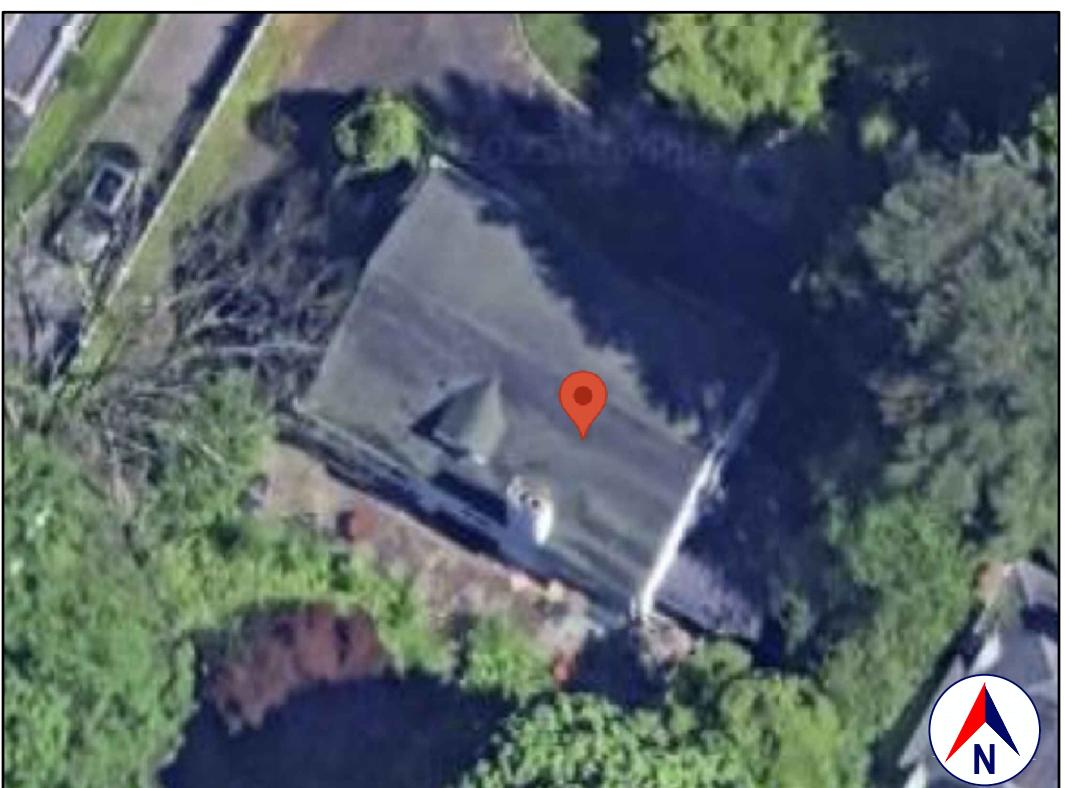
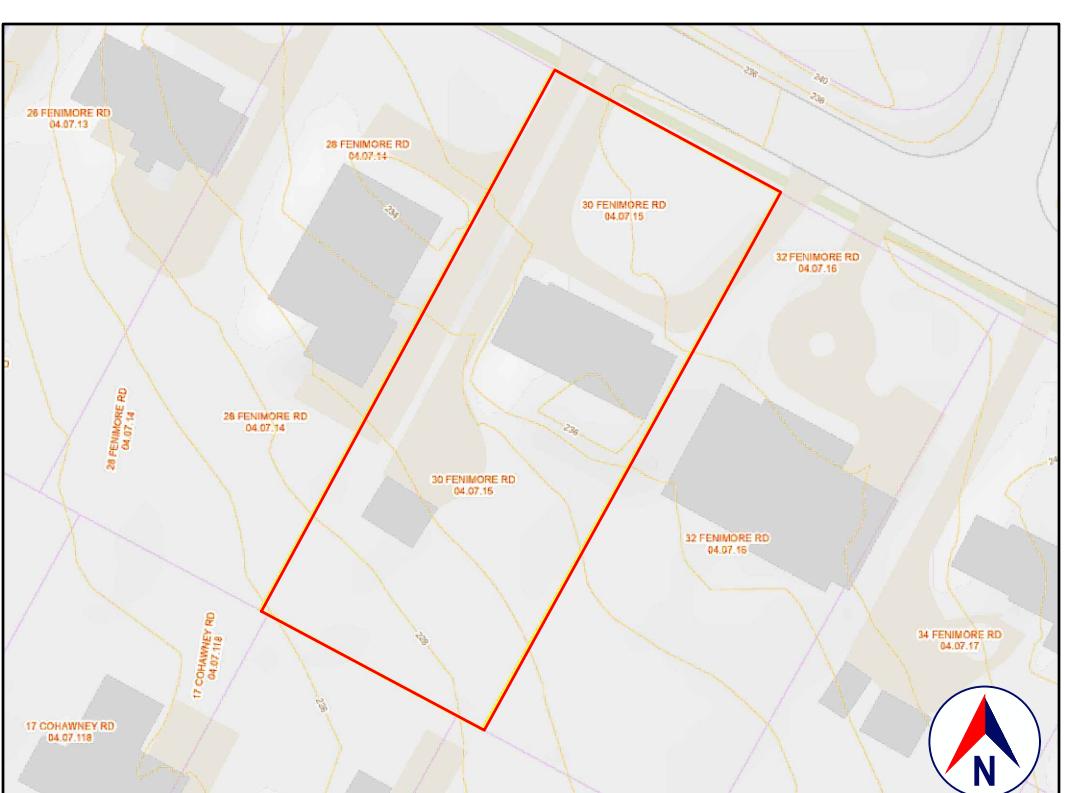


