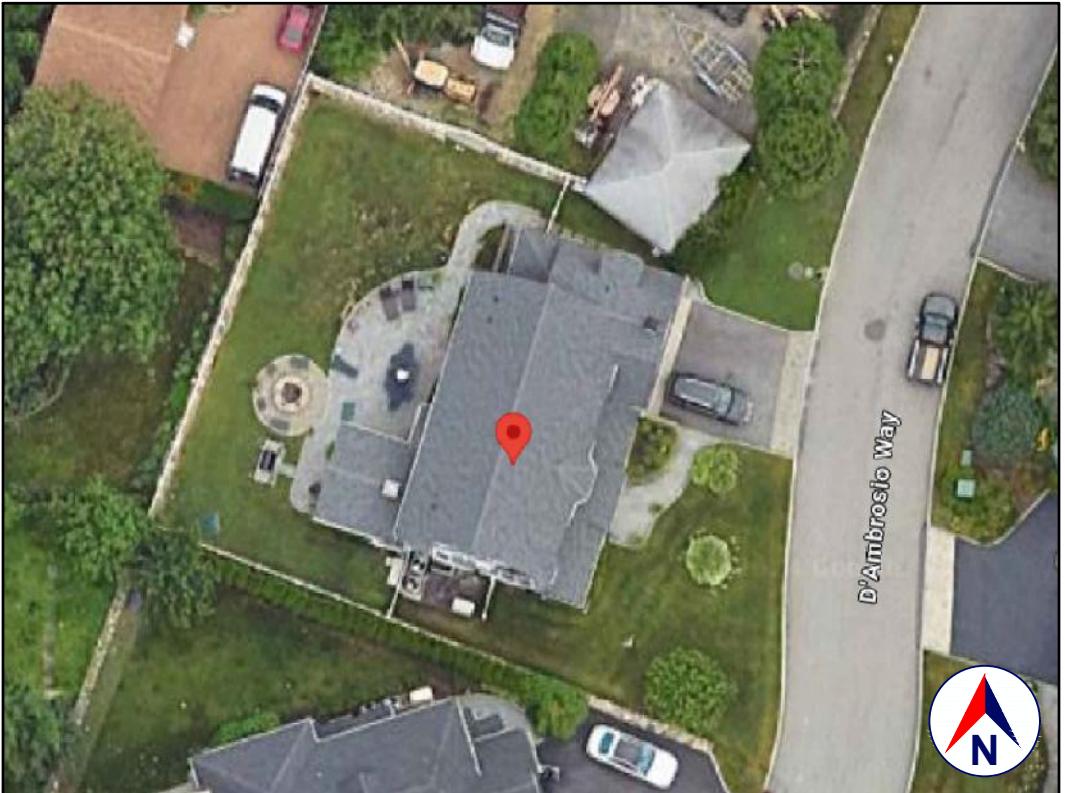
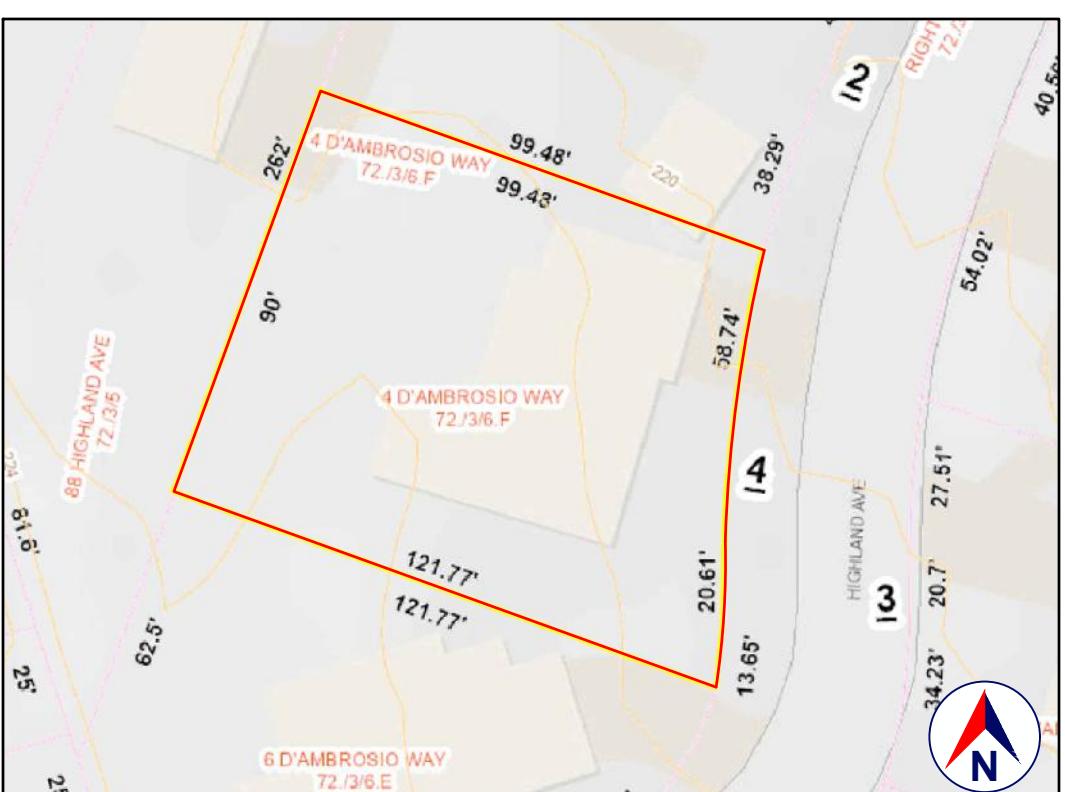


LOCATION
 ***, EASTCHESTER
 GOOGLE MAPS



SATELLITE VIEW
 GOOGLE EARTH



TAX MAP AND TOPO
 WESTCHESTER COUNTY GIS
 S-B-L: ***



EXISTING CONDITION
 05.07.2024

1.0 GENERAL REQUIREMENTS:

1.1 DESIGN INTENT:

THESE (STRUCTURAL) DRAWINGS ADDRESS ONLY THE STRUCTURAL INTEGRITY, BASED ON THE STIPULATED LOADS, OF THE PROPOSED CONSTRUCTION. THESE DRAWINGS SHOULD ONLY BE USED IN CONJUNCTION WITH THE ARCHITECTURAL AND OTHER DRAWINGS. IT IS THE OVERALL INTENT OF (ALL OF THE DRAWINGS) TO CALL FOR COMPLETE AND FINISHED WORK, IN COMPLIANCE WITH THE NOTED CODES, AND TESTED AND GUARANTEED AND READY FOR OPERATION.

THE ENGINEER HAS NOT BEEN ENGAGED TO SUPERVISE ANY WORK AND DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

1.2 SCOPE AND CLASSIFICATION:

THE PROPOSED WORK IS OUTSIDE OF THE EXISTING BUILDING ENVELOPE; THE CODES REFERENCED BELOW APPLY TO ALL PROPOSED WORK.

CONSTRUCTION TYPE:

TYPE V-B, AS DEFINED IN TABLE 601
 YEAR BUILT: 2018 (PER ZILLOW)

OCCUPANCY CLASSIFICATION: DETACHED ONE-FAMILY DWELLING STRUCTURE

1.3 COMPLIANCE:

ALL WORK SHALL BE IN COMPLIANCE WITH:

- 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL BUILDING CODE 2018 WITH AMENDMENTS)
- ANSI/NSPICC 5 AMERICAN NATIONAL STANDARD FOR RESIDENTIAL INGROUND SWIMMING POOLS, 2011.
- ALL OTHER REFERENCED CODES AND ALL OTHER CODES AND REGULATIONS, LOCAL, STATE AND FEDERAL, THAT APPLY.

