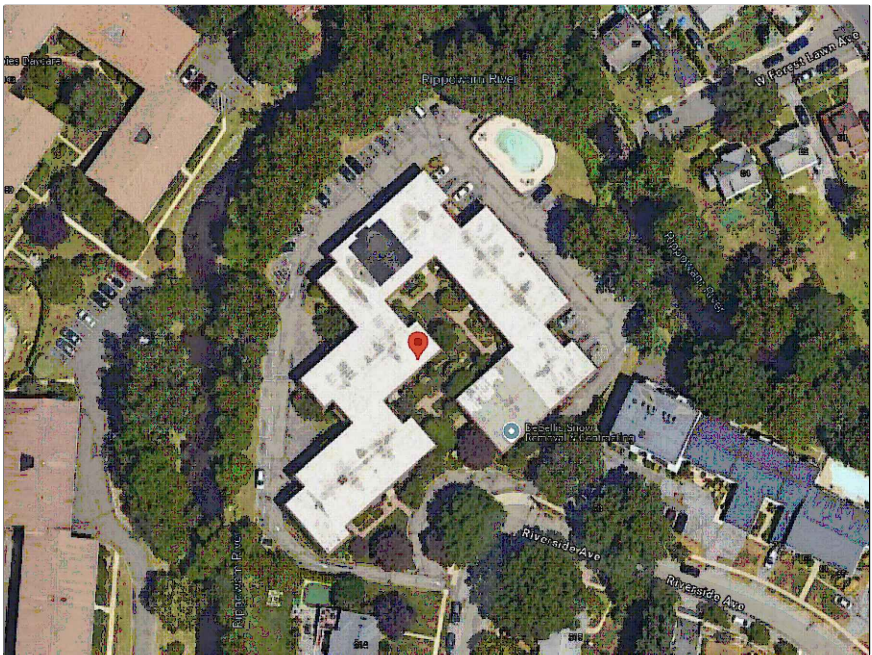
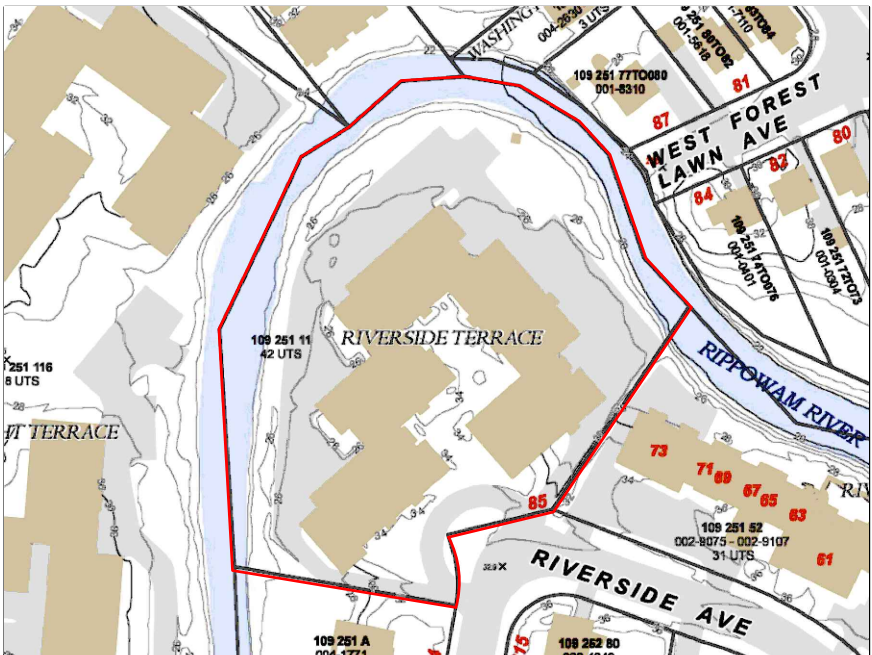


LOCATION
GOOGLE MAPS
***, STAMFORD



SATELLITE VIEW
GOOGLE EARTH



TAX MAP
STAMFORD GIS
TAX ID: ***



FRONT VIEW
GOOGLE STREET VIEW

THIS DRAWING IS AS A SAMPLE ONLY
*** PERSONAL (CLIENT) INFORMATION WITHHELD

1.0 GENERAL REQUIREMENTS:

1.1 SCOPE OF WORK:
REMODEL KITCHEN AND REMOVE WALL

1.2 DESIGN INTENT:
IT IS THE INTENT OF THESE DRAWINGS TO CALL FOR COMPLETE AND FINISHED WORK, IN COMPLIANCE WITH THE NOTED CODES, AND TESTED AND GUARANTEED AND READY FOR OPERATION.
THE ENGINEER HAS NOT BEEN ENGAGED TO SUPERVISE ANY WORK AND DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