LOCATION
GOOGLE MAPS



SATELLITE VIEW
GOOGLE EARTH



TAX MAP AND TOPO
WESTCHESTER COUNTY GIS



FRONT VIEW
GOOGLE STREET VIEW

1.0 GENERAL REQUIREMENTS:

- 1.1 PROJECT SCOPE:**
REMOVE AND REPLACE EXISTING SECTION OF DAMAGE SEWER LATERAL.
- 1.2 DESIGN INTENT:**
THE INVOLVEMENT OF OLIVER ENGINEERING IN THIS PROJECT IS: PROVIDE DESIGN AND DRAWINGS FOR EXCAVATION AND SHORING.
- 1.3 INTENT OF THESE DRAWINGS:**
IT IS THE INTENT OF THESE DRAWINGS TO CALL FOR COMPLETE AND FINISHED WORK, IN COMPLIANCE WITH THE NOTED CODES, AND TESTED AND GUARANTEED AND READY FOR OPERATION.
- 1.4 CLASSIFICATION OF PROPOSED WORK:**
THE PROPOSED WORK IS OUTSIDE OF THE EXISTING BUILDING ENVELOPE; THE CODES REFERENCED BELOW APPLY TO ALL PROPOSED WORK.
- 1.5 ZONING, OCCUPANCY AND USE:**
IN USE OUTSIDE:
YEAR BUILT: 1926 (PER ZILLION)
ZONING: RES-A-1 ONE-FAMILY RESIDENCE
OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-3*
EXISTING USE: SINGLE FAMILY
PROPOSED USE: SINGLE FAMILY (NO CHANGE)
ARCHITECTURAL REVIEW: REFER TO ARCHITECTURAL DRAWINGS
- 1.6 COMPLIANCE:**
ALL WORK SHALL BE IN COMPLIANCE WITH THE FOLLOWING CODES:
 - GENERAL: 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS)
 - EXISTING: EXISTING BUILDING CODE OF NEW YORK STATE (INTERNATIONAL EXISTING BUILDING CODE 2018 WITH AMENDMENTS)
 - ENERGY: NOT APPLICABLE TO THESE DRAWINGS
 - PLUMBING: NOT APPLICABLE TO THESE DRAWINGS
 - ELECTRICAL: NOT APPLICABLE TO THESE DRAWINGS
 - DRAINAGE: NOT APPLICABLE TO THESE DRAWINGS
 - MAINTENANCE: NOT APPLICABLE TO THESE DRAWINGS
 - MUNICIPAL: CHAPTER 132, BUILDING CONSTRUCTION AND FIRE PREVENTION OF THE CODE OF THE VILLAGE OF SCARSDALE
 - OTHER: ALL REFERENCED CODES, OTHER CODES AND REGULATIONS, FEDERAL, STATE AND LOCAL THAT MAY APPLY.
- 1.7 AUTHORITY HAVING JURISDICTION:**
THE AUTHORITY HAVING JURISDICTION, AS DEFINED IN SECTION 103.1 OF THE RESIDENTIAL CODE, AND WHICH SHALL PROVIDE FOR ADMINISTRATION AND ENFORCEMENT OF THE UNIFORM CODE AND ENERGY CODE BY LOCAL LAW, ORDINANCE, OTHER APPROPRIATE REGULATION, OR COMBINATION THEREOF, IS THE VILLAGE OF SCARSDALE.

