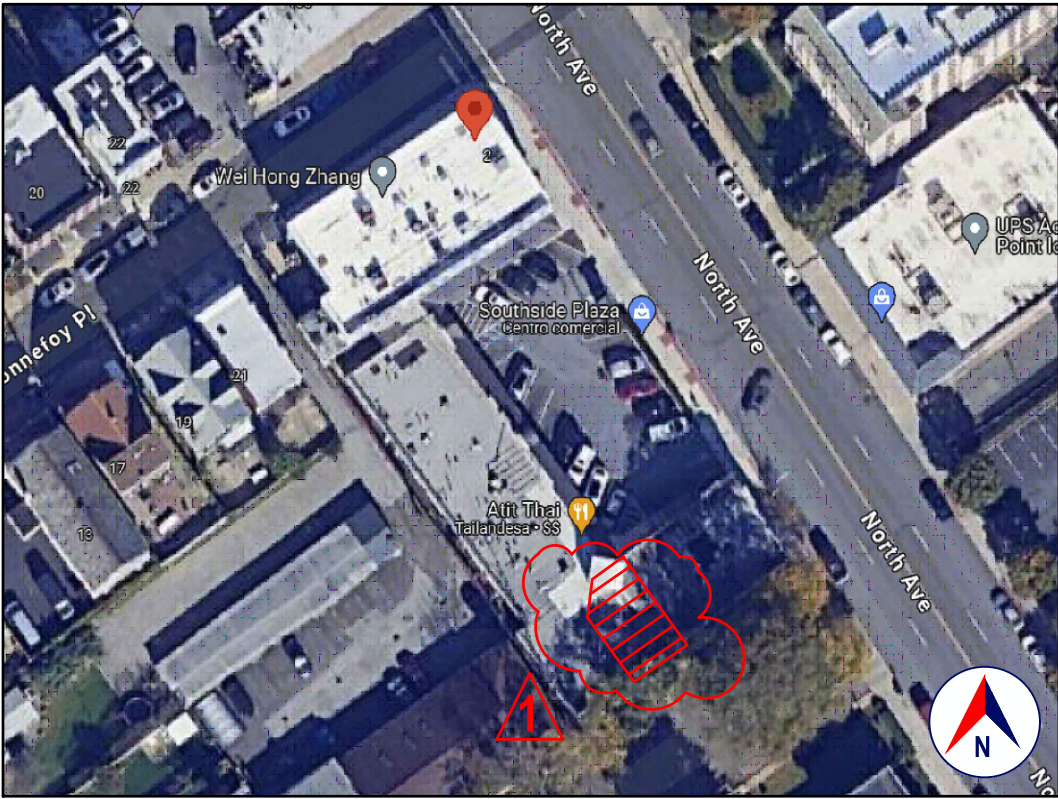


LOCATION  
GOOGLE MAPS

134 NORTH AVENUE, NEW ROCHELLE



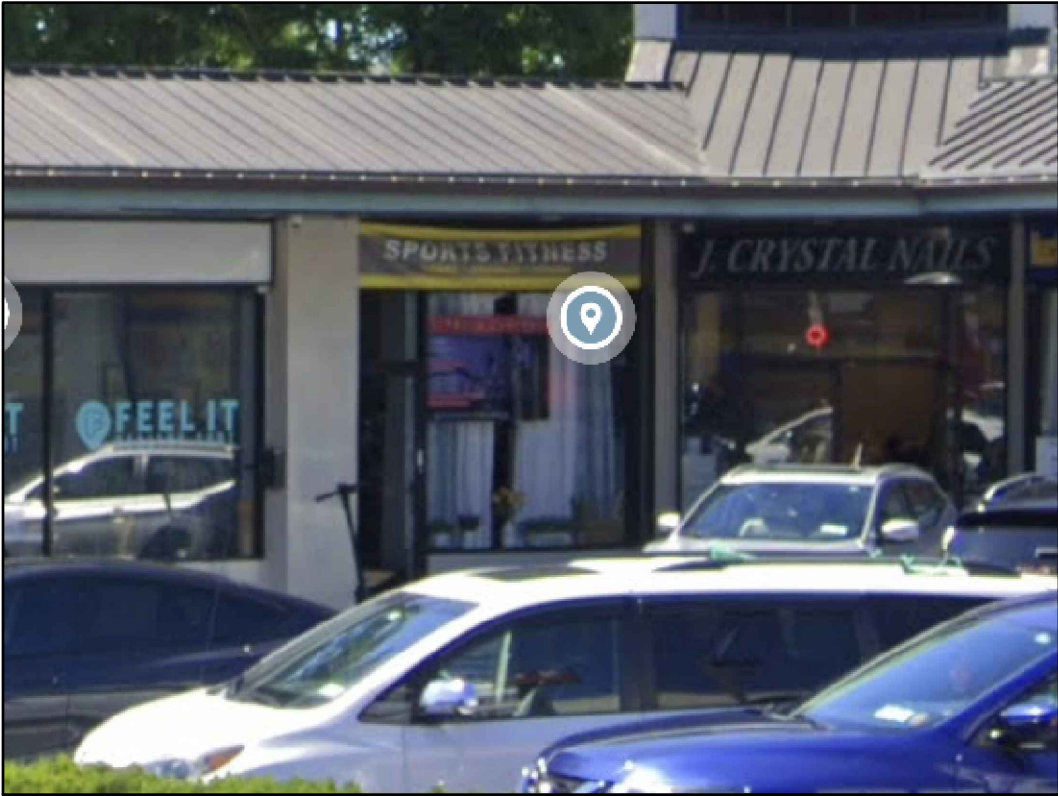
SATELLITE VIEW  
GOOGLE EARTH

134 NORTH AVENUE



TAX MAP AND TOPO (KEY PLAN)  
WESTCHESTER COUNTY GIS

S-B-L: 1-212-0151



FRONT VIEW  
GOOGLE STREET VIEW

134 NORTH AVENUE

## 1.0 GENERAL REQUIREMENTS:

### 1.1 PROJECT SCOPE:

CHANGE OF USE: REGISTER NEW BUSINESS.

### 1.2 DESIGN INTENT:

THESE (STRUCTURAL) DRAWINGS ADDRESS ONLY THE STRUCTURAL INTEGRITY, BASED ON THE STIPULATED LOADS, OF THE PROPOSED CONSTRUCTION.

THESE DRAWINGS SHOULD ONLY BE USED IN CONJUNCTION WITH THE ARCHITECTURAL AND OTHER DRAWINGS.

IT IS THE OVERALL INTENT OF (ALL OF THE DRAWINGS) TO CALL FOR COMPLETE AND FINISHED WORK, IN COMPLIANCE WITH THE NOTED CODES, AND TESTED AND GUARANTEED AND READY FOR OPERATION.

THE ENGINEER HAS NOT BEEN ENGAGED TO SUPERVISE ANY WORK AND DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

### 1.3 CLASSIFICATION OF PROPOSED WORK:

THIS IS A PROPOSED ALTERATION LEVEL 2, AS DEFINED IN THE EXISTING BUILDING CODE, SECTION 603.1 (MAY INCLUDE THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT), AND SHALL COMPLY WITH THE PROVISIONS OF CHAPTERS 7 AND 8 OF THAT CODE.

CONSTRUCTION TYPE: WOOD FRAMED AS DEFINED IN TABLE 601  
YEAR BUILT: UNKNOWN  
ZONING: NB  
OCCUPANCY CLASSIFICATION: BUSINESS GROUP B, NO CHANGE  
PROPOSED USE: PER 304 - TRAINING AND SKILL DEVELOPMENT NOT IN A SCHOOL (SPORT AND FITNESS CENTER) OR ACADEMIC PROGRAM...