1.3 CLASSIFICATION:
THIS IS A PROPOSED ALTERATION LEVEL 2, AS DEFINED IN THE EXISTING BUILDING CODE, SECTION 603.1 (MAY INCLUDE THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT), AND SHALL COMPLY WITH THE PROVISIONS OF CHAPTERS 7 AND 8 OF THAT CODE.
ALL PROPOSED WORK IS INSIDE THE EXISTING BUILDING ENVELOPE.
CONSTRUCTION TYPE: WOOD FRAMED, AS DEFINED IN TABLE 601
YEAR BUILT: 1971 (PER ZILLOW)
ZONING: R-5
OCCUPANCY CLASSIFICATION: RESIDENTIAL

ARCHITECTURAL REVIEW:
THE PROPOSED ALTERATION WILL NOT SUBSTANTIALLY CHANGE THE EXTERIOR CHARACTER AND APPEARANCE OF THE BUILDING OR STRUCTURE.

1.4 COMPLIANCE:
ALL WORK SHALL BE IN COMPLIANCE WITH THE FOLLOWING CODES:

- GENERAL: 2021 INTERNATIONAL BUILDING CODE PORTION OF THE 2022 CONNECTICUT STATE BUILDING CODE (INTERNATIONAL BUILDING CODE 2021 WITH AMENDMENTS) PER R101.1, THIS CODE IS PART OF THE CONNECTICUT STATE UNIFORM FIRE PREVENTION AND BUILDING CODE (THE "UNIFORM CODE").
- EXISTING: 2021 INTERNATIONAL EXISTING BUILDING CODE PORTION OF THE 2022 CONNECTICUT STATE BUILDING CODE (INTERNATIONAL EXISTING BUILDING CODE 2021 WITH AMENDMENTS).
- PLUMBING: NOT APPLICABLE TO THESE DRAWINGS.
- ELECTRICAL: NOT APPLICABLE TO THESE DRAWINGS.
- DRAINAGE NOT APPLICABLE TO THESE DRAWINGS.
- MUNICIPAL: CODE OF THE CITY OF STAMFORD.
- OTHER: ALL REFERENCED CODES, OTHER CODES AND REGULATIONS, FEDERAL, STATE AND LOCAL, THAT MAY APPLY.

1.4 AUTHORITY HAVING JURISDICTION:
THE AUTHORITY HAVING JURISDICTION, AS DEFINED IN SECTION 103.1 OF THE RESIDENTIAL CODE, AND WHICH SHALL PROVIDE FOR ADMINISTRATION AND ENFORCEMENT OF THE UNIFORM CODE AND ENERGY CODE BY LOCAL LAW, ORDINANCE, OTHER APPROPRIATE REGULATION, OR COMBINATION THEREOF, IS THE CITY OF STAMFORD.
THE DULY APPOINTED BUILDING OFFICIAL OF THE CITY OF STAMFORD IS AUTHORIZED TO ENFORCE THE PROVISIONS OF THE CODE.
THE BUILDING OFFICIAL MAY ADOPT POLICIES AND PROCEDURES IN ORDER TO CLARIFY THE APPLICATION OF THE PROVISIONS OF THE CODE. SUCH POLICIES AND PROCEDURES SHALL BE IN COMPLIANCE WITH THE INTENT AND PURPOSE OF THE CODE.