THE DULY APPOINTED BUILDING OFFICIAL OF THE VILLAGE OF SCARSDALE IS AUTHORIZED TO ENFORCE THE PROVISIONS OF THE CODE.

THE BUILDING OFFICIAL MAY ADOPT POLICIES AND PROCEDURES IN ORDER TO CLARIFY THE APPLICATION OF THE PROVISIONS OF THE CODE. SUCH POLICIES AND PROCEDURES SHALL BE IN COMPLIANCE WITH THE INTENT AND PURPOSE OF THE CODE.

2.0 DESIGN CRITERIA:

- 2.1 DEAD LOAD:**
PER 301.4, THE ACTUAL WEIGHTS OF MATERIALS AND CONSTRUCTION SHALL BE USED FOR DETERMINING DEAD LOAD; THE FOLLOWING APPROXIMATIONS (IN PSF) ARE USED FOR THIS PROJECT:
PSF

FRAMED WALL ASSEMBLY:	15
ROOF/CEILING ASSEMBLY:	20
FLOOR ASSEMBLY:	15

ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

- 2.2 LIVE LOAD:**
UNIFORMLY DISTRIBUTED LIVE LOADS SHALL BE PER TABLE R301.5 AND AS FOLLOWS (IN PSF):
USE PSF OTHER

UNINHABITABLE SPACE WITHOUT STORAGE:	10	(42'H, 24'W)
UNINHABITABLE ATTICS WITH LIMITED STORAGE:	20	
HABITABLE ATTICS & ATTICS WITH FIXED STAIRS:	30	
EXTERIOR BALCONIES & DECKS:	40	
FIRE ESCAPES:	40	
GUARDS & HANDRAILS:	200 (CONCENTRATED)	(HORIZONTAL)
GUARD-IN-FILL COMPONENTS:	50 (HORIZONTAL)	(82,000LB/205)
PASSENGER VEHICLE GARAGE:	40	
ROOMS OTHER THAN SLEEPING ROOMS:	40	
SLEEPING ROOMS:	40	
STAIRS:	40	(300LB/45I)
ROOF, PER 301.6 (INC. SNOW):	30	

*SOME OF THE LOADS LISTED ABOVE MAY BE HIGHER THAN THOSE REQUIRED BY CODE.
ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

