WALL C, ELEVATION
1/4" = 1'-0"



WALL D, ELEVATION
1/4" = 1'-0"

SAMPLE ONLY
NOT FOR REPRODUCTION
OR UNAUTHORIZED USE

PROPERTY ADDRESS:

WHITE PLAINS, NY 10605
(CITY OF WHITE PLAINS
BUILDING DEPARTMENT)

S-B-L:

CLIENT:
GERALD ***

TEL: ***
EMAIL: ***

DATE: 08.06.2025
10.20.2025
11.15.2025
ISSUE: PRELIMINARY
FOR REVIEW
FOR PERMIT

PROJECT NAME:
REPLACE RETAINING WALL

DRAWING NAME:
LAYOUT

DRAWING NUMBER:
S-02

DATE:
08.06.2025

SCALE:
AS NOTED

NOTE:
THIS DRAWING IS VALID FOR
CONSTRUCTION IF (AND ONLY IF) A
PERMIT IS ISSUED, BASED ON THIS
DRAWING, BY THE CITY OF WHITE
PLAINS.



SECTION D
(2) 4'-0" GEOGRID LAYERS (SEE NOTE 5.)
 $\frac{1}{2}" = 1'-0"$



TYPICAL FENCE INSTALLATION (PLAN VIEW)
 $\frac{1}{2}" = 1'-0"$



DO NOT SCALE DRAWINGS | THIS DRAWING IS SCALED TO PRINT ON AN ARCH D (24" X 36") SHEET