1.4 AUTHORITY HAVING JURISDICTION:

THE AUTHORITY HAVING JURISDICTION, AS DEFINED IN [NY] 103.1 OF THE BUILDING CODE, AND WHICH SHALL PROVIDE FOR ADMINISTRATION AND ENFORCEMENT OF THE UNIFORM CODE AND ENERGY CODE BY LOCAL LAW, ORDINANCE, OTHER APPROPRIATE REGULATION, OR COMBINATION THEREOF, IS THE TOWN OF EASTCHESTER.

THE DULY APPOINTED BUILDING OFFICIAL OF THE TOWN OF EASTCHESTER IS AUTHORIZED TO ENFORCE THE PROVISIONS OF THE CODE.

THE BUILDING OFFICIAL MAY ADOPT POLICIES AND PROCEDURES IN ORDER TO CLARIFY THE APPLICATION OF THE PROVISIONS OF THE CODE. SUCH POLICIES AND PROCEDURES SHALL BE IN COMPLIANCE WITH THE INTENT AND PURPOSE OF THE CODE.

3.0 CONTRACTOR'S RESPONSIBILITIES:

THE CONTRACTOR SHALL:

- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR A COMPLETE AND FINISHED JOB.
- PROVIDE ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.
- OBTAIN AND PAY FOR ALL REQUIRED PERMITS - UNLESS OTHERWISE STIPULATED.
- PRIOR TO THE SUBMISSION OF ANY BID, AND BEFORE PROCEEDING WITH ANY WORK, VISIT THE SITE AND VERIFY AND FAMILIARIZE HIMSELF WITH ALL SITE DIMENSIONS AND CONDITIONS, WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION, METHODS AND ROUTES OF ACCESS, AND THE EXISTENCE AND EXTENT OF ANY OTHER RESTRICTIONS, AND BE RESPONSIBLE FOR THE VERIFICATION OF ALL SUCH CONDITIONS AND DIMENSIONS WHICH PERTAIN TO THE PROJECT.
- BRING ALL DISCREPANCIES IN CONDITIONS AND DIMENSIONS, BETWEEN THE APPROVED DRAWINGS AND ACTUAL FIELD CONDITIONS, TO THE IMMEDIATE ATTENTION OF THE OWNER, AND RECEIVE DIRECTION IN WRITING, BEFORE PROCEEDING WITH THE AFFECTED WORK.
- VERIFY THE AVAILABILITY, LOCATION, LAYOUT AND CONDITION OF UTILITIES, INCLUDING SEWER, WATER, GAS AND ELECTRIC LINES, PRIOR TO THE SUBMISSION OF ANY BID.
- HAVE CONTROL OVER AND SUPERVISE AND DIRECT THE WORK, INCLUDING THAT OF ITS SUBCONTRACTORS, AND BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR JOBSITE SAFETY, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, VERIFY THE CONDITION OF ALL ADJOINING STRUCTURES WHICH MAY BE AFFECTED, AND PROVIDE ADEQUATE PROTECTION TO ANY STRUCTURE THAT MIGHT BE OTHERWISE AFFECTED.
- IN THE EVENT THAT DAMAGE IS CAUSED TO ANY STRUCTURE, FINISH, OR OTHER ELEMENT, RESTORE SUCH ELEMENTS TO THEIR ORIGINAL CONDITION.
- HAVE CONTROL OVER AND SUPERVISE, COORDINATE AND DIRECT THE WORK, INCLUDING THAT OF HIS SUBCONTRACTORS, AND SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR JOBSITE SAFETY.
- IF APPLICABLE, PROVIDE WEATHER PROTECTION IN AN EFFECTIVE AND TIMELY MANNER, TO PROTECT THE PREMISES, PERSONNEL, MATERIALS AND INSTALLED WORK.
- BE A HOME IMPROVEMENT CONTRACTOR WITH A CURRENT LICENSE ISSUED BY THE WESTCHESTER COUNTY DEPARTMENT OF CONSUMER AFFAIRS.
- BE CERTIFIED AS A LEAD SAFE FIRM BY THE EPA PER 40 CFR 745.226.
- CARRY LIABILITY INSURANCE TO THE LIMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION AND ISSUE CERTIFICATE(S) OF INSURANCE AS REQUIRED BY THE HOMEOWNER AND/OR THAT AUTHORITY.
- CARRY WORKMAN'S COMPENSATION AND DISABILITY INSURANCE AS REQUIRED BY THE LAW AND ISSUE CERTIFICATE(S) AS REQUIRED BY THE HOMEOWNER AND/OR THE AUTHORITY HAVING JURISDICTION.

4.0 BUILDING PERMIT:

NO PERSON OR ENTITY SHALL COMMENCE, PERFORM, OR CONTINUE ANY WORK THAT MUST CONFORM WITH THE UNIFORM CODE AND/OR ENERGY CODE UNLESS:

1. SUCH PERSON OR ENTITY HAS APPLIED TO THE TOWN OF EASTCHESTER FOR A BUILDING PERMIT,
2. THE TOWN OF EASTCHESTER HAS ISSUED A BUILDING PERMIT AUTHORIZING SUCH WORK,
3. SUCH BUILDING PERMIT HAS NOT BEEN REVOKED OR SUSPENDED, AND
4. SUCH BUILDING PERMIT HAS NOT EXPIRED.

THE BUILDING PERMIT IS REQUIRED TO BE VISIBLE DISPLAYED AT THE WORKSITE AND TO REMAIN VISIBLE UNTIL THE PROJECT, AND ALL REQUIRED INSPECTIONS, HAVE BEEN COMPLETED.

THE APPROVED DRAWINGS MUST BE KEPT AT THE WORKSITE AND BE AVAILABLE FOR REVIEW AT THE TIME OF ANY REQUIRED INSPECTIONS.

5.0 CONSTRUCTION INSPECTIONS:

IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING PERMIT, OR THEIR DULY AUTHORIZED AGENT, TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION:

BUILDING DEPARTMENT OF THE TOWN OF EASTCHESTER
 40 MILL ROAD
 EASTCHESTER, NY 10709
 TELEPHONE: (914) 771-3317
 EMAIL: cvalete@eastchester.org
 WEB SITE: www.eastchester.org/departments/building.php

ANY PERSON OR ENTITY PERFORMING WORK FOR WHICH A BUILDING PERMIT HAS BEEN ISSUED SHALL KEEP SUCH WORK ACCESSIBLE AND EXPOSED UNTIL THE WORK HAS BEEN INSPECTED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION IN THE TOWN OF EASTCHESTER, OR ITS AUTHORIZED AGENT, AT EACH ELEMENT OF THE CONSTRUCTION PROCESS THAT IS APPLICABLE TO THE WORK.

BUILDING PERMIT HOLDERS SHALL BE REQUIRED TO NOTIFY THE BUILDING OFFICIAL OF THE TOWN OF EASTCHESTER WHEN CONSTRUCTION WORK IS READY FOR INSPECTION.

THE BUILDING OFFICIAL SHALL MAKE THE REQUIRED INSPECTIONS OR SHALL HAVE THE AUTHORITY TO ACCEPT WRITTEN REPORTS OF INSPECTION BY APPROVED AGENCIES OR INDIVIDUALS.