### 1.4 COMPLIANCE:

ALL WORK SHALL BE IN COMPLIANCE WITH THE FOLLOWINGS CODES:

- GENERAL: 2020 BUILDING CODE OF NEW YORK STATE (INTERNATIONAL BUILDING CODE 2018 WITH AMENDMENTS).
- EXISTING: EXISTING BUILDING CODE OF NEW YORK STATE (INTERNATIONAL EXISTING BUILDING CODE 2018 WITH AMENDMENTS).
- PLUMBING: NOT APPLICABLE TO THESE DRAWINGS.
- ELECTRICAL: THE 2017 NATIONAL ELECTRICAL CODE (NFPA 70-2017) \*
- DRAINAGE: NOT APPLICABLE TO THESE DRAWINGS.
- MUNICIPAL: CHAPTER 111, BUILDING CONSTRUCTION, AND CHAPTER 147, FIRE PREVENTION OF THE CODE OF THE CITY OF NEW ROCHELLE.
- OTHER: ALL REFERENCED CODES, OTHER CODES AND REGULATIONS, FEDERAL, STATE AND LOCAL THAT MAY APPLY.

\* ELECTRICAL WORK, IF ANY, SHALL BE FILED UNDER SEPARATE PERMIT.

### 1.5 AUTHORITY HAVING JURISDICTION:

THE AUTHORITY HAVING JURISDICTION, AS DEFINED IN SECTION 103.1 OF THE RESIDENTIAL CODE, AND WHICH SHALL PROVIDE FOR ADMINISTRATION AND ENFORCEMENT OF THE UNIFORM CODE AND ENERGY CODE BY LOCAL LAW, ORDINANCE, OTHER APPROPRIATE REGULATION, OR COMBINATION THEREOF, IS THE CITY OF NEW ROCHELLE.

THE DULY APPOINTED BUILDING OFFICIAL OF THE CITY OF NEW ROCHELLE IS AUTHORIZED TO ENFORCE THE PROVISIONS OF THE CODE.

THE BUILDING OFFICIAL MAY ADOPT POLICIES AND PROCEDURES IN ORDER TO CLARIFY THE APPLICATION OF THE PROVISIONS OF THE CODE. SUCH POLICIES AND PROCEDURES SHALL BE IN COMPLIANCE WITH THE INTENT AND PURPOSE OF THE CODE.

