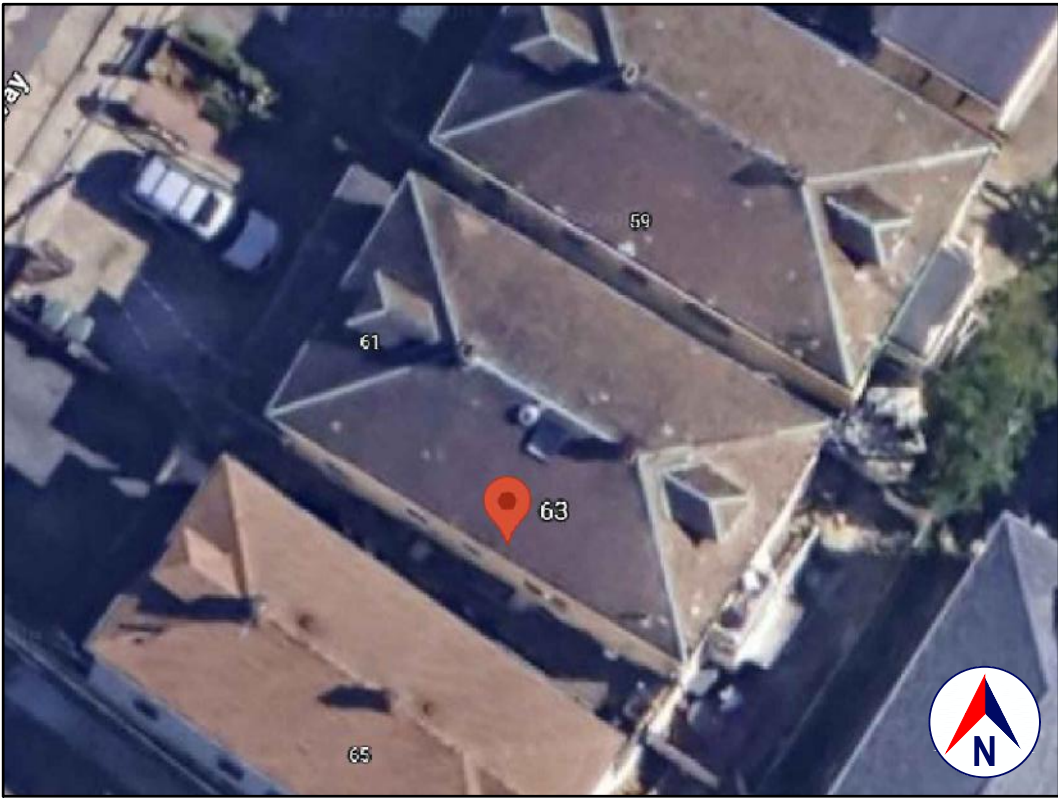
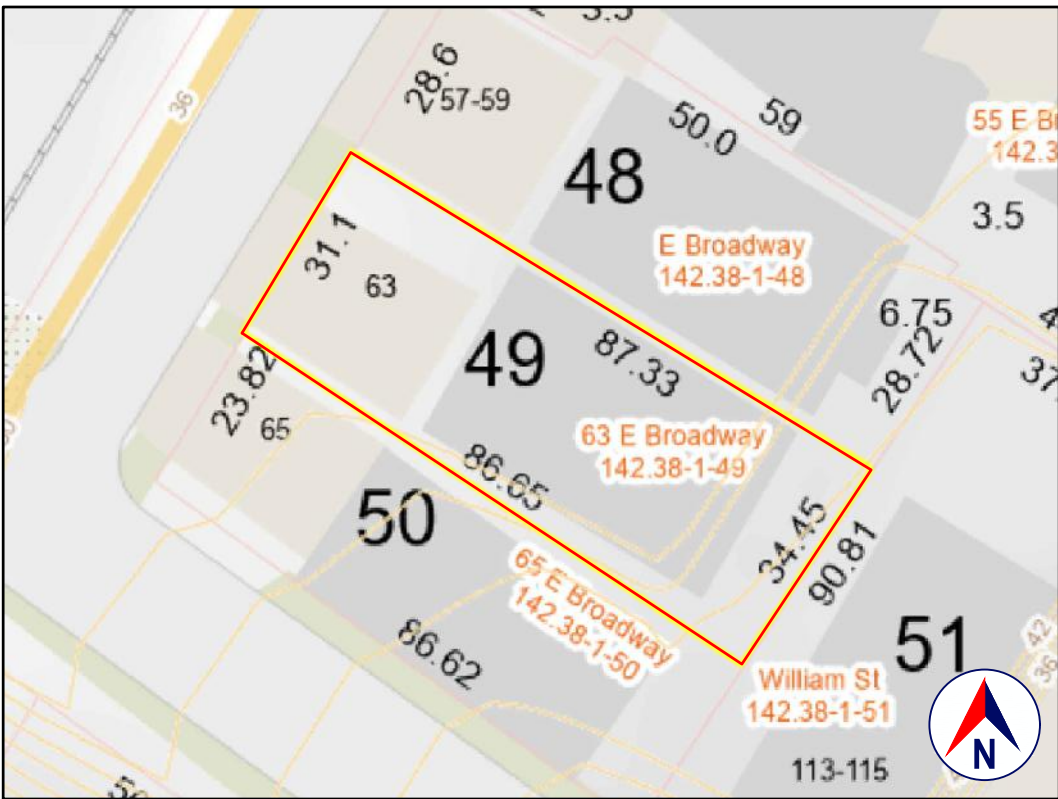