REQUIRED INSPECTIONS FOR THIS PROJECT MAY INCLUDE THE FOLLOWING, AS APPLICABLE, OR AS SPECIFIED IN THE CODE ENFORCEMENT PROGRAM OF THE TOWN OF EASTCHESTER:

- WORKSITE PRIOR TO THE ISSUANCE OF A PERMIT
- PLUMBING*
- ELECTRICAL*
- MECHANICAL
- FRAMING (SUBSEQUENT TO THE INSPECTION & APPROVAL OF PLUMBING, ELECTRICAL & MECHANICAL)
- FIRE RESISTANT CONSTRUCTION
- FIRE RESISTANT PENETRATIONS
- ENERGY CODE COMPLIANCE
- A FINAL INSPECTION AFTER ALL WORK AUTHORIZED BY THE BUILDING PERMIT HAS BEEN COMPLETED
- ANY OTHER INSPECTIONS AS REQUIRED BY THE TOWN OF EASTCHESTER

AFTER INSPECTION, THE WORK OR A PORTION THEREOF SHALL BE NOTED AS SATISFACTORY AS COMPLETED, OR THE BUILDING PERMIT HOLDER SHALL BE NOTIFIED AS TO THE MANNER IN WHICH THE WORK FAILS TO COMPLY WITH APPLICABLE CODES, INCLUDING A CITATION OF THE SPECIFIC CODE PROVISION OR PROVISIONS THAT HAVE NOT BEEN MET.

*THE WORK APPLICABLE TO SOME OF THE ABOVE INSPECTIONS (FOR INSTANCE PLUMBING AND ELECTRICAL) SHALL BE COMPLETED UNDER A SEPARATE PERMIT, FILED BY THE RELEVANT LICENSED CONTRACTORS.

A SCHEDULE OF REQUIRED INSPECTIONS IS AVAILABLE FROM THE BUILDING DEPARTMENT OF THE TOWN OF EASTCHESTER.

IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO ASCERTAIN THE RESULTS OF REQUIRED INSPECTIONS.

CONSTRUCTION WORK NOT IN COMPLIANCE WITH APPLICABLE CODES SHALL BE REQUIRED TO REMAIN EXPOSED UNTIL IT HAS BEEN BROUGHT INTO COMPLIANCE WITH THE CODES, RE-INSPECTED, AND FOUND SATISFACTORY AS COMPLETED.

5.0 STATEMENT OF DESIGN PROFESSIONAL:

1. THESE PLANS HAVE BEEN PREPARED IN CONFORMANCE WITH THE 2020 RESIDENTIAL CODE OF THE STATE OF NEW YORK.

VINCENT COAKLEY, P.E.
 (STAMP AFFIXED AND SIGNED)

SITE WORK

EXCAVATION SAFETY:

THE CONTRACTOR SHALL COMPLY WITH THE TRENCHING AND EXCAVATION REQUIREMENTS OF 29 CFR 1926.651 AND 1926.652 OR COMPARABLE OSHA-APPROVED EXCAVATION SAFETY REQUIREMENTS. TRENCHES 5 FEET DEEP OR GREATER REQUIRE A PROTECTIVE SYSTEM UNLESS THE EXCAVATION IS MADE ENTIRELY IN STABLE ROCK.

THE CONTRACTOR SHALL HAVE A COMPETENT PERSON INSPECT EXCAVATIONS DAILY, AND AS CONDITIONS CHANGE, TO ENSURE ELIMINATION OF EXCAVATION HAZARDS. A COMPETENT PERSON IS AN INDIVIDUAL WHO IS CAPABLE OF IDENTIFYING EXISTING AND PREDICTABLE HAZARDS OR WORKING CONDITIONS THAT ARE DANGEROUS, UNSANITARY, OR DANGEROUS TO WORKERS, SOIL TYPES AND PROTECTIVE SYSTEMS REQUIRED, AND WHO IS AUTHORIZED TO TAKE PROMPT CORRECTIVE MEASURES TO ELIMINATE THESE HAZARDS AND CONDITIONS.

EXCAVATION - LOCATING UTILITIES - CALL 811

NEW YORK STATE LAW (16 NYCCR PART 753) REQUIRES ALL EXCAVATORS TO PLACE A LOCATION REQUEST WITH DIG SAFELY NEW YORK AT LEAST TWO (2) FULL WORKING DAYS, BUT NO MORE THAN 10 WORKING DAYS BEFORE BEGINNING AN EXCAVATION PROJECT IN ORDER TO ENSURE ALL UNDERGROUND UTILITY LINES ARE PROPERLY MARKED BY THEIR OWNERS.

A LOCATION REQUEST MAY BE PLACED, AND THE PROCESS OF MARKING UNDERGROUND UTILITIES MAY BE TRACKED BY USING THE ONLINE LOCATION REQUEST PROGRAM, EXACTIX OR, THE EXCAVATOR MAY CALL 811 TO PLACE THE LOCATION REQUEST.

- NOTIFY: NOTIFY 811 ONLINE WITH EXACTIX OR BY CALLING 811.
- WAIT: AT LEAST TWO DAYS FOR UTILITIES TO RESPOND (NOT INC. THE DAY YOU CALL).
- CONFIRM: CHECK THAT ALL UTILITIES HAVE RESPONDED.
- RESPECT: ADHERE TO UTILITY MARKS AND FLAGS.
- DIG WITH CAUTION: DIG CAREFULLY AROUND BURIED UTILITIES.

PROPERTY ADDRESS:

 EASTCHESTER, NY 10709
 (TOWN OF EASTCHESTER)

S-B-L:

CLIENT:

DATE: 02.26.2024 **ISSUE:** FOR REVIEW
 06.03.2024 FOR REVIEW
 06.17.2024 PER B.D. COMMENTS

PROJECT NAME: PROPOSED POOL AND DECK

DRAWING NAME: COVER SHEET

DRAWING NUMBER: C-01

DATE: 02.26.2024

SCALE: AS NOTED

NOTE: THIS DRAWING IS VALID FOR CONSTRUCTION IF (AND ONLY IF) A PERMIT IS ISSUED, BASED ON THIS DRAWING, BY THE TOWN OF EASTCHESTER.

ADDRESS:	ZONE	F5	MUNICIPALITY:	TOWN OF EASTCHESTER	TAXID:
	REQUIRED	EXISTING	PROPOSED		
LOT/AREA (SF)		5,000	9,840	NO CHANGE	
LOT/FRONTAGE (FT)		50	93	NO CHANGE	
YARD SETBACK (SF)		30	20.5	NO CHANGE	
FRONT YARD		25		NO CHANGE	
FIRST SIDE YARD		8		NO CHANGE	
SECOND SIDE YARD		5		NO CHANGE	
SIDE YARD ADJOINING STREET		NOT APPLICABLE		NO CHANGE	

PRINCIPAL BUILDING INFORMATION	
GROSS FLOOR AREA (SF)	NO CHANGE
BUILDING HEIGHT	NO CHANGE
STORES	NO CHANGE
HEIGHT TO PRINCIPAL EAVE (FT)	NO CHANGE
HEIGHT TO HIGHEST ROOF EDGE (FT)	NO CHANGE