## 2.0 CONTRACTOR'S RESPONSIBILITIES:

THE CONTRACTOR SHALL:

- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR A COMPLETE AND FINISHED JOB.
- PROVIDE ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.
- OBTAIN AND PAY FOR ALL REQUIRED PERMITS - UNLESS OTHERWISE STIPULATED.
- PRIOR TO THE SUBMISSION OF ANY BID, AND BEFORE PROCEEDING WITH ANY WORK, VISIT THE SITE AND VERIFY AND FAMILIARIZE HIM/HERSELF WITH ALL SITE DIMENSIONS AND CONDITIONS, WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION, METHODS AND ROUTES OF ACCESS, AND THE EXISTENCE AND EXTENT OF ANY OTHER RESTRICTIONS, AND BE RESPONSIBLE FOR THE VERIFICATION OF ALL SUCH CONDITIONS AND DIMENSIONS WHICH PERTAIN TO THE PROJECT.
- BRING ALL DISCREPANCIES IN CONDITIONS AND DIMENSIONS, BETWEEN THE APPROVED DRAWINGS AND ACTUAL FIELD CONDITIONS, TO THE IMMEDIATE ATTENTION OF THE OWNER, AND RECEIVE DIRECTION IN WRITING, BEFORE PROCEEDING WITH THE AFFECTED WORK.
- VERIFY THE AVAILABILITY, LOCATION LAYOUT AND CONDITION OF UTILITIES, INCLUDING SEWER, WATER, GAS AND ELECTRIC LINES, PRIOR TO THE SUBMISSION OF ANY BID.
- HAVE CONTROL OVER AND SUPERVISE AND DIRECT THE WORK, INCLUDING THAT OF ITS SUBCONTRACTORS, AND BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR JOBSITE SAFETY, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, VERIFY THE CONDITION OF ALL ADJOINING STRUCTURES WHICH MAY BE AFFECTED, AND PROVIDE ADEQUATE PROTECTION TO ANY STRUCTURE THAT MIGHT BE OTHERWISE AFFECTED.
- IN THE EVENT THAT DAMAGE IS CAUSED TO ANY STRUCTURE, FINISH, OR OTHER ELEMENT, RESTORE SUCH ELEMENTS TO THEIR ORIGINAL CONDITION.
- IF APPLICABLE, PROVIDE WEATHER PROTECTION, IN AN EFFECTIVE AND TIMELY MANNER, TO PROTECT THE PREMISES, PERSONNEL, MATERIALS AND INSTALLED WORK.
- BE A HOME IMPROVEMENT CONTRACTOR WITH A CURRENT LICENSE ISSUED BY THE WESTCHESTER COUNTY DEPARTMENT OF CONSUMER AFFAIRS.
- BE CERTIFIED AS A LEAD SAFE FIRM BY THE EPA PER 40 CFR 745.226.
- CARRY LIABILITY INSURANCE TO THE LIMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION AND ISSUE CERTIFICATE(S) OF INSURANCE AS REQUIRED BY THE HOMEOWNER AND/OR THAT AUTHORITY.
- CARRY WORKMAN'S COMPENSATION AND DISABILITY INSURANCE AS REQUIRED THE LAW AND ISSUE CERTIFICATE(S) AS REQUIRED BY THE HOMEOWNER AND/OR THE AUTHORITY HAVING JURISDICTION.

## 3.0 BUILDING PERMIT:

NO PERSON OR ENTITY SHALL COMMENCE, PERFORM, OR CONTINUE ANY WORK THAT MUST CONFORM WITH THE UNIFORM CODE AND/OR ENERGY CODE UNLESS:

- SUCH PERSON OR ENTITY HAS APPLIED TO THE CITY OF NEW ROCHELLE FOR A BUILDING PERMIT,
- THE CITY OF NEW ROCHELLE HAS ISSUED A BUILDING PERMIT AUTHORIZING SUCH WORK,
- SUCH BUILDING PERMIT HAS NOT BEEN REVOKED OR SUSPENDED, AND
- SUCH BUILDING PERMIT HAS NOT EXPIRED.

THE BUILDING PERMIT IS REQUIRED TO BE VISIBLY DISPLAYED AT THE WORKSITE AND TO REMAIN VISIBLE UNTIL THE PROJECT, AND ALL REQUIRED INSPECTIONS, HAVE BEEN COMPLETED.

THE APPROVED DRAWINGS MUST BE KEPT AT THE WORKSITE AND BE AVAILABLE FOR REVIEW AT THE TIME OF ANY REQUIRED INSPECTIONS.

## 4.0 CONSTRUCTION INSPECTIONS:

IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING PERMIT, OR THEIR DULY AUTHORIZED AGENT, TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION:

BUILDINGS DEPARTMENT OF THE CITY OF NEW ROCHELLE.

515 NORTH AVENUE  
NEW ROCHELLE, NY 10801  
TEL: (914) 654-2035  
EMAIL: pvacca@newrochelleny.com  
WEB SITE: www.newrochelleny.com/233/buildings

ANY PERSON OR ENTITY PERFORMING WORK FOR WHICH A BUILDING PERMIT HAS BEEN ISSUED SHALL KEEP SUCH WORK ACCESSIBLE AND EXPOSED UNTIL THE WORK HAS BEEN INSPECTED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION, OR ITS AUTHORIZED AGENT, AT EACH ELEMENT OF THE CONSTRUCTION PROCESS THAT IS APPLICABLE TO THE WORK.