LOCATION
GOOGLE MAPS

***, PORT CHESTER

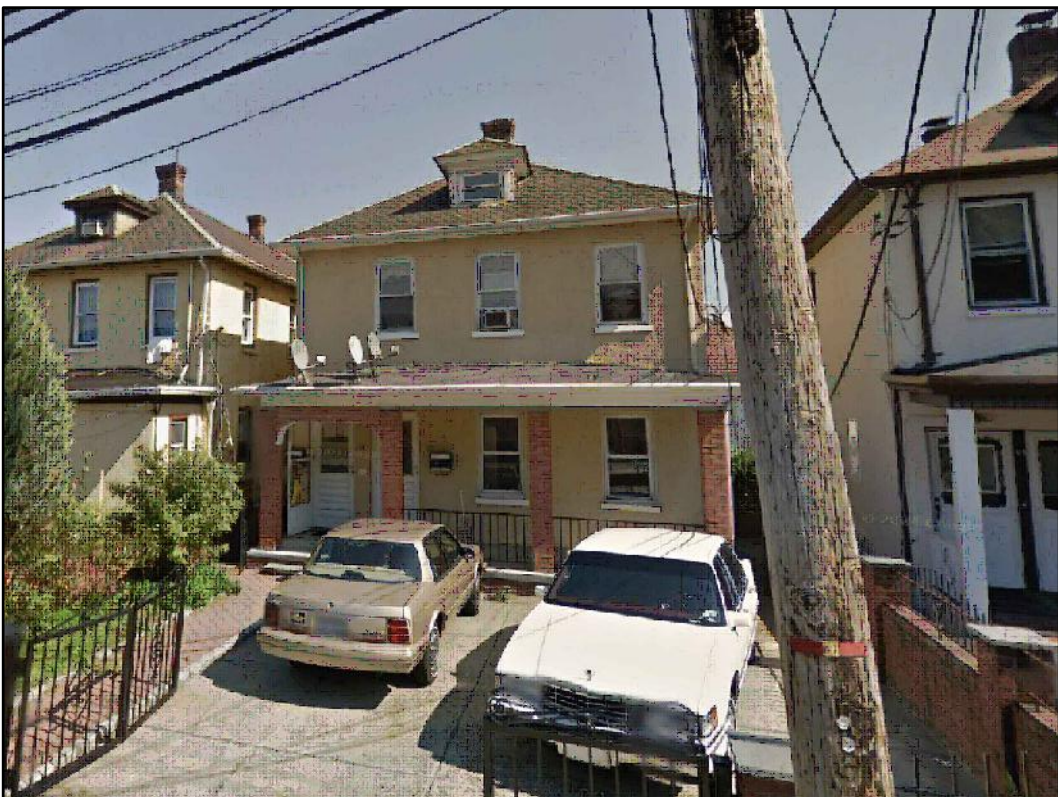


SATELLITE VIEW
GOOGLE EARTH



TAX MAP AND TOPO
WESTCHESTER COUNTY GIS

S-B-L: ***



FRONT VIEW
GOOGLE STREET VIEW

1.0 GENERAL REQUIREMENTS:

1.1 PROJECT SCOPE:

REMOVE EXISTING BATHROOM, PARTITIONS AND FINISHES IN BASEMENT.

1.2 DESIGN INTENT:

THE INVOLVEMENT OF OLIVER ENGINEERING IN THIS PROJECT IS: PROVIDE DESIGN AND DRAWINGS.

IT IS THE INTENT OF THESE DRAWINGS TO CALL FOR COMPLETE AND FINISHED WORK, IN COMPLIANCE WITH THE NOTED CODES, AND TESTED AND GUARANTEED AND READY FOR OPERATION.

THE ENGINEER HAS NOT BEEN ENGAGED TO SUPERVISE ANY WORK AND DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

1.3 EXISTING CONSTRUCTION TYPE:

THE EXISTING BUILDING, PER THE BUILDING CODE OF NEW YORK STATE, TABLE 601 IS CONSTRUCTION TYPE VB - CONSTRUCTION WHERE THE PRIMARY ELEMENTS ARE NOT REQUIRED TO BE FIRE RATED.

1.4 CLASSIFICATION OF PROPOSED WORK:

THE INTENT OF THE CURRENT PERMIT APPLICATION IS TO LEGALIZE AN EXISTING ALTERATION, RENOVATION OR STRUCTURE, FOR WHICH A PERMIT WAS NOT OBTAINED, OR FOR WHICH THE PERMIT WAS NOT CLOSED OUT.

1.5 ZONING, OCCUPANCY AND USE:

INSIDE:
YEAR BUILT: 1900 (PER ZILLOW)
ZONING: C2 CENTRAL BUSINESS
OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-3*
EXISTING USE: MULTIFAMILY
PROPOSED USE: MULTIFAMILY (NO CHANGE)

* WHERE THE OCCUPANTS ARE PRIMARILY PERMANENT IN NATURE AND NOT CLASSIFIED AS OCCUPANCY GROUP R-1, R-2, R-4 OR I, INCLUDING BUILDINGS THAT DO NOT CONTAIN MORE THAN TWO DWELLING UNITS.

1.6 COMPLIANCE:

- ALL WORK SHALL BE IN COMPLIANCE WITH THE FOLLOWINGS CODES:
- GENERAL: 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS).
 - EXISTING: EXISTING BUILDING CODE OF NEW YORK STATE (INTERNATIONAL EXISTING BUILDING CODE 2018 WITH AMENDMENTS).
 - ENERGY: NOT APPLICABLE TO THESE DRAWINGS.
 - PLUMBING: PART VII - PLUMBING OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS); A PLUMBING PERMIT SHALL BE FILED SEPARATELY BY A QUALIFIED PLUMBING CONTRACTOR.
 - ELECTRICAL: THE 2017 NATIONAL ELECTRICAL CODE (NFPA 70-2017); AN ELECTRICAL PERMIT SHALL BE FILED SEPARATELY BY A QUALIFIED ELECTRICAL CONTRACTOR.
 - DRAINAGE: NOT APPLICABLE TO THESE DRAWINGS.
 - MUNICIPAL: CHAPTER 151, BUILDING CODE ADMINISTRATION AND ENFORCEMENT OF THE CODE OF THE VILLAGE OF PORT CHESTER.
 - OTHER: ALL REFERENCED CODES, OTHER CODES AND REGULATIONS, FEDERAL, STATE AND LOCAL, THAT MAY APPLY.

1.7 AUTHORITY HAVING JURISDICTION:

THE AUTHORITY HAVING JURISDICTION, AS DEFINED IN SECTION 103.1 OF THE RESIDENTIAL CODE, AND WHICH SHALL PROVIDE FOR ADMINISTRATION AND ENFORCEMENT OF THE UNIFORM CODE AND ENERGY CODE BY LOCAL LAW, ORDINANCE, OTHER APPROPRIATE REGULATION, OR COMBINATION THEREOF, IS THE VILLAGE OF PORT CHESTER.

THE DULY APPOINTED BUILDING OFFICIAL OF THE VILLAGE OF PORT CHESTER IS AUTHORIZED TO ENFORCE THE PROVISIONS OF THE CODE.

THE BUILDING OFFICIAL MAY ADOPT POLICIES AND PROCEDURES IN ORDER TO CLARIFY THE APPLICATION OF THE PROVISIONS OF THE CODE. SUCH POLICIES AND PROCEDURES SHALL BE IN COMPLIANCE WITH THE INTENT AND PURPOSE OF THE CODE.