BUILDING COVERAGE	
MAXIMUM COVERAGE (SF)	3,900
MINIMUM COVERAGE (SF)	2,981
IMPERVIOUS SURFACE COVERAGE	3,901

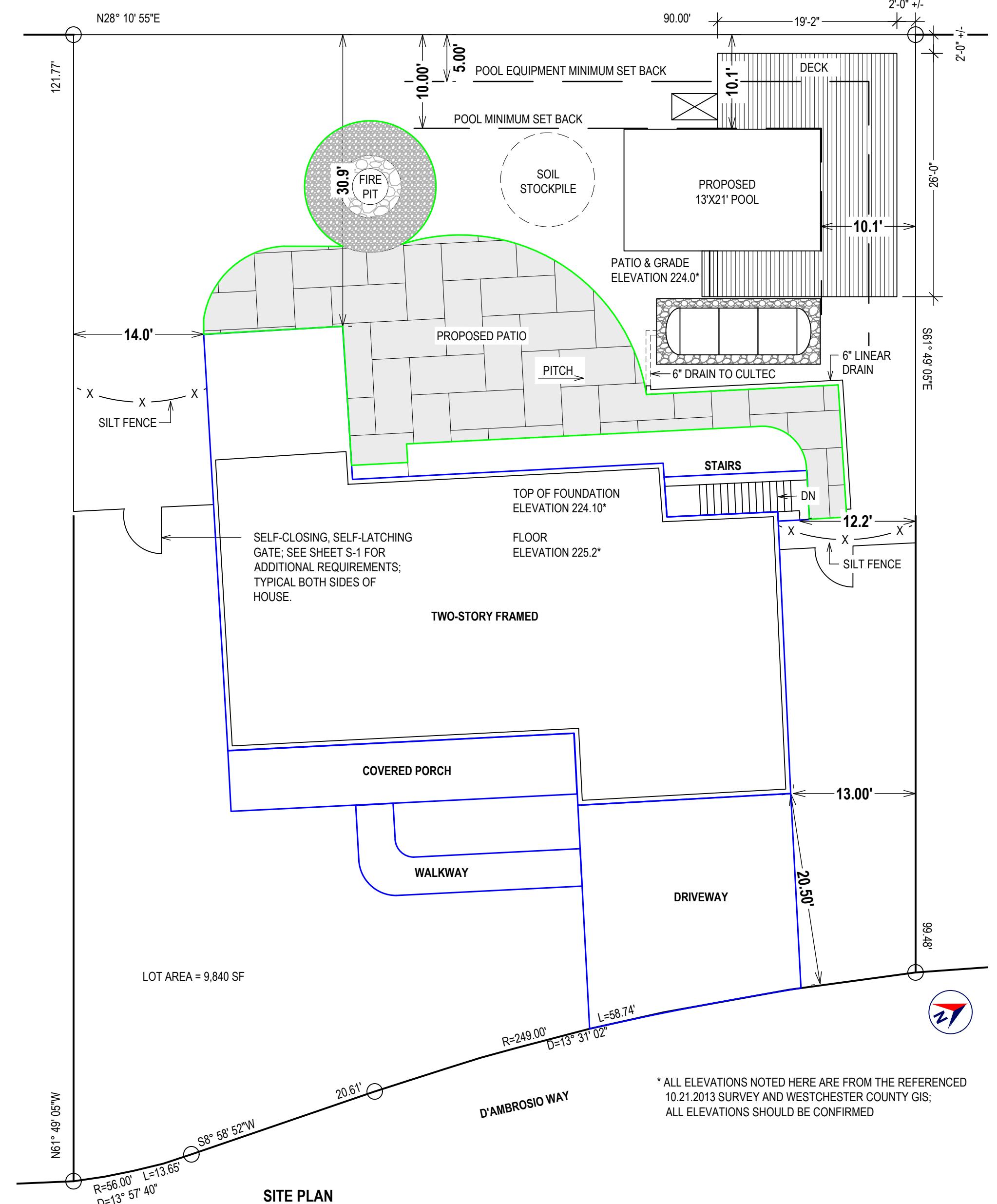
SWIMMING POOLS

MINIMUM SETBACK REQUIREMENTS FOR POOLS

SIDE YARD SETBACK (FT)	10	NA	10.2
REAR YARD SETBACK (FT)	10	NA	10.5
DISTANCE TO PRINCIPAL BUILDING (FT)	10	NA	22

MINIMUM SETBACK REQUIREMENTS FOR POOL EQUIPMENT

FIRST SIDE YARD SETBACK (FT)	5	NA	20
SECOND SIDE YARD SETBACK (FT)	5	NA	60
SIDE YARD ADJOINING STREET (FT)	NOT APPLICABLE		
REAR YARD SETBACK (FT)	5	NA	6



EXISTING IMPERMEABLE SURFACES
NEW IMPERMEABLE SURFACES

IMPERMEABLE COVERAGE - FOR ZONING	
ALLOWABLE COVERAGE CALCULATION:	
LOT AREA:	9,840 S.F.
MAX. IMPERVIOUS SURFACE COVERAGE (3,375 SF PLUS 25% OF LOT AREA IN EXCESS OF 7,500 SF):	3,980 S.F.
EXISTING:	
TWO-STORY FRAMED	2,050 S.F.
COVERED PORCH	241 S.F.
WALKWAY	115 S.F.
DRIVEWAY	507 S.F.
STAIRS	68 S.F.
TOTAL EXISTING	2,981 S.F.
ADDITIONAL PROPOSED:	
FIRE PIT (TO BE LEGALIZED)	120 S.F.
PROPOSED PATIO (TO BE LEGALIZED)	832 S.F.
TOTAL ADDITIONAL PROPOSED:	952 S.F.
TOTAL EXISTING:	2,981 S.F.
TOTAL ADDITIONAL PROPOSED (TO BE LEGALIZED):	952 S.F.
< ALLOWABLE (3,980 S.F.)	3,931 S.F.

STORMWATER MANAGEMENT

INCREASE IMPERVIOUS SURFACE AREA = 971 SF
50 YEAR STORM = 7.55" RAINFALL

950 SF X 0.235 (EASTCHESTER'S MULTIPLIER) = 224 CUBIC FEET OF RAINWATER STORAGE REQUIRED;
SEE SHEET S.02

SITE WORK

EXCAVATION SAFETY:

THE CONTRACTOR SHALL BE COMPLY WITH THE TRENCHING AND EXCAVATION REQUIREMENTS OF 29 CFR 1926.651 AND 1926.652 OR COMPARABLE OSHA-APPROVED STATE PLAN REQUIREMENTS.

TRENCHES 5 FEET DEEP OR GREATER REQUIRE A PROTECTIVE SYSTEM UNLESS THE EXCAVATION IS MADE ENTIRELY IN STABLE ROCK.

THE CONTRACTOR SHALL HAVE A COMPETENT PERSON INSPECT EXCAVATIONS DAILY AND AS CONDITIONS CHANGE TO ENSURE ELIMINATION OF EXCAVATION HAZARDS.

A COMPETENT PERSON IS AN INDIVIDUAL WHO IS CAPABLE OF IDENTIFYING EXISTING AND PREDICTABLE HAZARDS OR WORKING CONDITIONS THAT ARE HAZARDOUS, UNSANITARY, OR DANGEROUS TO WORKERS, SOIL TYPES AND PROTECTIVE SYSTEMS REQUIRED, AND WHO IS AUTHORIZED TO TAKE PROMPT CORRECTIVE MEASURES TO ELIMINATE THESE HAZARDS AND CONDITIONS.

EXCAVATION - LOCATING UTILITIES - CALL 811:

NEW YORK STATE LAW (16 NYCRR PART 753) REQUIRES ALL EXCAVATORS TO PLACE A LOCATION REQUEST WITH DIG SAFELY NEW YORK AT LEAST TWO (2) FULL WORKING DAYS, BUT NO MORE THAN 10 WORKING DAYS BEFORE BEGINNING AN EXCAVATION PROJECT IN ORDER TO ENSURE ALL UNDERGROUND UTILITY LINES ARE PROPERLY MARKED BY THEIR OWNERS.

A LOCATION REQUEST MAY BE PLACED, AND THE PROCESS OF MARKING UNDERGROUND UTILITIES MAY BE TRACKED, BY USING THE ONLINE LOCATION REQUEST PROGRAM, EXACTIX. OR, THE EXCAVATOR MAY CALL 811 TO PLACE THE LOCATION REQUEST.