BUILDING PERMIT HOLDERS SHALL BE REQUIRED TO NOTIFY THE BUILDING OFFICIAL OF THE CITY OF NEW ROCHELLE WHEN CONSTRUCTION WORK IS READY FOR INSPECTION.

THE BUILDING OFFICIAL SHALL MAKE THE REQUIRED INSPECTIONS OR SHALL HAVE THE AUTHORITY TO ACCEPT WRITTEN REPORTS OF INSPECTION BY APPROVED AGENCIES OR INDIVIDUALS.

REQUIRED INSPECTIONS FOR THIS PROJECT MAY INCLUDE THE FOLLOWING, AS APPLICABLE, OR AS SPECIFIED IN THE CODE ENFORCEMENT PROGRAM OF THE CITY OF NEW ROCHELLE:

- WORKSITE PRIOR TO THE ISSUANCE OF A PERMIT
- PLUMBING\*
- ELECTRICAL\*
- MECHANICAL
- FRAMING (SUBSEQUENT TO THE INSPECTION & APPROVAL OF PLUMBING, ELECTRICAL & MECHANICAL)
- FIRE RESISTANT CONSTRUCTION
- FIRE RESISTANT PENETRATIONS
- ENERGY CODE COMPLIANCE
- A FINAL INSPECTION AFTER ALL WORK AUTHORIZED BY THE BUILDING PERMIT HAS BEEN COMPLETED

ANY OTHER INSPECTIONS AS REQUIRED BY THE CITY OF NEW ROCHELLE.

A SCHEDULE OF REQUIRED INSPECTIONS IS AVAILABLE FROM THE BUILDING DEPARTMENT

\*THE WORK APPLICABLE TO SOME OF THE ABOVE INSPECTIONS (FOR INSTANCE PLUMBING AND ELECTRICAL) SHALL BE COMPLETED UNDER A SEPARATE PERMIT, FILED BY THE RELEVANT LICENSED CONTRACTORS.

AFTER INSPECTION, THE WORK OR A PORTION THEREOF SHALL BE NOTED AS SATISFACTORY AS COMPLETED, OR THE BUILDING PERMIT HOLDER SHALL BE NOTIFIED AS TO THE MANNER IN WHICH THE WORK FAILS TO COMPLY WITH APPLICABLE CODES, INCLUDING A CITATION OF THE SPECIFIC CODE PROVISION OR PROVISIONS THAT HAVE NOT BEEN MET.

IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO ASCERTAIN THE RESULTS OF REQUIRED INSPECTIONS.

CONSTRUCTION WORK NOT IN COMPLIANCE WITH APPLICABLE CODES SHALL BE REQUIRED TO REMAIN EXPOSED UNTIL IT HAS BEEN BROUGHT INTO COMPLIANCE WITH THE CODES, RE-INSPECTED, AND FOUND SATISFACTORY AS COMPLETED.

SAMPLE ONLY  
NOT FOR REPRODUCTION  
OR UNAUTHORIZED USE

### STATEMENT OF DESIGN PROFESSIONAL

- THESE PLANS HAVE BEEN PREPARED IN CONFORMANCE WITH 2020 BUILDING CODE OF NEW YORK STATE.
- TO THE BEST OF MY KNOWLEDGE AND PROFESSIONAL JUDGEMENT, THESE PLANS ARE IN CONFORMANCE WITH THE 2020 STRETCH ENERGY CODE OF THE STATE OF NEW YORK.

VINCENT COAKLEY, P.E.  
(STAMP AFFIXED AND SIGNED)

### LIST OF DRAWINGS

SHEET	DRAWING NAME	DATE	REVISION
C-01	COVER SHEET	08.21.2024	02.20.2025
S-01	FLOOR PLAN	08.21.2024	02.20.2025

PROPERTY ADDRESS:  
134 NORTH AVENUE  
NEW ROCHELLE, NY 10801  
(CITY OF NEW ROCHELLE)

S-B-L:  
1-212-0151

CLIENT:  
GENRY MONZON - LILIA BARRIOS

TEL: (914) 690-4315  
EMAIL: dariimonzon2@gmail.com

DATE: 08.21.2024  
10.07.2024  
ISSUE: PRELIMINARY  
FOR PERMIT

02.20.2025  
PER B.D.  
COMMENTS

PROJECT NAME:  
SPORTS FITNESS

DRAWING NAME:  
COVER SHEET

DRAWING NUMBER:  
C-01

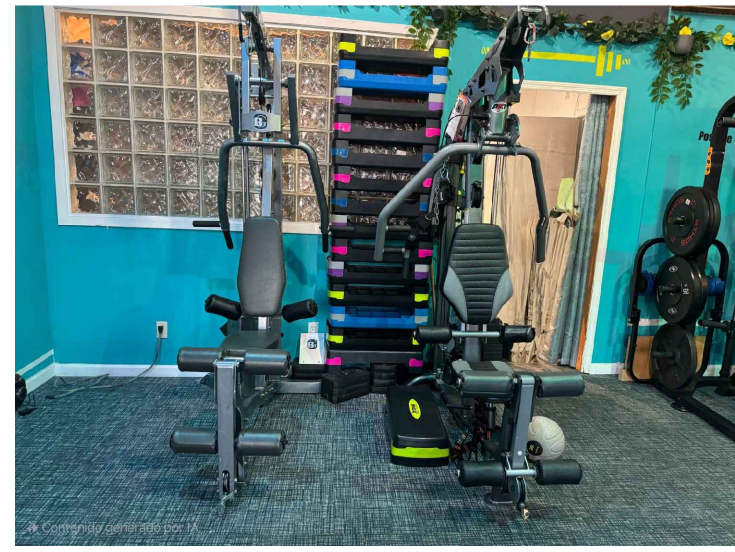
DATE:  
08.21.2024

SCALE:  
AS NOTED

NOTE:  
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CONSTRUCTION IF (AND ONLY IF) A  
PERMIT IS ISSUED, BASED ON THIS  
DRAWING, BY THE CITY OF NEW  
ROCHELLE.