2.0 DESIGN CRITERIA:

2.1 DEAD LOAD:

PER 301.4, THE ACTUAL WEIGHTS OF MATERIALS AND CONSTRUCTION SHALL BE USED FOR DETERMINING DEAD LOAD; THE FOLLOWING APPROXIMATIONS (IN PSF) ARE USED FOR THIS PROJECT:

USE	PSF
FRAMED WALL ASSEMBLY:	15
ROOF / CEILING ASSEMBLY:	20
FLOOR ASSEMBLY:	15

ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.2 LIVE LOAD:

UNIFORMLY DISTRIBUTED LIVE LOADS SHALL BE PER TABLE R301.5 AND AS FOLLOWS* (IN PSF):

USE	PSF	OTHER
UNINHABITABLE SPACE WITHOUT STORAGE:	10	(42" H, 24" W)
UNINHABITABLE ATTICS UNLIMITED STORAGE:	20	
HABITABLE ATTICS & ATTICS W/ FIXED STAIRS:	30	
EXTERIOR BALCONIES & DECKS:	40	
FIRE ESCAPES:	40	
GUARDS & HANDRAILS:	200	(CONCENTRATED)
GUARD IN-FILL COMPONENTS:	50	(HORIZONTAL)
PASSENGER VEHICLE GARAGE:	50	(82,000LB/2053)
ROOMS OTHER THAN SLEEPING ROOMS:	40	
SLEEPING ROOMS:	40	
STAIRS:	40	(8,300LB/451)
ROOF, PER 301.6 (INC. SNOW):	30	

* SOME OF THE LOADS LISTED ABOVE MAY BE HIGHER THAN THOSE REQUIRED PER CODE. ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.3 WIND LOAD:

WIND LOADS SHALL BE BASED ON THE ULTIMATE DESIGN WIND SPEED LISTED IN TABLE 301.2(1) AND ADJUSTED FOR HEIGHT AND EXPOSURE):
120 MPH. WIND LOADS WILL BE ALLOWED FOR IN THE DESIGN LOAD PERFORMANCE REQUIREMENTS FOR WALL COVERINGS, ROOF COVERINGS, WINDOWS, SKYLIGHTS AND DOORS.
COMPONENT AND CLADDING LOADS WILL BE PER TABLE R301.2(2)

2.4 ALLOWABLE LIVE LOAD DEFLECTION:

THE ALLOWABLE LIVE LOAD DEFLECTION OF ALL STRUCTURAL MEMBERS, SHALL BE PER TABLE R301.7 AND AS FOLLOWS:

STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
RAFTERS HAVING SLOPES GREATER THAN 3:12 WHIT FINISHED	L/180
CEILING NOT ATTACHED TO RAFTERS	H/180
INTERIOR WALLS AND PARTITIONS	L/360
FLOORS	L/240
CEILING WITH BRITTLE FINISHES (INCLUDING PLASTER AND STUCCO)	L/360
CEILING WITH FLEXIBLE FINISHES (INCLUDING GYPSUM BOARD)	L/240
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS-WIND LOAD WITH PLASTER OR STUCCO FINISHES	L/360
EXTERIOR WALLS-WIND LOAD WITH OTHER BRITTLE FINISHES	H/240
EXTERIOR WALLS-WIND LOADS WITH FLEXIBLE FINISHES	H/120
LINTELS SUPPORTING MASONRY VENEER WALLS	L/600

2.5 CLIMATIC AND GEOGRAPHIC CRITERIA:

CLIMATIC AND DESIGN CRITERIA FOR THE VILLAGE OF PORT CHESTER ARE PER TABLE R301.2(1) BELOW:

PER 2020 RESIDENTIAL CODE OF NEW YORK STATE, TABLE 301.2(1)						(WIND) EXPOSURE CATEGORY: B			CLIMATE ZONE: 4A			
GROUND SNOW LOAD	WIND DESIGN					SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERMNT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX
	WIND SPEED MPH	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WINDBORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITES				
20 PSF	120	NO	YES	NO	B	SEVERE	3'-6"	MOD/HEAVY	7.7°	YES	09.28.2007	1,500

3.0 CONTRACTOR'S RESPONSIBILITIES:

THE CONTRACTOR SHALL:

- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR A COMPLETE AND FINISHED JOB.
- PROVIDE ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.
- OBTAIN AND PAY FOR ALL REQUIRED PERMITS - UNLESS OTHERWISE STIPULATED.
- PRIOR TO THE SUBMISSION OF ANY BID, AND BEFORE PROCEEDING WITH ANY WORK, VISIT THE SITE AND VERIFY AND FAMILIARIZE HIM/HERSELF WITH ALL SITE DIMENSIONS AND CONDITIONS, WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION, METHODS AND ROUTES OF ACCESS, AND THE EXISTENCE AND EXTENT OF ANY OTHER RESTRICTIONS, AND BE RESPONSIBLE FOR THE VERIFICATION OF ALL SUCH CONDITIONS AND DIMENSIONS WHICH PERTAIN TO THE PROJECT.
- BRING ALL DISCREPANCIES IN CONDITIONS AND DIMENSIONS, BETWEEN THE APPROVED DRAWINGS AND ACTUAL FIELD CONDITIONS, TO THE IMMEDIATE ATTENTION OF THE OWNER, AND RECEIVE DIRECTION IN WRITING, BEFORE PROCEEDING WITH THE AFFECTED WORK.
- VERIFY THE AVAILABILITY, LOCATION LAYOUT AND CONDITION OF UTILITIES, INCLUDING SEWER, WATER, GAS AND ELECTRIC LINES, PRIOR TO THE SUBMISSION OF ANY BID.
- HAVE CONTROL OVER AND SUPERVISE AND DIRECT THE WORK, INCLUDING THAT OF ITS SUBCONTRACTORS, AND BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR JOBSITE SAFETY, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, VERIFY THE CONDITION OF ALL ADJOINING STRUCTURES WHICH MAY BE AFFECTED, AND PROVIDE ADEQUATE PROTECTION TO ANY STRUCTURE THAT MIGHT BE OTHERWISE AFFECTED.
- IN THE EVENT THAT DAMAGE IS CAUSED TO ANY STRUCTURE, FINISH, OR OTHER ELEMENT, RESTORE SUCH ELEMENTS TO THEIR ORIGINAL CONDITION.
- IF APPLICABLE, PROVIDE WEATHER PROTECTION, IN AN EFFECTIVE AND TIMELY MANNER, TO PROTECT THE PREMISES, PERSONNEL, MATERIALS AND INSTALLED WORK.
- BE A HOME IMPROVEMENT CONTRACTOR WITH A CURRENT LICENSE ISSUED BY THE WESTCHESTER COUNTY DEPARTMENT OF CONSUMER AFFAIRS.
- BE CERTIFIED AS A LEAD SAFE FIRM BY THE EPA PER 40 CFR 745.226.
- CARRY LIABILITY INSURANCE TO THE LIMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION AND ISSUE CERTIFICATE(S) OF INSURANCE AS REQUIRED BY THE HOMEOWNER AND/OR THAT AUTHORITY.
- CARRY WORKMAN'S COMPENSATION AND DISABILITY INSURANCE AS REQUIRED BY THE LAW AND ISSUE CERTIFICATE(S) AS REQUIRED BY THE HOMEOWNER AND/OR THE AUTHORITY HAVING JURISDICTION.