2.0 DESIGN CRITERIA:

2.1 DEAD LOAD:
PER 301.4, THE ACTUAL WEIGHTS OF MATERIALS AND CONSTRUCTION SHALL BE USED FOR DETERMINING DEAD LOAD; THE FOLLOWING APPROXIMATIONS (IN PSF) ARE USED FOR THIS PROJECT:
USE PSF
FRAMED WALL ASSEMBLY: 15
ROOF /CEILING ASSEMBLY: 20
FLOOR ASSEMBLY: 15
ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.2 LIVE LOAD:
UNIFORMLY DISTRIBUTED LIVE LOADS SHALL BE PER TABLE R301.5 AND AS FOLLOWS* (IN PSF):
USE SF OTHER
UNINHABITABLE SPACE WITHOUT STORAGE: 10 (<42"H, 24"W)
UNINHABITABLE ATTICS W/LIMITED STORAGE: 20
HABITABLE ATTICS & ATTICS W/FIXED STAIRS: 30
EXTERIOR BALCONIES & DECKS: 40
FIRE ESCAPES: 40
GUARDS & HANDRAILS: 200 (CONCENTRATED)
GUARD IN-FILL COMPONENTS: 50 (HORIZONTAL)
PASSENGER VEHICLE GARAGE: 50 (&2,000LB/20SI)
ROOMS OTHER THAN SLEEPING ROOMS: 40
SLEEPING ROOMS: 40
STAIRS: 40 (& 300LB/4SI)
ROOF, PER 301.6 (INC. SNOW): 30
*SOME OF THE LOADS LISTED ABOVE MAY BE HIGHER THAN THOSE REQUIRED PER CODE.
ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.3 WIND LOAD:
WIND LOADS SHALL BE BASED ON THE ULTIMATE DESIGN WIND SPEED LISTED IN TABLE 301.2(1) AND ADJUSTED FOR HEIGHT AND EXPOSURE:
120 MPH. WIND LOADS WILL BE ALLOWED FOR IN: THE DESIGN LOAD PERFORMANCE REQUIREMENTS FOR WALL COVERINGS, ROOF COVERINGS, WINDOWS, SKYLIGHTS AND DOORS.
COMPONENT AND CLADDING LOADS WILL BE PER TABLE R301.2(2)

2.4 ALLOWABLE LIVE LOAD DEFLECTION:
HE ALLOWABLE LIVE LOAD DEFLECTION OF ALL STRUCTURAL MEMBERS, SHALL BE PER TABLE R301.7 AND AS FOLLOWS:
STRUCTURAL MEMBER ALLOWABLE DEFLECTION
RAFTERS HAVING SLOPES GRATER THAN 3:12 WHIT FINISHED
CEILING NOT ATTACHED TO RAFTERS L/180
INTERIOR WALLS AND PARTITIONS H/180
FLOORS L/360
CEILING WITH BRITTLE FINISHES (INCLUDING PLASTER AND STUCCO) L/360
CEILING WITH FLEXIBLE FINISHES (INCLUDING GYPSUM BOARD) L/240
ALL OTHER STRUCTURAL MEMBERS L/240
EXTERIOR WALLS-WIND LOAD WITH PLASTER OR STUCCO FINISHES L/360
EXTERIOR WALLS-WIND LOAD WITH OTHER BRITTLE FINISHES H/240
EXTERIOR WALLS-WIND LOADS WITH FLEXIBLE FINISHES H/120
LINTELS SUPPORTING MASONRY VENEER WALLS L/600

2.5 CLIMATIC AND GEOGRAPHIC CRITERIA
CLIMATIC AND DESIGN CRITERIA FOR THE CITY OF STAMFORD ARE PER TABLE R301.2(1) AND AS FOLLOWS:

PER 2021 RESIDENTIAL CODE OF CONNECTICUT, TABLE 301.2(1)						(WIND) EXPOSURE CATEGORY: B				CLIMATE ZONE: 6A				
GROUND SNOW LOAD	WIND DESIGN					SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDER FLOOR REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	WIND SPEED MPH	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WINDBORNE DEBRIS ZONE	WEATHERING		FROST LINE DEPTH	TERMITES						
30 PSF	120	NO	NO	NO	C	SEVERE	3/4"	MOD/HEAVY	7°	YES	TO BE DETERMINATED	1,500 OR LESS	50°	

3. CONTRACTOR'S RESPONSIBILITIES:

THE CONTRACTOR SHALL:

- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR A COMPLETE AND FINISHED JOB.
- PROVIDE ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.
- OBTAIN AND PAY FOR ALL REQUIRED PERMITS - UNLESS OTHERWISE STIPULATED.
- PRIOR TO THE SUBMISSION OF ANY BID, AND BEFORE PROCEEDING WITH ANY WORK, VISIT THE SITE AND VERIFY AND FAMILIARIZE HIM/HERSELF WITH ALL SITE DIMENSIONS AND CONDITIONS, WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION, METHODS AND ROUTES OF ACCESS, AND THE EXISTENCE AND EXTENT OF ANY OTHER RESTRICTIONS, AND BE RESPONSIBLE FOR THE VERIFICATION OF ALL SUCH CONDITIONS AND DIMENSIONS WHICH PERTAIN TO THE PROJECT.
- BRING ALL DISCREPANCIES IN CONDITIONS AND DIMENSIONS, BETWEEN THE APPROVED DRAWINGS AND ACTUAL FIELD CONDITIONS, TO THE IMMEDIATE ATTENTION OF THE OWNER, AND RECEIVE DIRECTION IN WRITING, BEFORE PROCEEDING WITH THE AFFECTED WORK.
- VERIFY THE AVAILABILITY, LOCATION LAYOUT AND CONDITION OF UTILITIES, INCLUDING SEWER, WATER, GAS AND ELECTRIC LINES, PRIOR TO THE SUBMISSION OF ANY BID.
- HAVE CONTROL OVER AND SUPERVISE AND DIRECT THE WORK, INCLUDING THAT OF ITS SUBCONTRACTORS, AND BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR JOBSITE SAFETY, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, VERIFY THE CONDITION OF ALL ADJOINING STRUCTURES WHICH MAY BE AFFECTED, AND PROVIDE ADEQUATE PROTECTION TO ANY STRUCTURE THAT MIGHT BE OTHERWISE AFFECTED.
- IN THE EVENT THAT DAMAGE IS CAUSED TO ANY STRUCTURE, PART, OR OTHER ELEMENT, RESTORE SUCH ELEMENT TO ITS ORIGINAL CONDITION.
- IF APPLICABLE, PROVIDE WORKER PROTECTION, IN AN EFFECTIVE AND TIMELY MANNER, TO PROTECT THE HOMEOWNER'S PERSONNEL, MATERIALS AND INSTALLED WORK.
- BE A HOME IMPROVEMENT CONTRACTOR WITH A CURRENT LICENSE ISSUED BY THE DEPARTMENT OF CONSUMER PROTECTION OF THE STATE OF CONNECTICUT.
- BE CERTIFIED AS A LEAD-SAFE FIRM BY THE EPA PER 40 CFR 7.5.226.
- CARRY LIABILITY INSURANCE TO THE LIMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION AND ISSUE CERTIFICATES OF INSURANCE AS REQUIRED BY THE HOMEOWNER AND/OR THE AUTHORITY.
- CARRY WORKMAN'S COMPENSATION AND LIABILITY INSURANCE AS REQUIRED BY THE LAW AND AS SUCH CERTIFICATE(S) AS REQUIRED BY THE HOMEOWNER AND/OR THE AUTHORITY HAVING JURISDICTION.

4. BUILDING PERMIT:

NO PERSON OR ENTITY SHALL COMMENCE, PERFORM, OR CONTINUE ANY WORK THAT MUST CONFORM WITH THE UNIFORM CODE AND/OR ENERGY CODE UNLESS:
1. SUCH PERSON OR ENTITY HAS APPLIED TO THE CITY OF STAMFORD FOR A BUILDING PERMIT,
2. THE CITY OF STAMFORD HAS ISSUED A BUILDING PERMIT AUTHORIZING SUCH WORK,
3. SUCH BUILDING PERMIT HAS NOT BEEN REVOKED OR SUSPENDED, AND
4. SUCH BUILDING PERMIT HAS NOT EXPIRED.
THE BUILDING PERMIT IS REQUIRED TO BE VISIBLY DISPLAYED AT THE WORKSITE AND TO REMAIN VISIBLE UNTIL THE PROJECT, AND ALL REQUIRED INSPECTIONS, HAVE BEEN COMPLETED.

THE APPROVED DRAWINGS MUST BE KEPT AT THE WORKSITE AND BE AVAILABLE FOR REVIEW AT THE TIME OF ANY REQUIRED INSPECTIONS.

5. CONSTRUCTION INSPECTIONS:

IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING PERMIT, OR THEIR DULY AUTHORIZED AGENT, TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION:
BUILDING DEPARTMENT OF THE CITY OF STAMFORD
888 WASHINGTON BOULEVARD, 7TH FLOOR
STAMFORD, CT 06901
TEL: (203) 977-4164
EMAIL: buildingdept@stamfordct.gov
WEB SITE: www.choosestamford.com/home-econdev

ANY PERSON OR ENTITY PERFORMING WORK FOR WHICH A BUILDING PERMIT HAS BEEN ISSUED SHALL KEEP SUCH WORK ACCESSIBLE AND EXPOSED UNTIL THE WORK HAS BEEN INSPECTED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION, OR ITS AUTHORIZED AGENT, AT EACH ELEMENT OF THE CONSTRUCTION PROCESS THAT IS APPLICABLE TO THE WORK.