Oliver Engineering, P.C.  
Design - Permit Applications - Legalizations  
Code Compliance - Project Supervision  
188 North Main Street | Port Chester | NY 10573  
(914) 774-9878 | www.proeng.nyc | vc@proeng.nyc





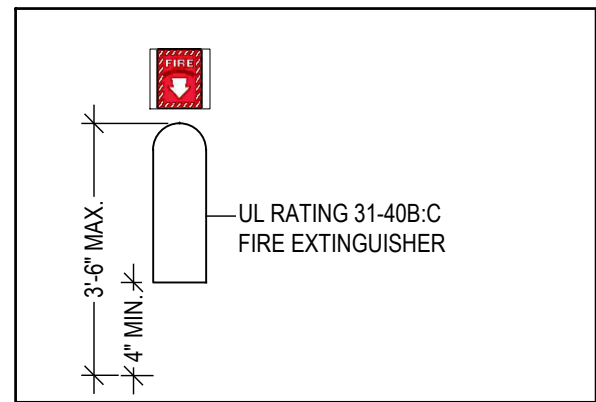
MULTIFUNCTION MACHINE



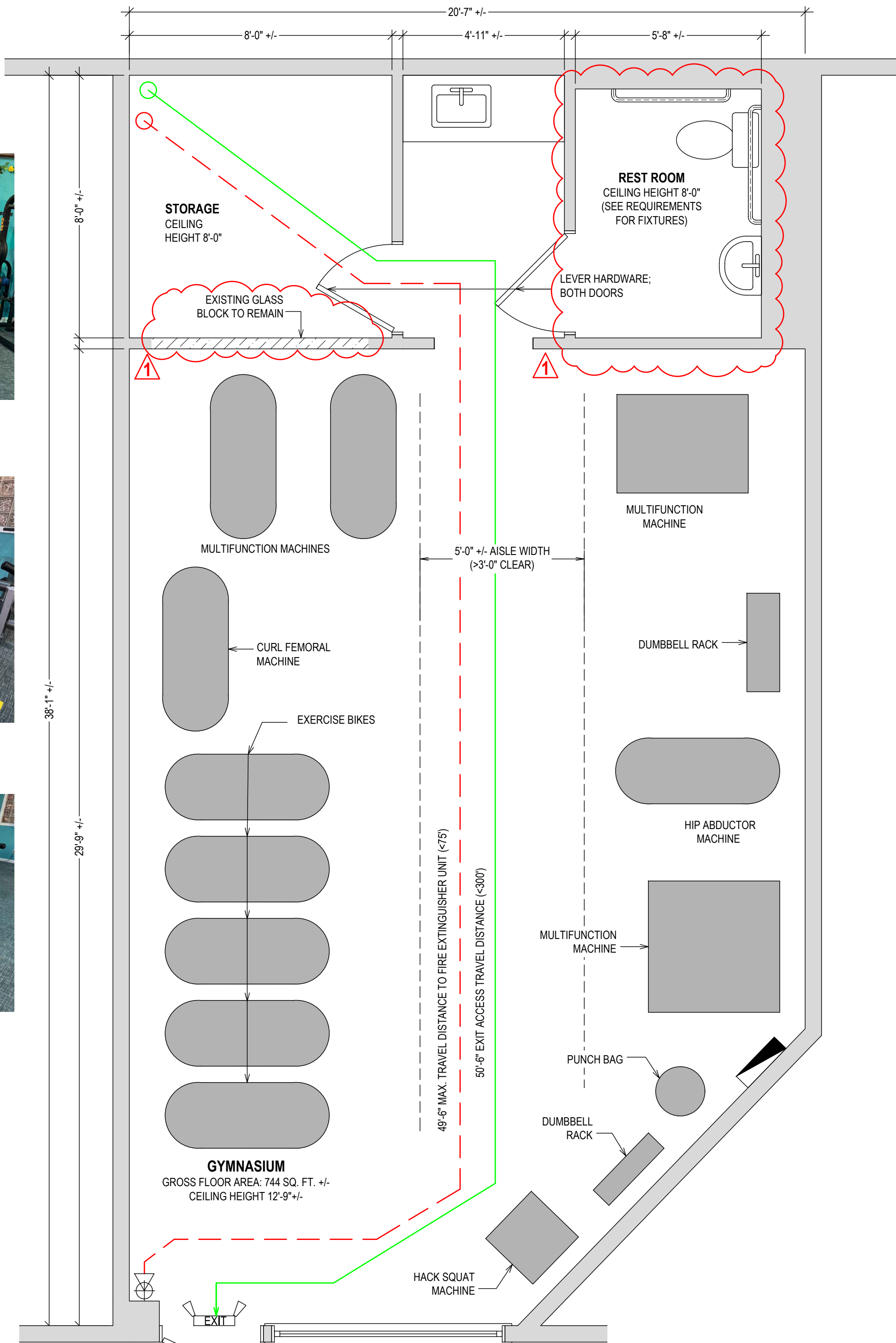
CURL FEMORAL MACHINE



EXERCISE BIKES



FIRE EXTINGUISHER LOCATION



FLOOR PLAN  
3/8\"/>

**INTERIOR FLOOR FINISHES REQUIREMENTS PER 804:**

FLOOR FINISHES:	
GYMNASIUM:	CARPET *
STORAGE AREA:	CARPET *
RESTROOM:	CERAMIC
OCCUPANCY GROUP:	B
SPRINKLERED:	YES

\* CARPET SHALL COMPLY WITH THE REQUIREMENTS OF THE 804.4.1 TEST REQUIREMENT; INTERIOR FLOOR COVERING MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE DOC FF-1 "PILL TEST" (CPSC 16 CFR PART 1630) OR WITH ASTM D2859.

**PORTABLE FIRE EXTINGUISHERS PER 906:**

HAZARD OCCUPANCY LEVEL:	LIGHT (LOW)
MINIMUM RATED SINGLE EXTINGUISHER:	2.4