4.0 BUILDING PERMIT:

NO PERSON OR ENTITY SHALL COMMENCE, PERFORM, OR CONTINUE ANY WORK THAT MUST CONFORM WITH THE UNIFORM CODE AND/OR ENERGY CODE UNLESS:

- SUCH PERSON OR ENTITY HAS APPLIED TO THE VILLAGE OF PORT CHESTER FOR A BUILDING PERMIT.
- THE VILLAGE OF PORT CHESTER HAS ISSUED A BUILDING PERMIT AUTHORIZING SUCH WORK.
- SUCH BUILDING PERMIT HAS NOT BEEN REVOKED OR SUSPENDED, AND
- SUCH BUILDING PERMIT HAS NOT EXPIRED.

THE BUILDING PERMIT IS REQUIRED TO BE VISIBLY DISPLAYED AT THE WORKSITE AND TO REMAIN VISIBLE UNTIL THE PROJECT, AND ALL REQUIRED INSPECTIONS, HAVE BEEN COMPLETED.

THE APPROVED DRAWINGS MUST BE KEPT AT THE WORKSITE AND BE AVAILABLE FOR REVIEW AT THE TIME OF ANY REQUIRED INSPECTIONS.

5.0 CONSTRUCTION INSPECTIONS:

IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING PERMIT, OR THEIR DULY AUTHORIZED AGENT, TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION:

BUILDING DEPARTMENT OF THE VILLAGE OF PORT CHESTER.
222 GRACE CHURCH STREET
PORT CHESTER, NY 10573
TEL: (914) 939-5203
EMAIL: kdonohue@portchesterny.gov
WEB SITE: www.portchesterny.gov/158/building-department

ANY PERSON OR ENTITY PERFORMING WORK FOR WHICH A BUILDING PERMIT HAS BEEN ISSUED SHALL KEEP SUCH WORK ACCESSIBLE AND EXPOSED UNTIL THE WORK HAS BEEN INSPECTED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION, OR ITS AUTHORIZED AGENT, AT EACH ELEMENT OF THE CONSTRUCTION PROCESS THAT IS APPLICABLE TO THE WORK.

BUILDING PERMIT HOLDERS SHALL BE REQUIRED TO NOTIFY THE BUILDING OFFICIAL OF THE VILLAGE OF PORT CHESTER WHEN CONSTRUCTION WORK IS READY FOR INSPECTION.

THE BUILDING OFFICIAL SHALL MAKE THE REQUIRED INSPECTIONS OR SHALL HAVE THE AUTHORITY TO ACCEPT WRITTEN REPORTS OF INSPECTION BY APPROVED AGENCIES OR INDIVIDUALS.

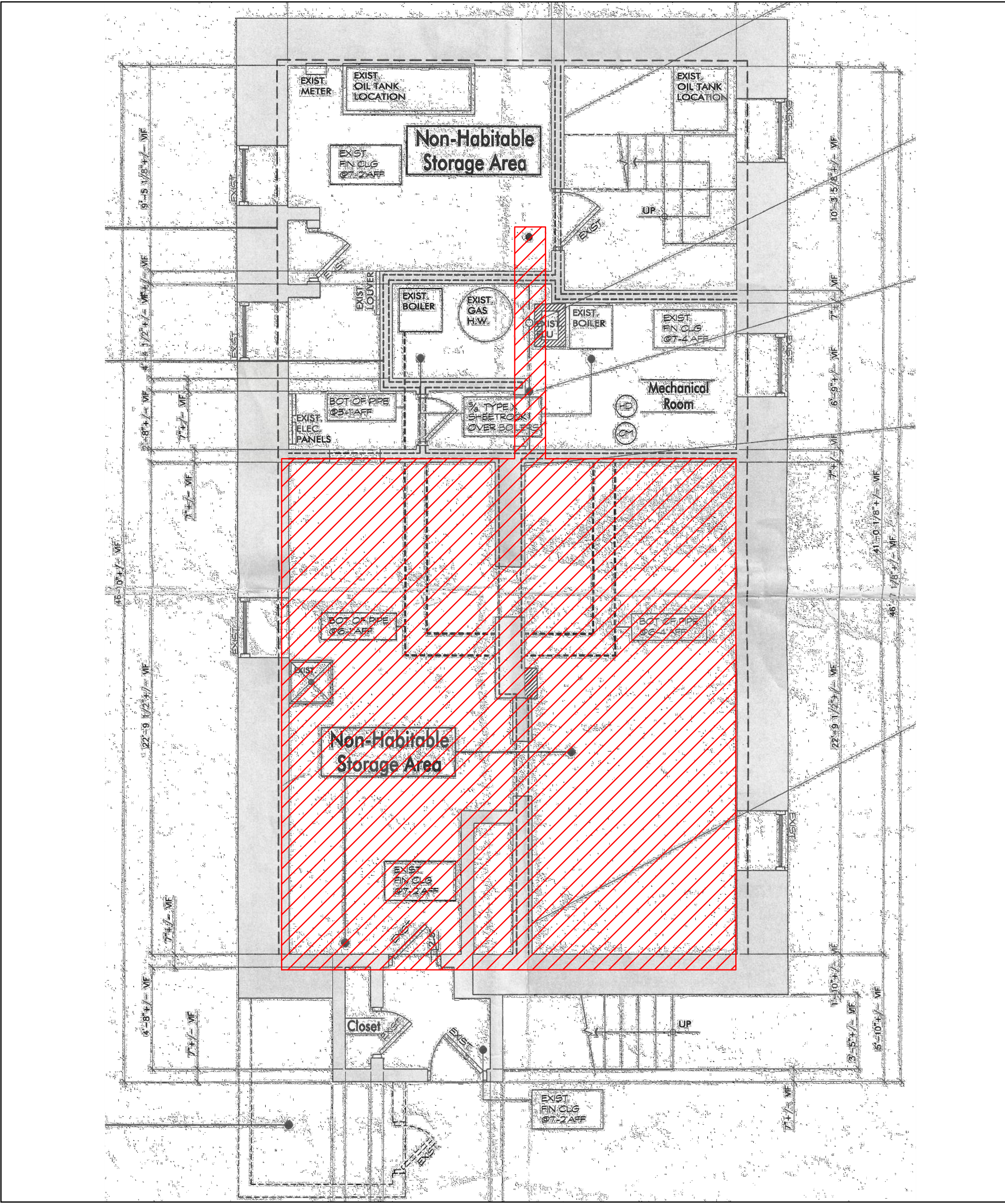
REQUIRED INSPECTIONS FOR THIS PROJECT MAY INCLUDE THE FOLLOWING, AS APPLICABLE, OR AS SPECIFIED IN THE CODE ENFORCEMENT PROGRAM OF THE VILLAGE OF PORT CHESTER:

- WORKSITE PRIOR TO THE ISSUANCE OF A PERMIT
 - PLUMBING*
 - ELECTRICAL*
 - MECHANICAL
 - FRAMING (SUBSEQUENT TO THE INSPECTION & APPROVAL OF PLUMBING, ELECTRICAL & MECHANICAL)
 - FIRE RESISTANT CONSTRUCTION
 - FIRE RESISTANT PENETRATIONS
 - ENERGY CODE COMPLIANCE
 - A FINAL INSPECTION AFTER ALL WORK AUTHORIZED BY THE BUILDING PERMIT HAS BEEN COMPLETED
 - ANY OTHER INSPECTIONS AS REQUIRED BY THE VILLAGE OF PORT CHESTER.
- ALL OF THE ABOVE INSPECTION MAY NOT BE REQUIRED FOR THIS, OR ANY GIVEN, PROJECT. A SCHEDULE OF REQUIRED INSPECTIONS IS AVAILABLE FROM THE BUILDING DEPARTMENT OF THE VILLAGE OF PORT CHESTER.
- *THE WORK APPLICABLE TO SOME OF THE ABOVE INSPECTIONS (FOR INSTANCE PLUMBING AND ELECTRICAL) SHALL BE COMPLETED UNDER A SEPARATE PERMIT, FILED BY THE RELEVANT LICENSED CONTRACTORS.

AFTER INSPECTION, THE WORK OR A PORTION THEREOF SHALL BE NOTED AS SATISFACTORY AS COMPLETED, OR THE BUILDING PERMIT HOLDER SHALL BE NOTIFIED AS TO THE MANNER IN WHICH THE WORK FAILS TO COMPLY WITH APPLICABLE CODES, INCLUDING A CITATION OF THE SPECIFIC CODE PROVISION OR PROVISIONS THAT HAVE NOT BEEN MET.

IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO ASCERTAIN THE RESULTS OF REQUIRED INSPECTIONS.

CONSTRUCTION WORK NOT IN COMPLIANCE WITH APPLICABLE CODES SHALL BE REQUIRED TO REMAIN EXPOSED UNTIL IT HAS BEEN BROUGHT INTO COMPLIANCE WITH THE CODES, RE-INSPECTED, AND FOUND SATISFACTORY AS COMPLETED.



BASEMENT PLAN

CLIENT-PROVIDED IMAGE
NOT TO SCALE

DEMOLITION:

THE CONTRACTOR SHALL:
DEMOLISH AND REMOVE ALL ELEMENTS NOTED IN THE DRAWINGS FOR DEMOLITION, AND AS REQUIRED FOR THE COMPLETION OF ALL WORK SHOWN ON THESE DRAWINGS.

ALLOW NO DEBRIS TO ACCUMULATE; HAUL AWAY FROM SITE ALL DEBRIS AT CONTRACTOR'S EXPENSE. REMOVE ALL DEBRIS ON A REGULAR BASIS AND MAINTAIN JOBSITE IN A CLEAN AND SAFE CONDITION.

FULLY PROTECT ALL STRUCTURES, BUILDING ELEMENTS, EQUIPMENT, UTILITIES, AND FINISHES THAT ARE TO REMAIN FROM DAMAGE CAUSED BY ANY OF THE CONTRACTOR'S ACTIVITIES.

PROTECT ALL ADJACENT AREAS AND ALL EXISTING STRUCTURES FROM DAMAGE, INJURY AND DISCOMFORT CAUSED BY DUST.

PROTECT ALL PUBLIC PROPERTIES AND PREMISES FROM DAMAGE AND PREVENT ANY ACCUMULATION OF DEBRIS, DUST OR RUBBISH IN ANY PUBLIC AREA.

ASSUME FULL RESPONSIBILITY FOR ANY DAMAGE CAUSED TO EXISTING ELEMENTS AND MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.

CONDUCT ALL DEMOLITION OPERATIONS IN SUCH A MANNER AS TO PREVENT UNAUTHORIZED ENTRY OF ANY PERSONS AT ANY TIME; POST APPROPRIATE SIGNAGE AS REQUIRED.

LOCATE ALL UTILITY AND DRAINAGE LINES PRIOR TO COMMENCEMENT OF DEMOLITION AND PROTECT ALL ACTIVE LINES AS REQUIRED. IDENTIFY CLEARLY ALL WORK THAT MAY RESULT IN THE INTERRUPTION OF ANY SERVICES WITHIN THE AREA OF WORK OR IN AN ADJACENT SPACE OR PROPERTY AND COORDINATE SUCH INTERRUPTIONS WITH ALL INVOLVED PARTIES.

NOTIFY THE OWNER, UTILITY COMPANIES, FIRE DEPARTMENT, ALARM COMPANIES, ETC. OF ANY WORK AFFECTING THEIR SYSTEMS AS REQUIRED BY ALL APPLICABLE CODES, RULES, AND REGULATIONS.