- 2.3 WIND LOAD:**
WIND LOADS SHALL BE BASED ON THE ULTIMATE DESIGN WIND SPEED LISTED IN TABLE 301.2(1) AND ADJUSTED FOR HEIGHT AND EXPOSURE:
120 MPH. WIND LOADS WILL BE ALLOWED FOR IN: THE DESIGN LOAD PERFORMANCE REQUIREMENTS FOR WALL COVERINGS, ROOF COVERINGS, WINDOWS, SKYLIGHTS AND DOORS.
COMPONENT AND CLADDING LOADS WILL BE PER TABLE R301.2(2)

- 2.4 ALLOWABLE LIVE LOAD DEFLECTION:**
THE ALLOWABLE LIVE LOAD DEFLECTION OF ALL STRUCTURAL MEMBERS, SHALL BE PER TABLE R301.7 AND AS FOLLOWS:

STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
RAFTERS HAVING SLOPES GREATER THAN 3:12 WITH FINISHED CEILING NOT ATTACHED TO RAFTERS	L/180
INTERIOR WALLS AND PARTITIONS	H/180
FLOORS	L/360
CEILING WITH BRITTLE FINISHES (INCLUDING PLASTER AND STUCCO)	L/360
CEILING WITH FLEXIBLE FINISHES (INCLUDING GYPSUM BOARD)	L/240
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS-WALL LOAD WITH PLASTER OR STUCCO FINISHES	L/360
EXTERIOR WALLS-WALL LOAD WITH OTHER BRITTLE FINISHES	H/240
EXTERIOR WALLS-WALL LOADS WITH FLEXIBLE FINISHES	H/120
LINTELS SUPPORTING MASONRY VENEER WALLS	L/600

*THE WORK APPLICABLE TO SOME OF THE ABOVE INSPECTIONS (FOR INSTANCE PLUMBING AND ELECTRICAL) SHALL BE COMPLETED UNDER A SEPARATE PERMIT, FILED BY THE RELEVANT LICENSED CONTRACTORS.

AFTER INSPECTION, THE WORK OR A PORTION THEREOF SHALL BE NOTED AS SATISFACTORY AS COMPLETED, OR THE BUILDING PERMIT HOLDER SHALL BE NOTIFIED AS TO THE MANNER IN WHICH THE WORK FAILS TO COMPLY WITH APPLICABLE CODES, INCLUDING A CITATION OF THE SPECIFIC CODE PROVISION OR PROVISIONS THAT HAVE NOT BEEN MET.

IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO ASCERTAIN THE RESULTS OF REQUIRED INSPECTIONS.

CONSTRUCTION WORK NOT IN COMPLIANCE WITH APPLICABLE CODES SHALL BE REQUIRED TO REMAIN EXPOSED UNTIL IT HAS BEEN BROUGHT INTO COMPLIANCE WITH THE CODES, RE-INSPECTED, AND FOUND SATISFACTORY AS COMPLETED.

*CLIMATIC AND GEOGRAPHIC CRITERIA:
CLIMATIC AND DESIGN CRITERIA FOR THE VILLAGE OF SCARSDALE ARE PER TABLE R301.2(1) BELOW:

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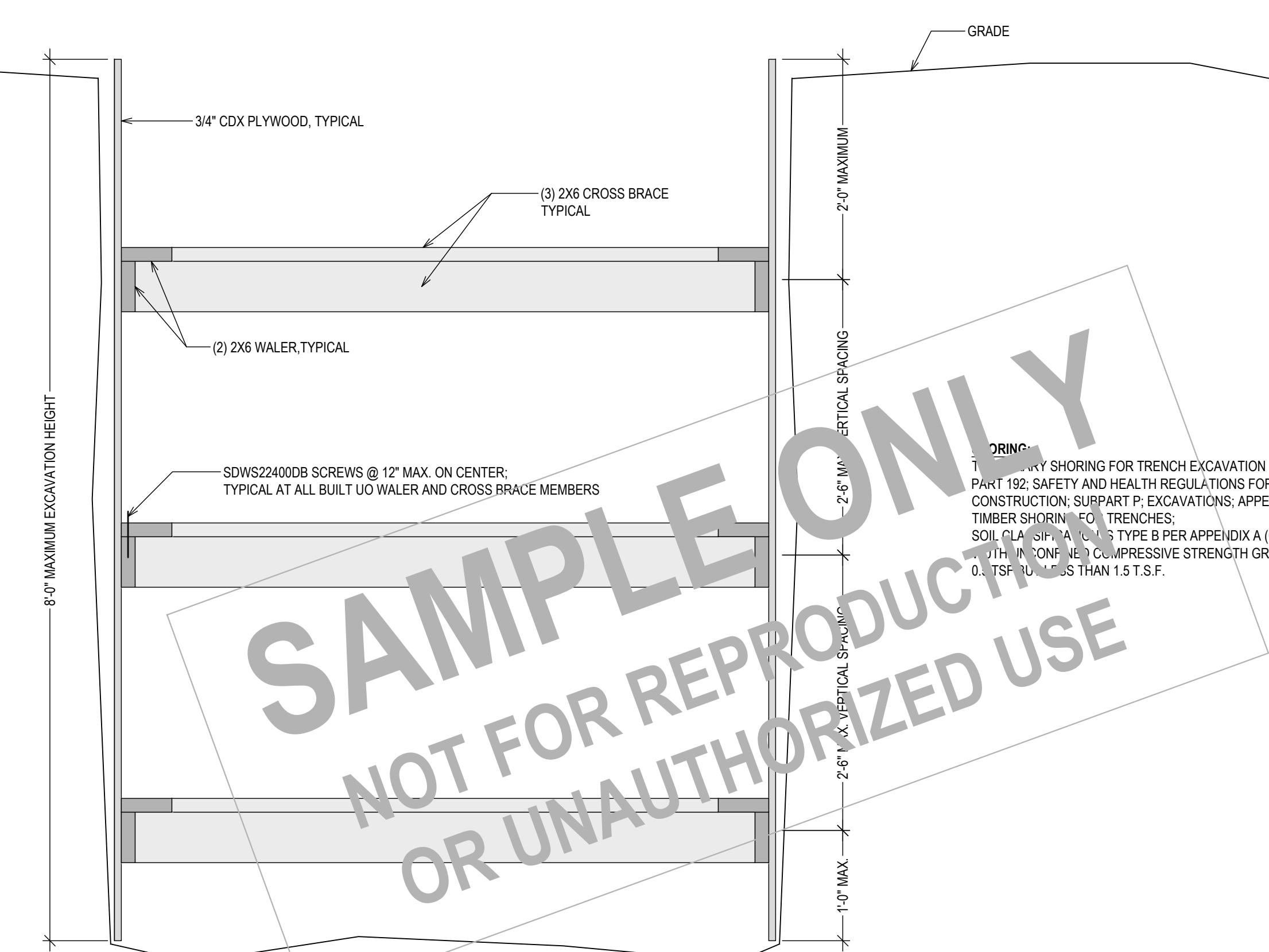
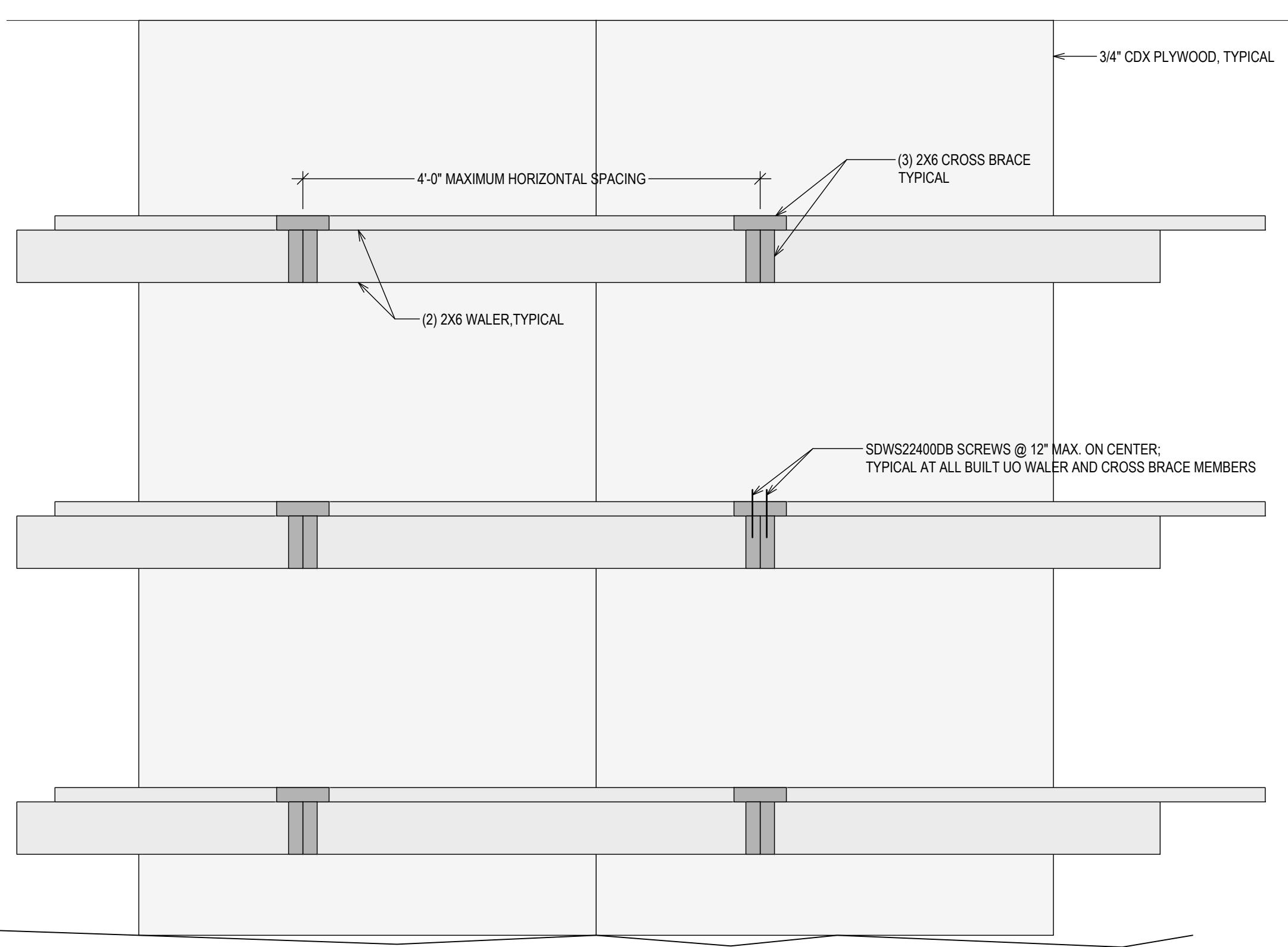
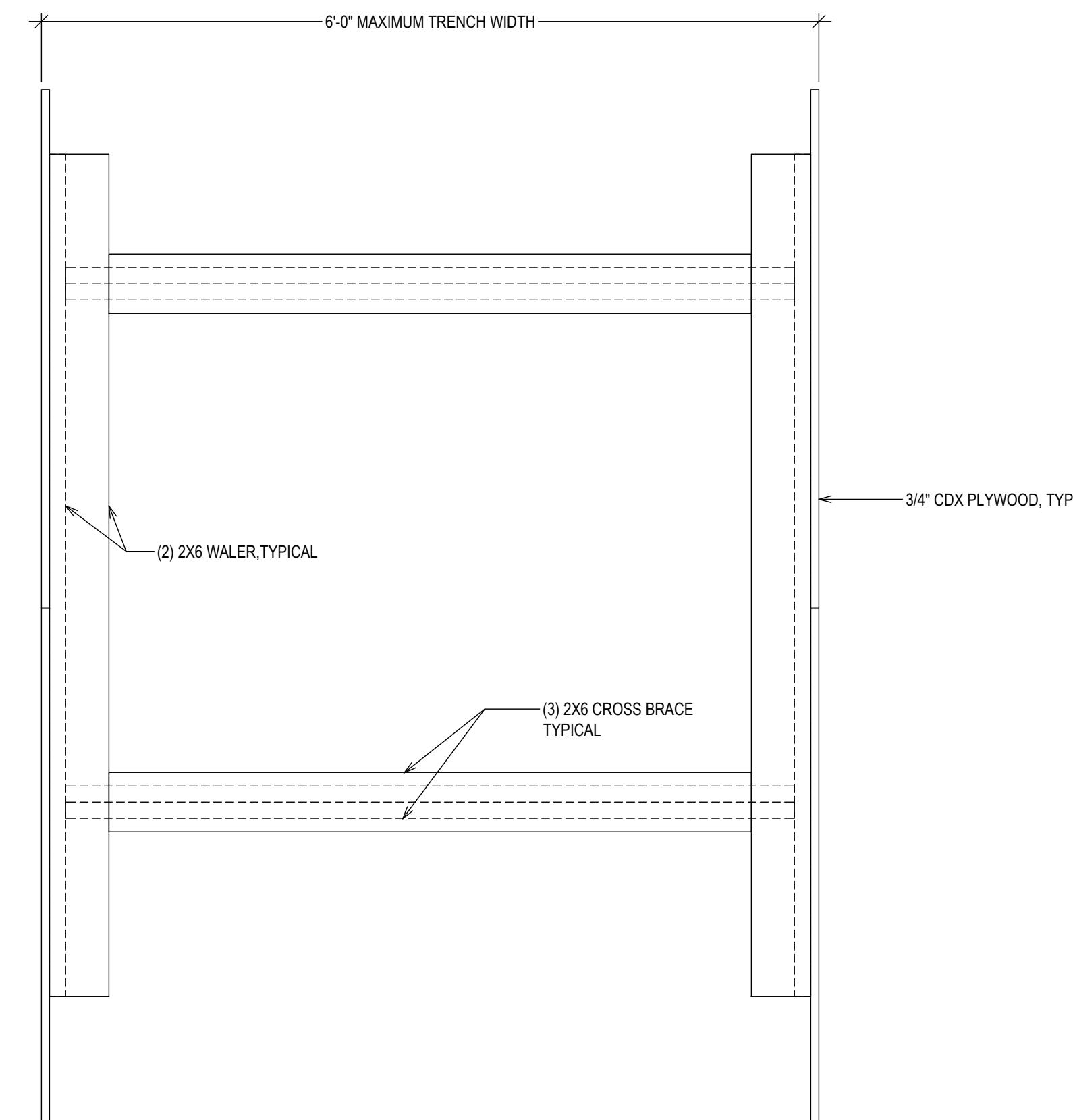