MAXIMUM FLOOR AREA PER UNIT OF A:	3,000 S.F.
MAXIMUM FLOOR AREA PER EXTINGUISHER:	11,250 S.F.
FLOOR AREA:	744 S.F.
TRAVEL DISTANCE TO EXTINGUISHER:	49'-6"
NUMBER OF EXTINGUISHERS REQUIRED:	1
MAX. ALLOWED TRAVEL DISTANCE TO EXTINGUISHER:	75 FEET

**DESIGN OCCUPANT LOAD PER 1004:**

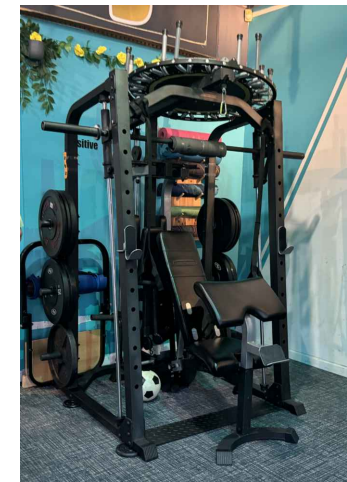
GROSS FLOOR AREA:	744 SQ. FT. +/-
SPACE SPRINKLERED:	YES
OCCUPANCY:	B
ALLOWANCE PER OCCUPANT (PER TABLE 1004.5 - EXERCISE ROOMS):	50 GROSS
MAXIMUM NUMBER OF OCCUPANTS:	15

**REQUIRED EXITS AND EXIT ACCESS DOORWAYS PER 1006:**

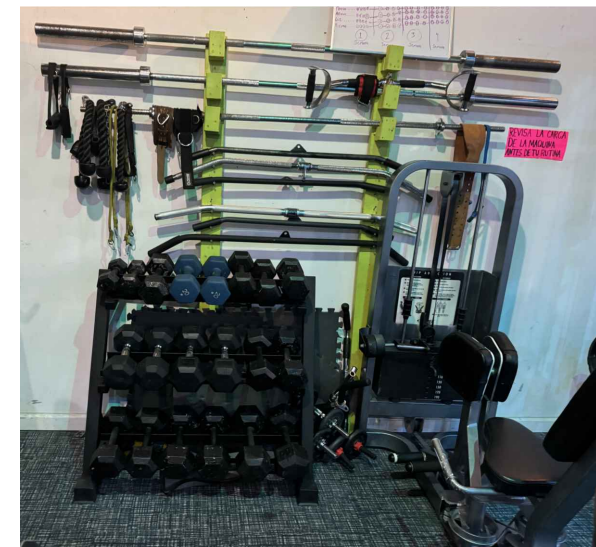
DESIGN OCCUPANT LOAD:	15
COMMON PATH OF EGRESS TRAVEL DISTANCE:	<50 FEET
NUMBER OF EXITS REQUIRED:	1

**EXIT ACCESS TRAVEL DISTANCE PER 1017:**

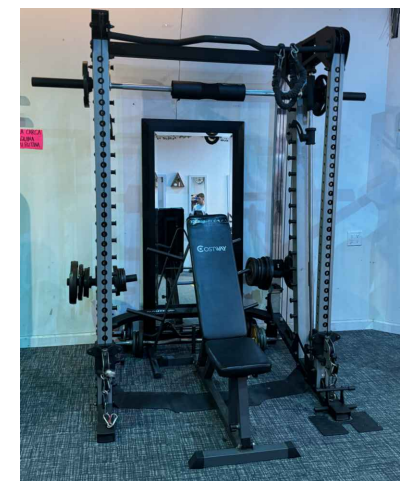
OCCUPANCY:	B
SPRINKLERED:	YES
OCCUPANCY LOAD:	15 (<30)
EXIT ACCESS TRAVEL DISTANCE:	50'-6"
EXIT ACCESS TRAVEL DISTANCE LIMIT:	300 FEET