STATEMENT OF DESIGN PROFESSIONAL:

- THESE PLANS HAVE BEEN PREPARED IN CONFORMANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS).
- TO THE BEST OF MY KNOWLEDGE AND PROFESSIONAL JUDGEMENT, THESE PLANS ARE IN CONFORMANCE WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE 2020 (INTERNATIONAL ENERGY CONSERVATION CODE 2018).

VINCENT COAKLEY, P.E.
(STAMP AFFIXED AND SIGNED).

LIST OF DRAWINGS			
SHEET	DRAWING NAME	DATE	REVISION
C-01	COVER SHEET	05.07.2025	06.12.2025
S-01	LAYOUT & DETAILS	05.07.2025	06.12.2025

PROPERTY ADDRESS:

PORT CHESTER, NY 10573
(VILLAGE OF PORT CHESTER
BUILDING DEPARTMENT)

S-B-L:

CLIENT:

*** ***

TEL:

EMAIL:

DATE:

05.07.2025

ISSUE:

PRELIMINARY
FOR PERMIT

PROJECT NAME:

REMOVE BATHROOM

DRAWING NAME:

COVER SHEET

DRAWING NUMBER:

C-01

DATE:

06.12.2025

SCALE:

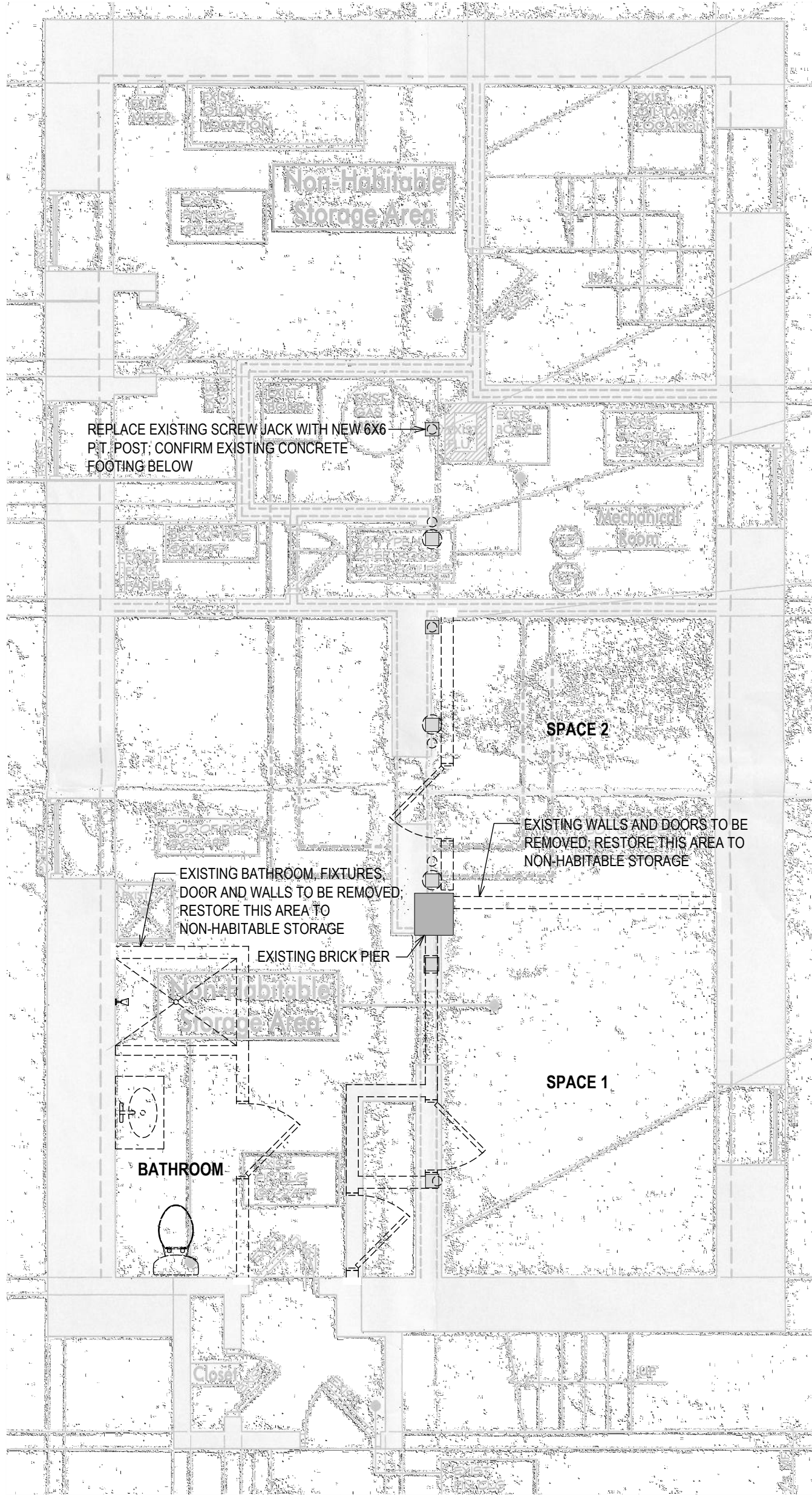
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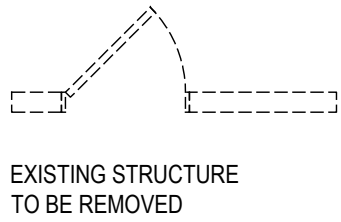
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Oliver Engineering, P.C.

Design - Permit Applications - Legalizations
Code Compliance - Project Supervision
188 North Main Street | Port Chester, NY 10573
(914) 774-5878 | www.proeng.nyc | vc@proeng.nyc



BASEMENT PLAN
EXISTING, DEMOLITION AND SCOPE OF WORK
(FADED UNDERLAY IS FROM PREVIOUS PERMIT DRAWING)
1/4" = 1'-0"