BUILDING PERMIT HOLDERS SHALL BE REQUIRED TO NOTIFY THE BUILDING OFFICIAL OF THE CITY OF STAMFORD WHEN CONSTRUCTION WORK IS READY FOR INSPECTION.
THE BUILDING OFFICIAL SHALL MAKE THE REQUIRED INSPECTIONS OR SHALL HAVE THE AUTHORITY TO ACCEPT WRITTEN REPORTS OF INSPECTION BY APPROVED AGENCIES OR INDIVIDUALS.

REQUIRED INSPECTIONS FOR THIS PROJECT MAY INCLUDE THE FOLLOWING, AS APPLICABLE, OR AS SPECIFIED IN THE CODE ENFORCEMENT PROGRAM OF THE CITY OF STAMFORD (ALL MAY NOT APPLY):

- WORKSITE PRIOR TO THE ISSUANCE OF A PERMIT
- FOOTING/FOUNDATION
- PLUMBING*
- ELECTRICAL*
- MECHANICAL
- FRAMING (SUBSEQUENT TO THE INSPECTION & APPROVAL OF PLUMBING, ELECTRICAL & MECHANICAL)
- FIRE RESISTANT CONSTRUCTION
- FIRE RESISTANT PENETRATIONS
- ENERGY CODE COMPLIANCE
- A FINAL INSPECTION AFTER ALL WORK AUTHORIZED BY THE BUILDING PERMIT HAS BEEN COMPLETED

ANY OTHER INSPECTIONS AS REQUIRED BY THE CITY OF STAMFORD.
A SCHEDULE OF REQUIRED INSPECTIONS IS AVAILABLE FROM THE BUILDING DEPARTMENT.
*THE WORK APPLICABLE TO SOME OF THE ABOVE INSPECTIONS (FOR INSTANCE PLUMBING AND ELECTRICAL) SHALL BE COMPLETED UNDER A SEPARATE PERMIT, FILED BY THE RELEVANT LICENSED CONTRACTORS.

AFTER INSPECTION, THE WORK OR A PORTION THEREOF SHALL BE NOTED AS SATISFACTORY AS COMPLETED, OR THE BUILDING PERMIT HOLDER SHALL BE NOTIFIED AS TO THE MANNER IN WHICH THE WORK FAILS TO COMPLY WITH APPLICABLE CODES, INCLUDING A CITATION OF THE SPECIFIC CODE PROVISION OR PROVISIONS THAT HAVE NOT BEEN MET.