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- CONFIRM: CHECK ALL UTILITIES HAVE RESPONDED.
- RESPECT: ADHERE TO UTILITY MARKS AND FLAGS.
- DIG W/CAUTION: DIG CAREFULLY AROUND BURIED UTILITIES.

NOTE:

THE TOWN OF EASTCHESTER MAY REQUIRE THE CONTRACTOR TO PROVIDE A "DIG SAFELY" CODE 753 CASE NUMBER.

EROSION CONTROL:

THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYS DEC) PROVIDES MINIMUM STANDARDS AND SPECIFICATIONS FOR THE CONTROL OF STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.

EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, WITH ALL RELEVANT REGULATIONS OF THE TOWN OF EASTCHESTER AND AS FOLLOWS:

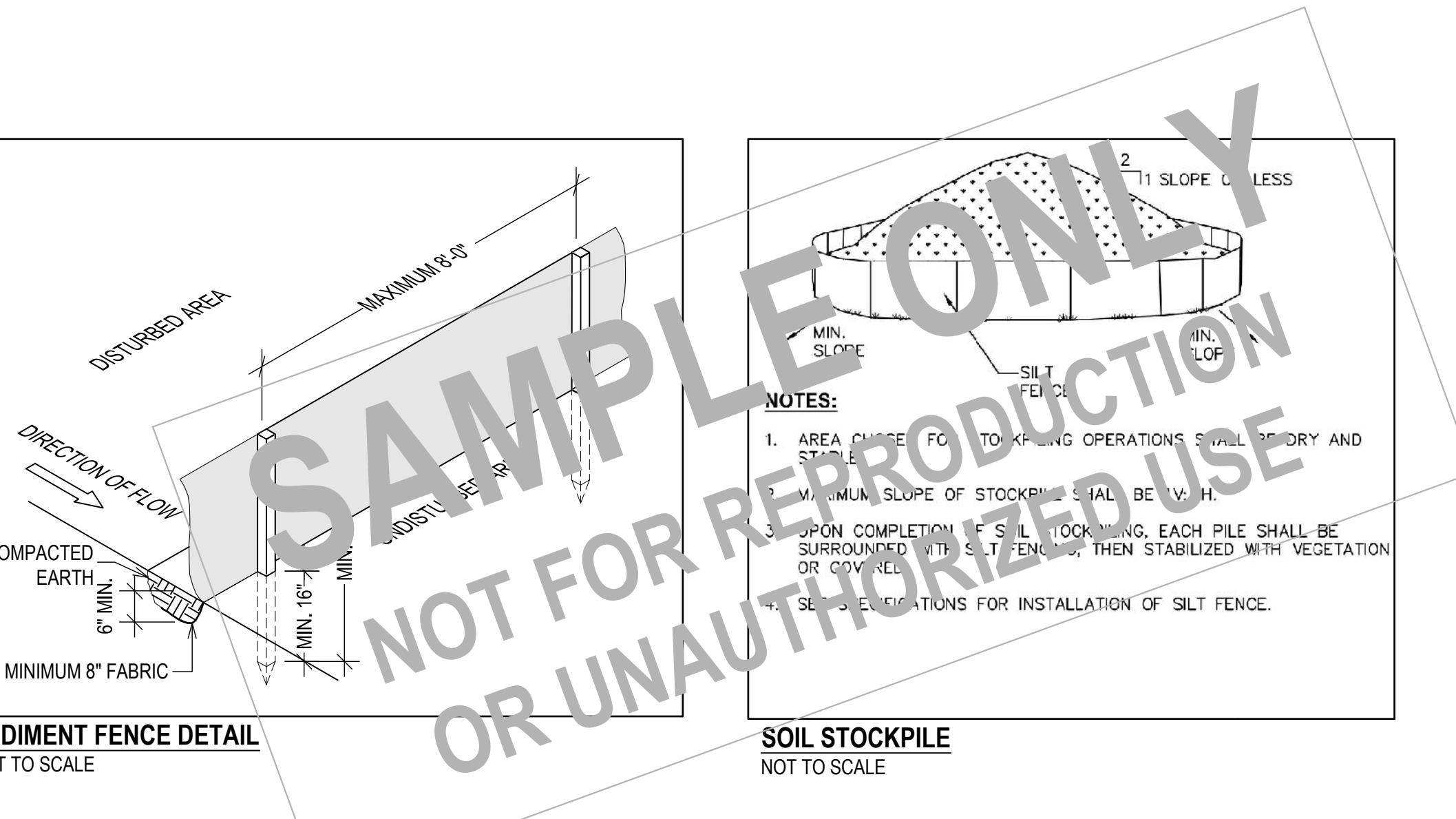
THE SILT FENCE SHALL BE INSTALLED BEFORE UP-SLOPE GROUND COVER IS REMOVED.

FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE; A RUN OF SILT FENCE SHOULD FOLLOW THE CONTOUR AS CLOSELY AS POSSIBLE WITH THE ENDS TURNED UPSLOPE TO POND WATER BEHIND THE FENCE.

THE SILT FENCE FABRIC SHOULD BE BURIED AT LEAST 6" DEEP AND HAVE A TOTAL OF 8" (MINIMUM) FABRIC BELOW THE GROUND.

STAKES SHALL BE A MINIMUM OF 2X2 NOMINAL (1 1/2" X 1 1/2" ACTUAL) HARDWOOD AND OF SOUND QUALITY; THE STAKES SHALL BE PLACED ON THE DOWN-SLOPE SIDE OF THE GEOTEXTILE AND AT A MAXIMUM SPACING OF 8'-0" ON CENTER.

THE APPLICANT AND/OR CONTRACTOR SHALL ESTABLISH EROSION CONTROL AS NOTED IN THESE DRAWINGS AND SHALL MAINTAIN EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION UNTIL SUCH TIME THAT THE BUILDING INSPECTOR KEEPS THE LAND TO BE STABLE.



PROPERTY ADDRESS:

EASTCHESTER, NY 10709
(TOWN OF EASTCHESTER)

S-B-L:

CLIENT:

DATE: 02.26.2024
ISSUE: FOR REVIEW
06.03.2024
FOR REVIEW
06.17.2024 PER B.D. COMMENTS

PROJECT NAME:
PROPOSED POOL AND DECK

DRAWING NAME:
SITE PLAN

DRAWING NUMBER:
S-01

DATE: 02.26.2024
SCALE: AS NOTED

NOTE:
THIS DRAWING IS VALID FOR
CONSTRUCTION IF (AND ONLY IF) A
PERMIT IS ISSUED, BASED ON THIS
DRAWING, BY THE TOWN OF
EASTCHESTER.