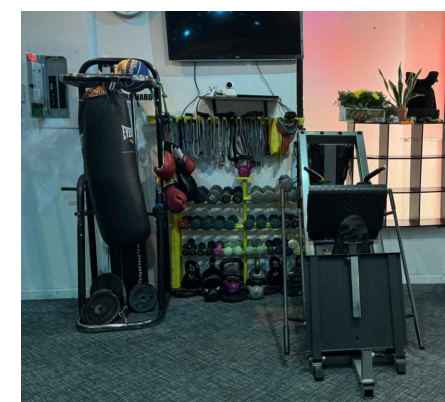
MULTIFUNCTION MACHINE



DUMBBELL RACK AND HIP ABDUCTOR MACHINE



MULTIFUNCTION MACHINE



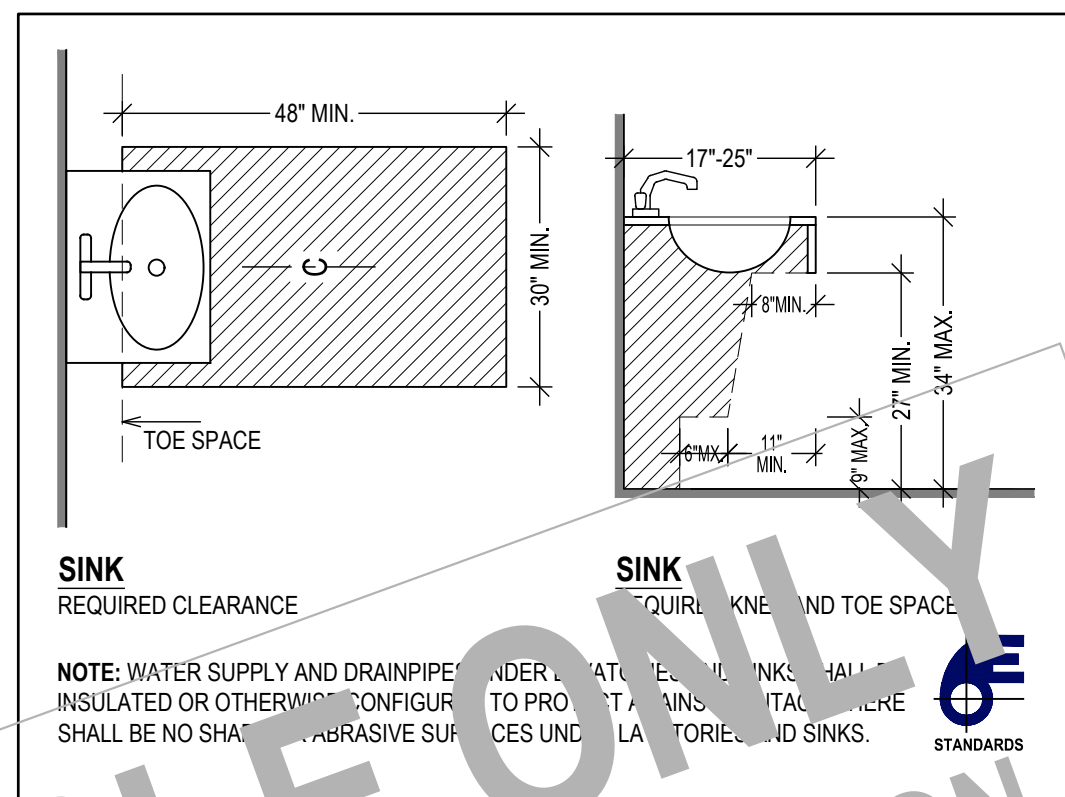
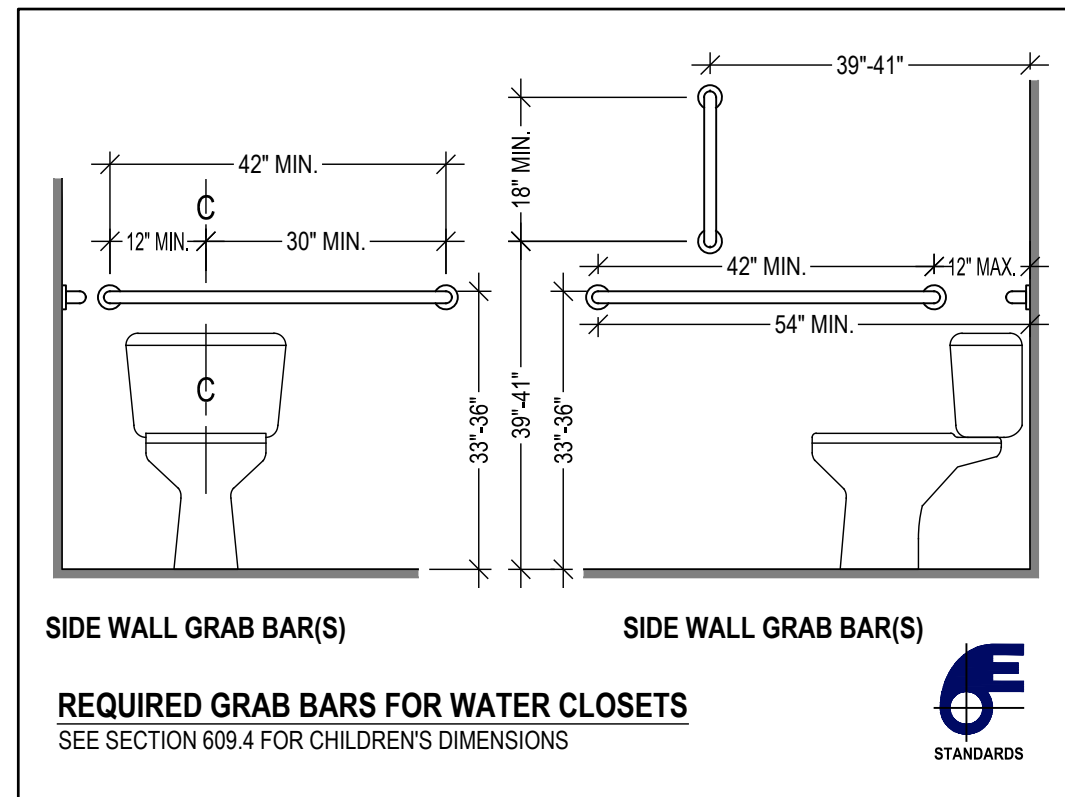
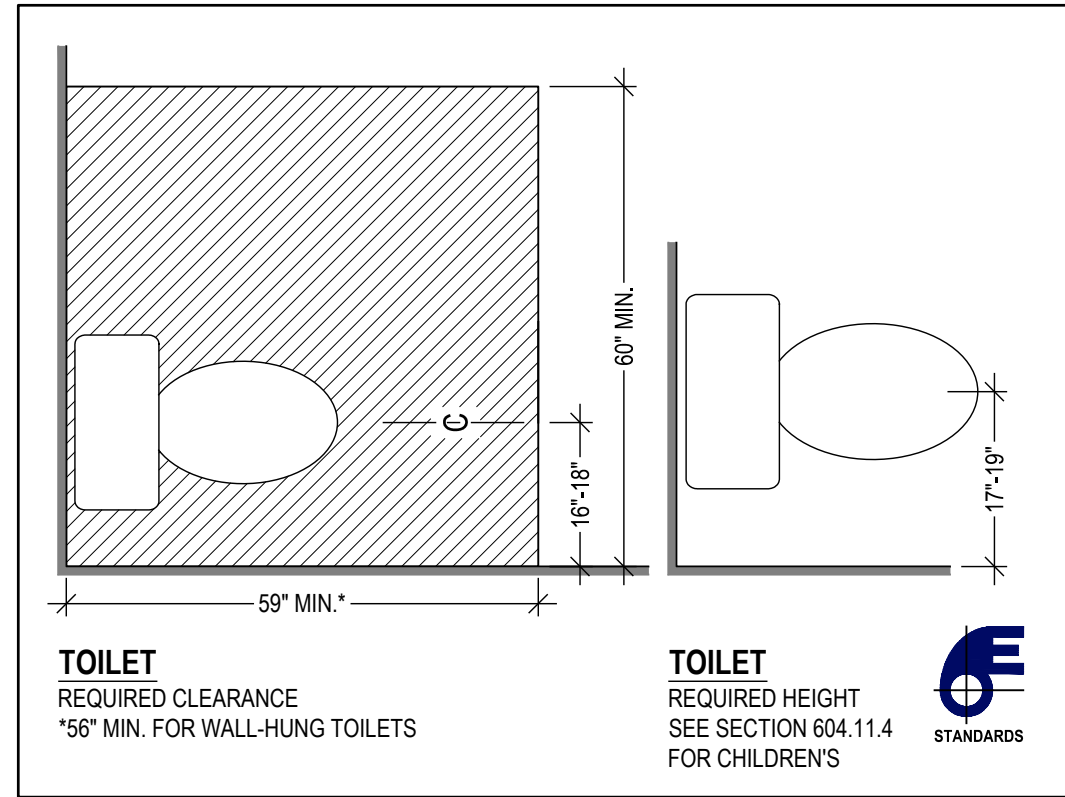
PUNCH BAG AND HACK SQUAT MACHINE

**LEGEND**

- EXIT EMERGENCY EXIT INDICATOR
- UL RATING 31-40B-C FIRE EXTINGUISHER
- ELECTRICAL PANEL
- ROUTE TO FIRE EXTINGUISHER

- BEGIN EXIT ACCESS EGRESS TRAVEL
- EXIT ACCESS TRAVEL ROUTE

NO CHANGES TO EXISTING ELECTRICAL PLAN;  
EXISTING HVAC SYSTEM TO REMAIN;  
EXISTING LIGHTING TO REMAIN



ALTERATIONS AFFECTING AN AREA CONTAINING A PRIMARY FUNCTION PER 305.7:  
THE COST OF PROVIDING THE ACCESSIBLE ROUTE ARE NOT REQUIRED TO EXCEED 20 PERCENT OF THE COSTS OF THE ALTERATIONS AFFECTING THE AREA OF PRIMARY FUNCTION.

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S-01

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