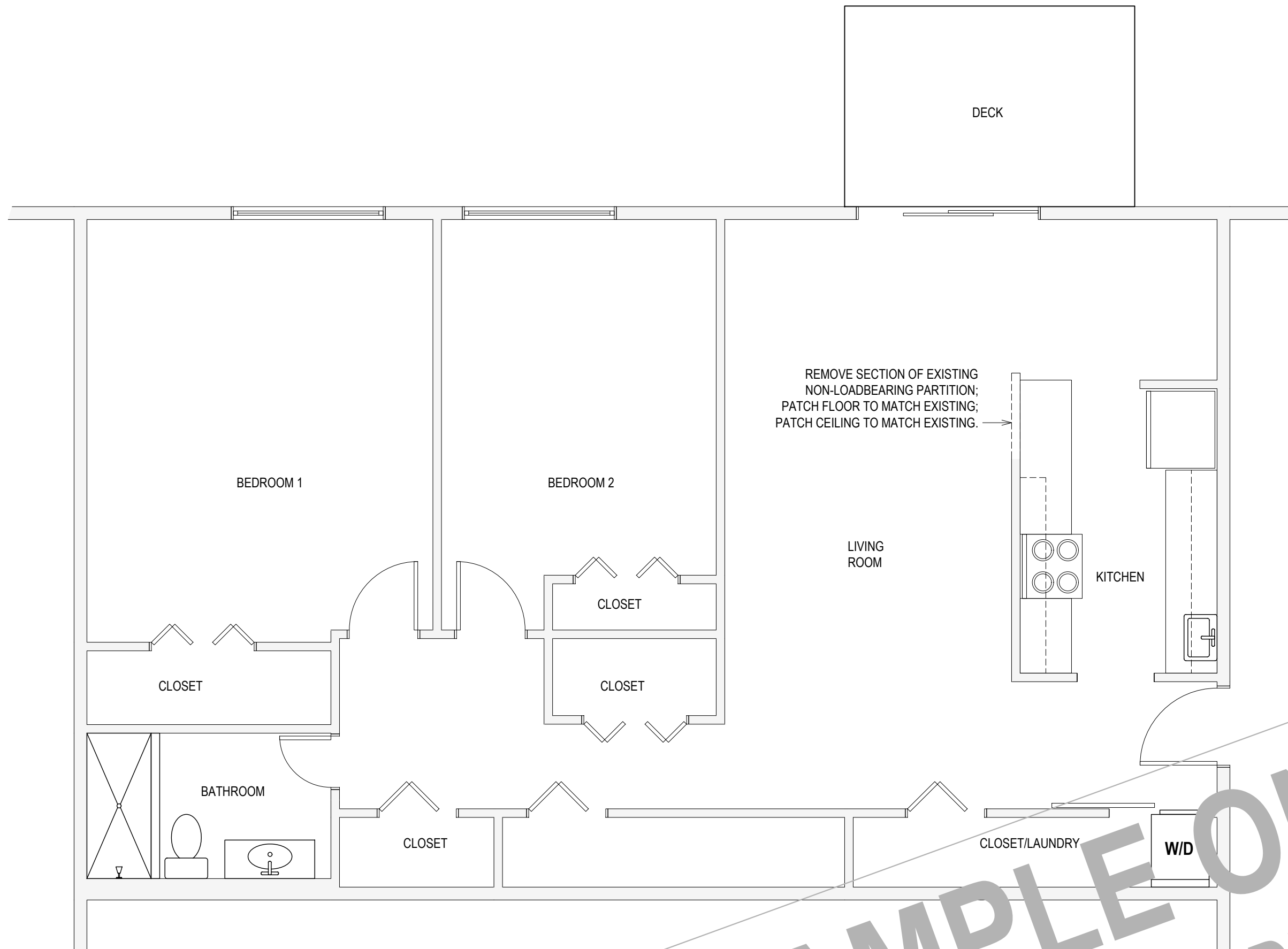
IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO ASCERTAIN THE RESULTS OF REQUIRED INSPECTIONS.

CONSTRUCTION WORK NOT IN COMPLIANCE WITH APPLICABLE CODES SHALL BE REQUIRED TO REMAIN EXPOSED UNTIL IT HAS BEEN BROUGHT INTO COMPLIANCE WITH THE CODES BEING INSPECTED, AND FOUND SATISFACTORY AS COMPLETED.

STATEMENT OF DESIGN PROFESSIONAL:

- THESE PLANS HAVE BEEN PREPARED IN CONFORMANCE WITH THE 2021 BUILDING CODE OF THE STATE OF CONNECTICUT.
 - TO THE BEST OF MY KNOWLEDGE AND PROFESSIONAL JUDGEMENT, THESE PLANS ARE IN CONFORMANCE WITH THE 2021 ENERGY CONSERVATION CODE OF THE STATE OF CONNECTICUT.
- IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND SEAL OF OFFICE, ON THE 09TH DAY OF MAY, 2024, IN THE CITY OF STAMFORD, CONNECTICUT.
VINCENT COAKLEY, P.E.
(STAMP AFFIXED AND SIGNED)

LIST OF DRAWINGS			
SHEET	DRAWING NAME	DATE	REVISION



APARTMENT B-7 FLOOR PLAN
LAYOUT IS SCHEMATIC ONLY
¼" = 1'-0"

SAMPLE ONLY
NOT FOR REPRODUCTION
OR UNAUTHORIZED USE

CLIENT:
*** **

TEL: ***

EMAIL: ***

PROPERTY ADDRESS:

STAMFORD, CT 06905

JURISDICTION:
CITY OF STAMFORD

TAX ID:

DATE: **09.05.2024** ISSUE: **PRELIMINARY**

PROJECT NAME:
REMOVE WALL

DRAWING NAME:
CONSTRUCTION PLAN

DRAWING NUMBER:
S-01

DATE:
09.05.2024

SCALE:
AS NOTED

NOTE:
THIS DRAWING IS VALID FOR
CONSTRUCTION IF (AND ONLY IF) A
PERMIT IS ISSUED, BASED ON THIS
DRAWING, BY THE **CITY OF
STAMFORD**.