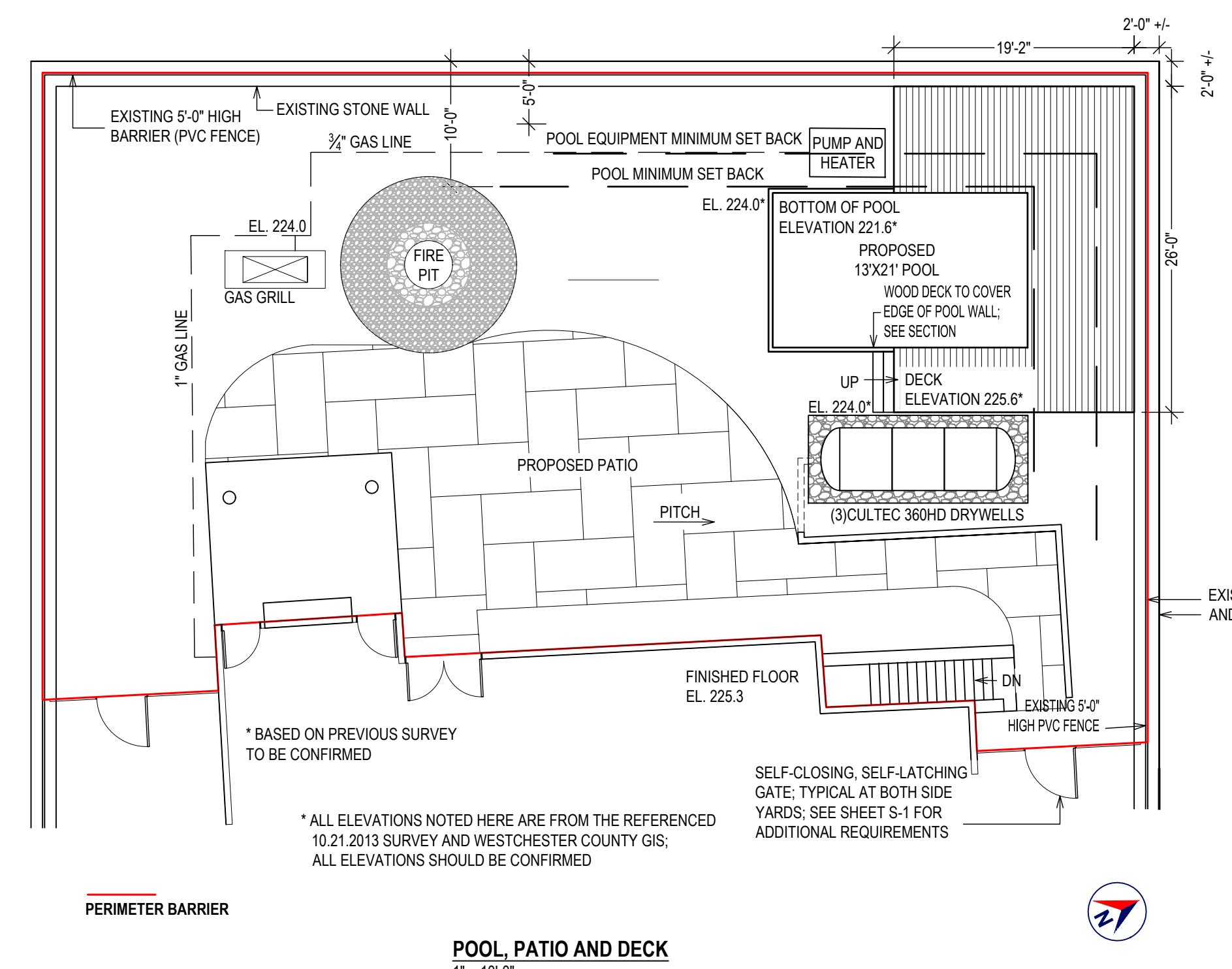
POOL PERMIT REQUIREMENTS:

1. THE PORTION OF THE PREMISES UPON WHICH THE POOL IS LOCATED SHALL BE ENTIRELY SURROUNDED AND ENCLOSED WITH A SECURITY FENCE (BARRIER INDICATED)
2. THE FENCE SHALL HAVE A HEIGHT OF NOT LESS THAN FOUR FEET ABOVE GRADE MEASURED ON THE SIDE OF THE BARRIER THAT FACES AWAY FROM THE SWIMMING POOL. THE VERTICAL CLEARANCE BETWEEN GRADE AND THE BOTTOM OF THE BARRIER SHALL BE NOT GREATER THAN 2 INCHES MEASURED ON THE SIDE OF THE BARRIER THAT FACES AWAY FROM THE SWIMMING POOL.
3. EVERY GATE OR OTHER OPENING IN THE FENCE ENCLOSING THE POOL SHALL BE SELF-CLOSING AND SELF-LATCHING AND SHALL BE KEPT SECURELY LOCKED AT ALL TIMES WHEN THE POOL IS NOT IN USE. THE LATCH HANDLE SHALL BE LOCATED WITHIN THE ENCLOSURE (I.E., ON THE POOL SIDE OF THE ENCLOSURE) AND AT LEAST 40 INCHES ABOVE GRADE. IN ADDITION, IF THE LATCH HANDLE IS LOCATED LESS THAN 54 INCHES FROM GRADE, THE LATCH HANDLE SHALL BE LOCATED AT LEAST 3 INCHES BELOW THE TOP OF THE GATE, AND NEITHER THE GATE NOR THE BARRIER SHALL HAVE ANY OPENING GREATER THAN $\frac{1}{2}$ INCH WITHIN 18 INCHES OF THE LATCH HANDLE. ALL GATES SHALL BE SECURELY LOCKED WITH A KEY, COMBINATION OR OTHER CHILD-PROOF LOCK SUFFICIENT TO PREVENT ACCESS TO THE SWIMMING POOL THROUGH SUCH GATE WHEN THE SWIMMING POOL IS NOT IN USE OR SUPERVISED.
4. A WALL OR WALLS OF A DWELLING MAY SERVE AS PART OF THE BARRIER, PROVIDED THAT THE WALL OR WALLS MEET THE APPLICABLE BARRIER REQUIREMENTS AND ONE OF THE FOLLOWING CONDITIONS SHALL BE MET:
 1. DOORS WITH DIRECT ACCESS TO THE POOL THROUGH THE DWELLING SHALL BE EQUIPPED WITH AN ALARM THAT PRODUCES AN AUDIBLE WARNING WHEN THE DOOR AND/OR ITS SCREEN, IF PRESENT, ARE OPENED. THE ALARM SHALL BE LISTED IN ACCORDANCE WITH UL 2017. THE AUDIBLE ALARM SHALL ACTIVATE WITHIN 7 SECONDS AND SOUND CONTINUOUSLY FOR A MINIMUM OF 30 SECONDS AFTER THE DOOR AND/OR ITS SCREEN, IF PRESENT, ARE OPENED AND BE CAPABLE OF BEING HEARD THROUGHOUT THE HOUSE DURING NORMAL HOUSEHOLD ACTIVITIES. THE ALARM SHALL AUTOMATICALLY RESET AFTER ALL CONDITIONS. THE ALARM SYSTEM SHALL BE EQUIPPED WITH A MANUAL MEANS, SUCH AS TOUCH PAD OR SWITCH, TO TEMPORARILY DEACTIVATE THE ALARM FOR A SINGLE OPENING. DEACTIVATION SHALL LAST FOR NOT MORE THAN 15 SECONDS; AND;
 2. OPERABLE WINDOWS IN THE WALL OR WALLS USED AS A BARRIER SHALL HAVE A LATCHING DEVICE LOCATED NO LESS THAN 48 INCHES ABOVE THE FLOOR. OPENINGS IN OPERABLE WINDOWS SHALL NOT ALLOW A 4-INCH-DIAMETER SPHERE TO PASS THROUGH THE OPENING WHEN THE WINDOW IS IN ITS LARGEST OPENED POSITION; AND;
 3. WHERE THE DWELLING IS WHOLLY CONTAINED WITHIN THE POOL BARRIER OR ENCLOSURE, ALARMS SHALL BE PROVIDED AT EVERY DOOR WITH DIRECT ACCESS TO THE POOL, OR; OTHER APPROVED MEANS OF PROTECTION, SUCH AS SELF-CLOSING WITH SELF-LATCHING DEVICES, SO LONG AS THE DEGREE OF PROTECTION AFFORDED IS NOT LESS THAN THE PROTECTION AFFORDED BY ITEMS 1, 2 OR 3 DESCRIBED ABOVE.
5. THE SECURITY FENCE, OR A TEMPORARY BARRIER APPROVED BY THE BUILDING INSPECTOR, SHALL BE ERECTED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF THE POOL, AND SHALL BE KEPT IN PLACE AT ALL TIMES THAT THE POOL IS MAINTAINED ON THE PROPERTY. THE TEMPORARY BARRIER SHALL BE REPLACED BY A COMPLYING PERMANENT BARRIER WITHIN EITHER OF THE FOLLOWING PERIODS:
 1. 90 DAYS OF THE DATE OF ISSUANCE OF THE BUILDING PERMIT FOR THE INSTALLATION OR CONSTRUCTION OF THE SWIMMING POOL; OR
 2. 90 DAYS OF THE DATE OF COMMENCEMENT OF THE INSTALLATION OR CONSTRUCTION OF THE SWIMMING POOL. SUBJECT TO THE APPROVAL OF THE BUILDING OFFICIAL, THE TIME PERIOD FOR COMPLETION OF THE PERMANENT BARRIER MAY BE EXTENDED FOR GOOD CAUSE, INCLUDING, BUT NOT LIMITED TO, ADVERSE WEATHER CONDITIONS DELAYING CONSTRUCTION.
6. IN THE EVENT THAT THE POOL IS TO BE REMOVED, THE FENCE SHALL BE REMOVED ONLY AFTER DEMOLITION OF THE POOL IS COMPLETE AND THE AREA RESTORED TO A NON-HAZARDOUS CONDITION.
7. THE POOL SHALL BE CHEMICALLY TREATED IN A MANNER SUFFICIENT TO MAINTAIN THE BACTERIAL STANDARDS ESTABLISHED BY THE PROVISIONS OF THE NEW YORK STATE SANITARY CODE RELATING TO PUBLIC SWIMMING POOLS.
8. NO LOUDSPEAKER OR AMPLIFYING DEVICE SHALL BE PERMITTED WHICH CAN BE HEARD BEYOND THE LOT LINES OF THE LOT ON WHICH THE POOL IS LOCATED.
9. NO LIGHTING OR SPOTLIGHTING SHALL BE PERMITTED WHICH WILL PROJECT LIGHT RAYS BEYOND THE LOT LINES OF THE LOT ON WHICH THE POOL IS LOCATED.
10. THE POOL SHALL BE EQUIPPED WITH AN INTEGRAL FILTRATION SYSTEM AND FILTER PUMPS OR OTHER MECHANICAL DEVICES WHICH SHALL BE SO LOCATED AND CONSTRUCTED AS NOT TO INTERFERE WITH THE PEACE, COMFORT AND REPOSE OF THE OCCUPANT OF ANY ADJOINING PROPERTY.