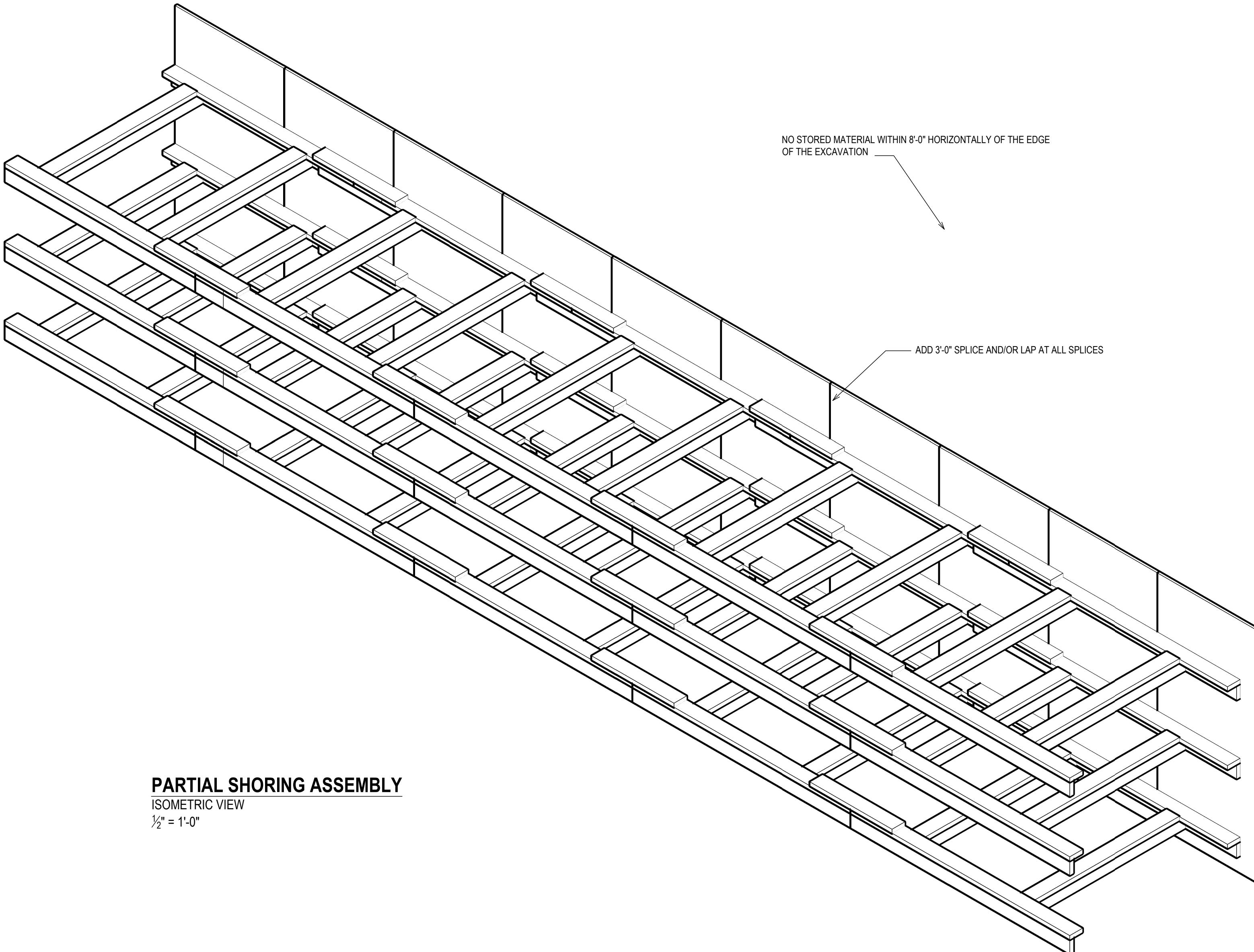
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PROPERTY ADDRESS:

SCARSDALE, NY 10583
(VILLAGE OF SCARSDALE
BUILDING DEPARTMENT)

S-B-L:

CLIENT:
*** ***

TEL: ***
EMAIL: ***

DATE: 07.10.2025 ISSUE: FOR PERMIT

PROJECT NAME:
REPLACE SEWER LATERAL

DRAWING NAME:
LAYOUT

DRAWING NUMBER:
S-01

DATE:
07.10.2025
SCALE:
AS NOTED

NOTE:
THIS DRAWING IS VALID FOR
CONSTRUCTION IF (AND ONLY IF) A
PERMIT IS ISSUED, BASED ON THIS
DRAWING, BY THE VILLAGE OF
SCARSDALE.