POOL:

THIS POOL SHALL BE CONSTRUCTED AND INSTALLED PER SECTION 326 OF THE RESIDENTIAL CODE AND IN CONFORMANCE WITH ANSI/AI/NSPIRC 5 (AMERICAN NATIONAL STANDARD FOR RESIDENTIAL INGROUND SWIMMING POOLS, 2011). THE POOL SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

THE MANUFACTURER OF THE POOL IS:
 POOL FACTORY/PLAYGO POOL PRODUCTS
 92 SOUTH EMPIRE STREET
 WILKES-BARRE, PA 18702
 (570) 606-1143
 www.playgopools.com



USER INPUTS

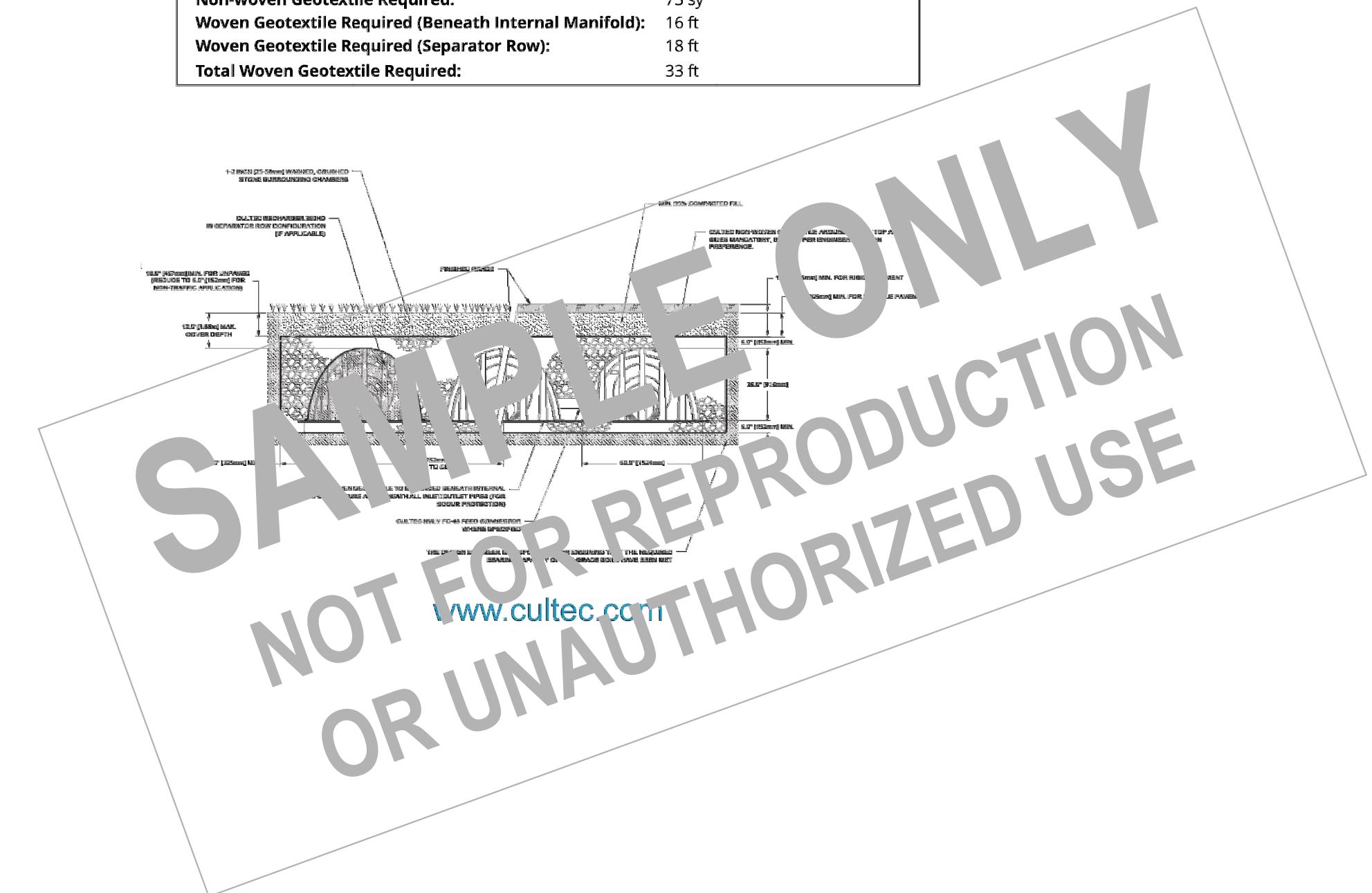
Project Name: D'Ambrosio
 Engineer: undefined Vin
 Project Location: New York
 Measurement Type: Imperial
 Chamber Model: Recharger 360HD
 Required Storage Volume: 228 cf
 Available Length: 20 ft
 Available Width: 8 ft
 Stone Above Chambers: 6 in
 Stone Below Chambers: 6 in
 Base Stone Elevation: -5 ft
 Stone Porosity: 40%
 Maximum Allowable Finished Grade: 10.50 ft
 Minimum Allowable Finished Grade: 0 ft
 Outlet Control Structure: Yes

RESULTS

Installed Storage Volume: 247.35 cf
 Storage Volume Per Chamber: 36.67 cf
 Chamber Rows: 1
 Maximum Length: 15.50 ft
 Maximum Width: 7 ft
 Approx. Bed Area Required: 108.50 sf

SYSTEM COMPONENTS - NOT FOR CONSTRUCTION

Number of Chambers Required: 3
 Number of End Caps Required: 2
 Number of Feed Connectors Required: 0
 Amount of Stone Required: 12 cy
 Volume of Excavation (Not Including Fill): 17 cy
 Non-woven Geotextile Required: 73 sy
 Woven Geotextile Required (Beneath Internal Manifold): 16 ft
 Woven Geotextile Required (Separator Row): 18 ft
 Total Woven Geotextile Required: 33 ft



**SAMPLE ONLY
 NOT FOR REPRODUCTION
 OR UNAUTHORIZED USE**
www.cultec.com

PROPERTY ADDRESS:

 EASTCHESTER, NY 10709
 (TOWN OF EASTCHESTER)

S-B-L:

CLIENT:

DATE: 02.26.2024 ISSUE: FOR REVIEW
 06.03.2024 FOR REVIEW
 06.17.2024 PER B.D. COMMENTS

PROJECT NAME: PROPOSED POOL AND DECK

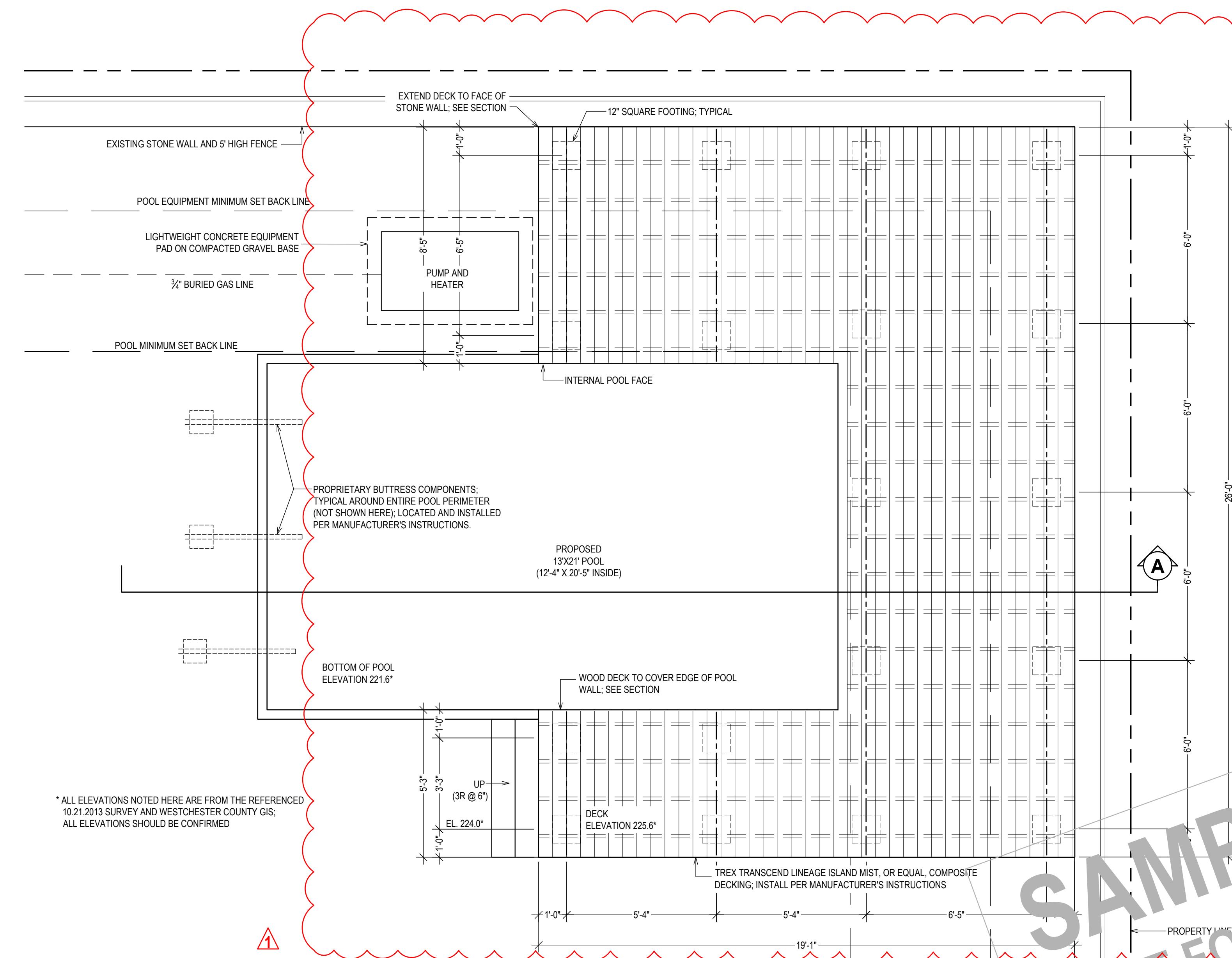
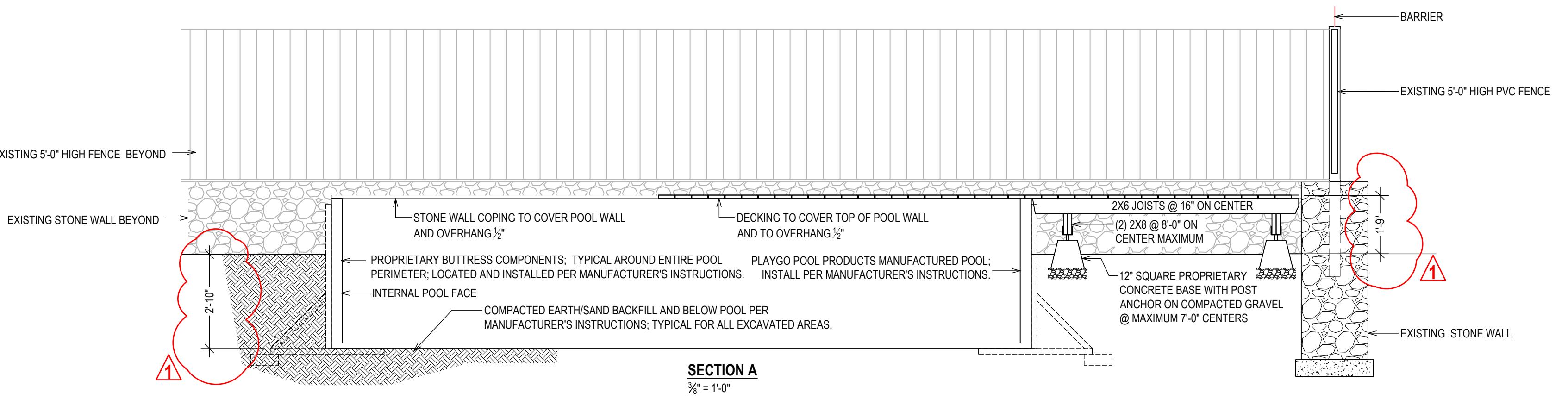
DRAWING NAME: POOL DECK & PATIO

DRAWING NUMBER: S-02

DATE: 02.26.2024

SCALE: AS NOTED

NOTE:
 THIS DRAWING IS VALID FOR CONSTRUCTION IF (AND ONLY IF) A PERMIT IS ISSUED, BASED ON THIS DRAWING, BY THE TOWN OF EASTCHESTER.



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* ALL ELEVATIONS NOTED HERE ARE FROM THE REFERENCED 10.21.2013 SURVEY AND WESTCHESTER COUNTY GIS.
 ALL ELEVATIONS SHOULD BE CONFIRMED