EXISTING SCREW JACKS AND OLD ROUND POSTS
REPLACE (AT OLD POST LOCATION) WITH PERMANENT 6X6 POSTS



SPACE 2
DEMOLISH WALLS AND FINISHES AND RESTORE TO NON-HABITABLE STORAGE AREA



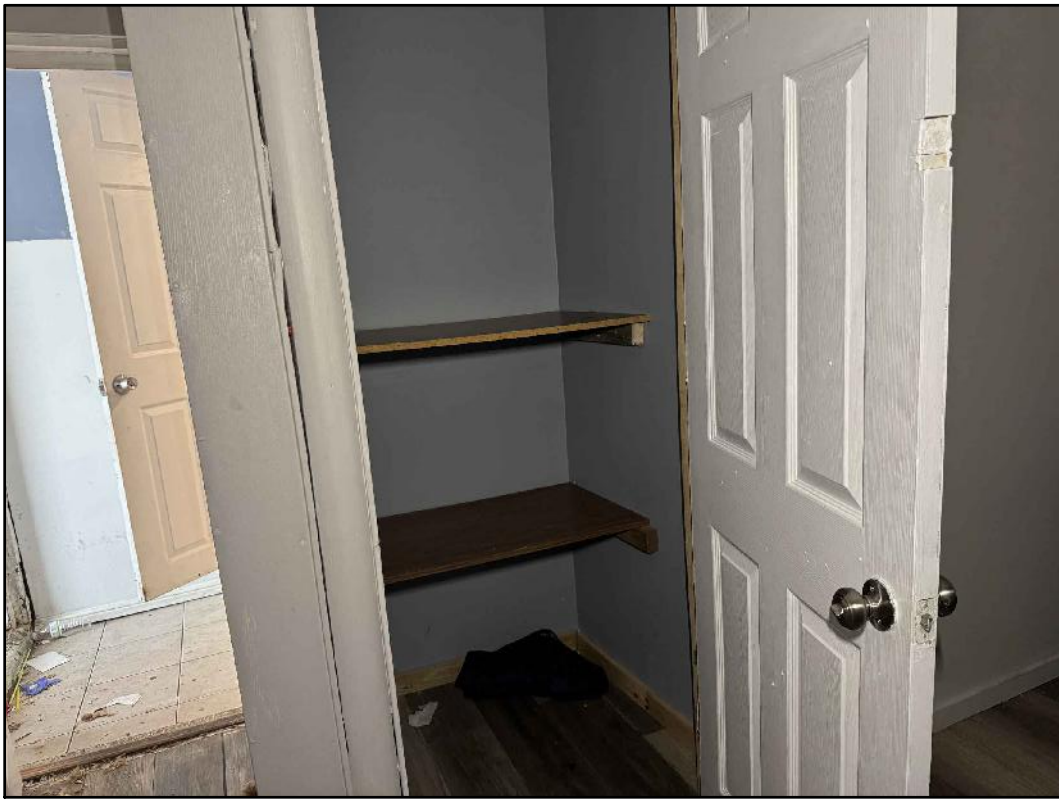
EXISTING SCREW JACKS AND OLD ROUND POSTS
REPLACE (AT OLD POST LOCATION) WITH PERMANENT 6X6 POSTS



SPACE 1
DEMOLISH WALLS AND FINISHES AND RESTORE TO NON-HABITABLE STORAGE AREA



BATHROOM
DEMOLISH FINISHES, FIXTURES AND WALLS; CAP ALL PIPES;
RESTORE TO NON-HABITABLE STORAGE AREA



SPACE 1
DEMOLISH WALLS AND FINISHES AND RESTORE TO NON-HABITABLE STORAGE AREA



BATHROOM
DEMOLISH FINISHES, FIXTURES AND WALLS; CAP ALL PIPES;
RESTORE TO NON-HABITABLE STORAGE AREA

EXISTING CONDITIONS & SCOPE OF WORK
PICS FROM 05.27.2025

ELECTRICAL:

1. ALL ELECTRICAL WORK IS TO BE PERFORMED BY AN ELECTRICAL CONTRACTOR LICENSED TO WORK IN THE VILLAGE OF PORT CHESTER.
2. ALL ELECTRICAL WORK, WIRING AND EQUIPMENT SHALL CONFORM TO THE THE 2017 NATIONAL ELECTRICAL CODE (NFPA 70-2017). AN ELECTRICAL PERMIT SHALL BE FILED SEPERATELY BY A QUALIFIED ELECTRICAL CONTRACTOR, AND ALL OTHER REGULATING AGENCIES.
3. THE ELECTRICAL CONTRACTOR SHALL SUPPLY ALL REQUIRED WIRING, DEVICES, CIRCUIT BREAKERS AND OTHER MATERIALS AS REQUIRED BY CODE.
4. CARBON MONOXIDE ALARMS AND CARBON MONOXIDE DETECTION SHALL BE INSTALLED IN NEW AND EXISTING BUILDINGS IN ACCORDANCE WITH SECTION 915 OF THE FIRE CODE OF THE STATE OF NEW YORK.
5. PROVIDE GFCI OUTLETS IN BASEMENT AND LAUNDRY AREA PER CODE.

PLUMBING:

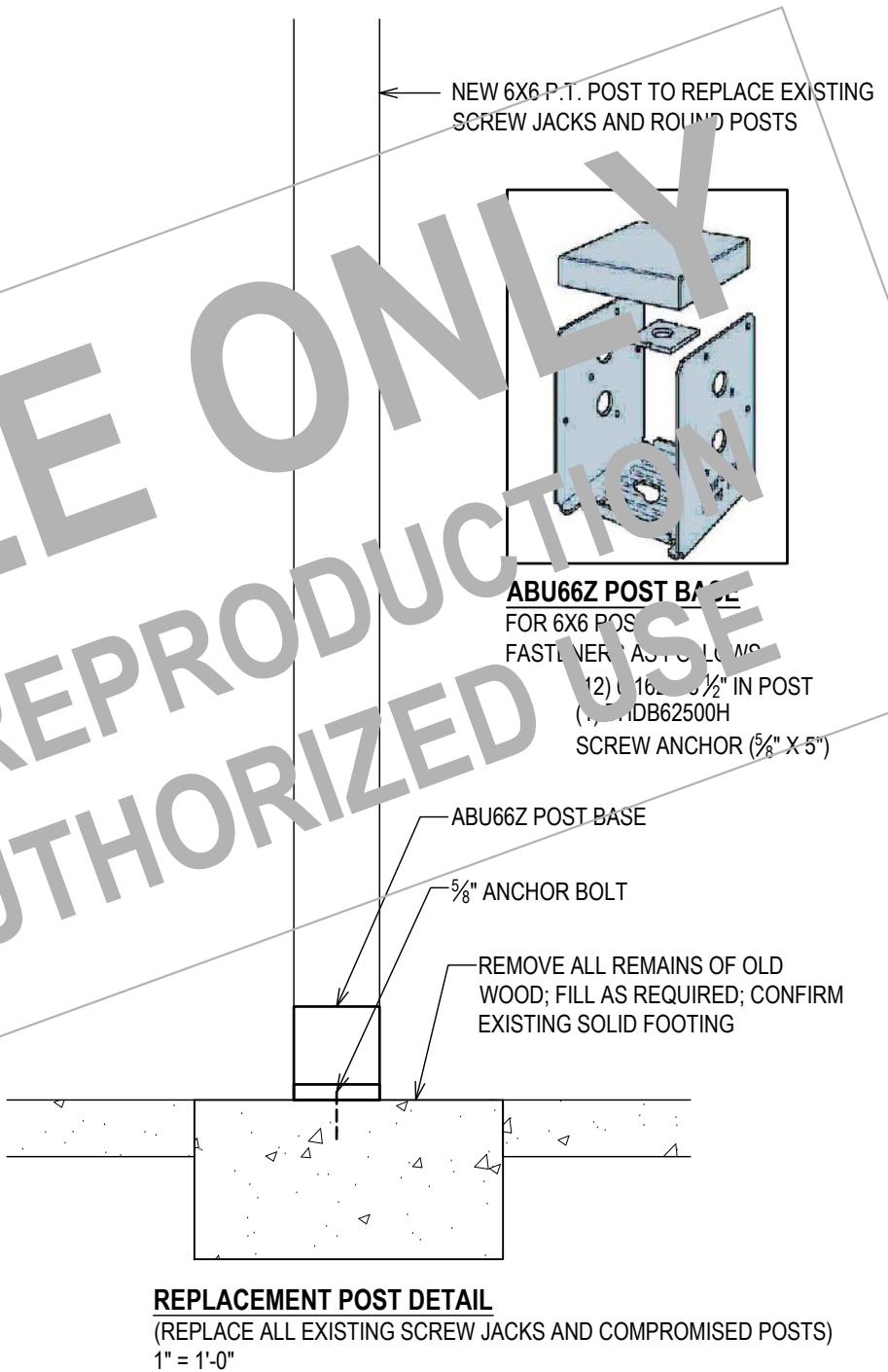
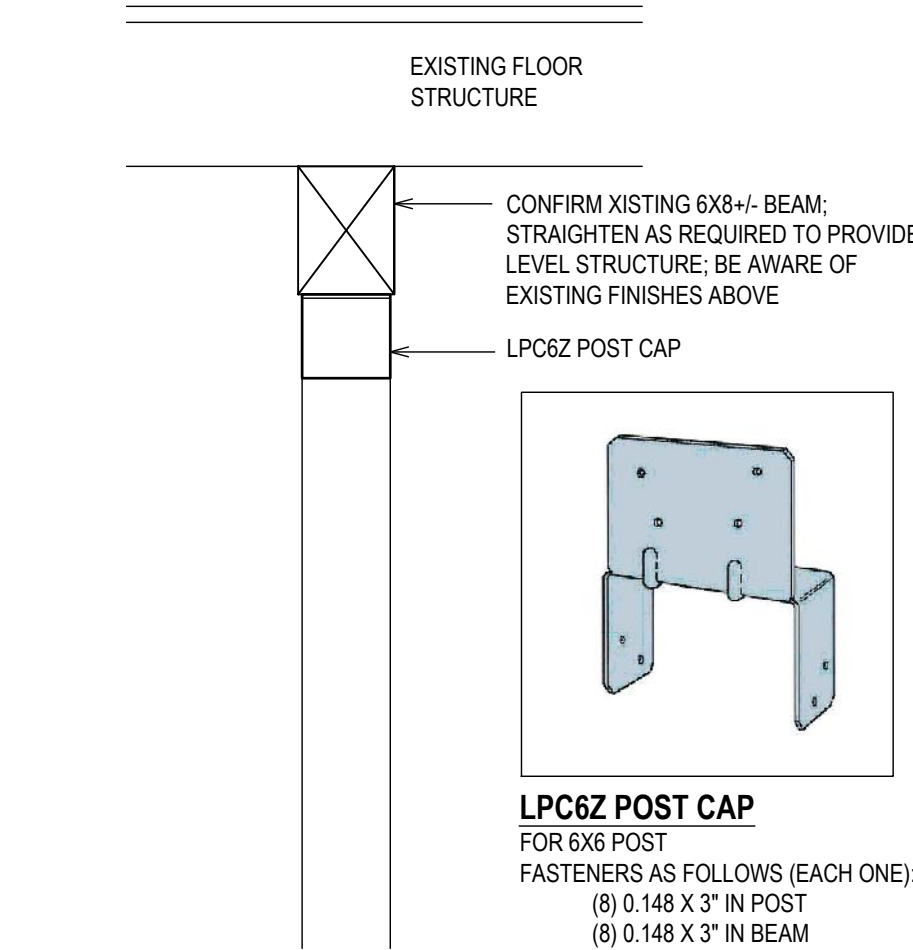
1. ALL PLUMBING WORK IS TO BE:
 - PERFORMED BY A PLUMBER LICENSED TO WORK IN WESTCHESTER COUNTY AND IN THE VILLAGE OF PORT CHESTER.
 - COMPLETED PER PART VII OF THE THE 2017 NATIONAL ELECTRICAL CODE (NFPA 70-2017).
 - FILED UNDER A SEPARATE PERMIT.
 - INSPECTED PER THE REQUIREMENTS OF THE BUILDING DEPARTMENT, AND BUILDING OFFICIAL, OF VILLAGE OF PORT CHESTER.
2. ALL ABANDONED PIPING MUST BE REMOVED TO A POINT OF CONCEALMENT AND PROPERLY CAPPED.
3. ALL EXPOSED EXISTING AND NEW HOT AND COLD WATER AND HEATING PIPES MUST BE PROPERLY INSULATED.
4. ALL MATERIALS USED SHALL BE NEW, BEST OF THEIR RESPECTIVE BRANDS AND CONFORM TO THE REQUIREMENTS OF ALL STATE AND LOCAL AUTHORITIES HAVING JURISDICTION.

ADDITIONS, ALTERATIONS OR REPAIRS

ADDITIONS, ALTERATIONS, RENOVATIONS OR REPAIRS TO ANY PLUMBING SYSTEM SHALL CONFORM TO THAT REQUIRED FOR A NEW PLUMBING SYSTEM WITHOUT REQUIRING THE EXISTING PLUMBING SYSTEM TO COMPLY WITH THE REQUIREMENTS OF THIS CODE. ADDITIONS, ALTERATIONS OR REPAIRS SHALL NOT CAUSE AN EXISTING SYSTEM TO BECOME UNSAFE, UNSANITARY OR OVERLOADED. MINOR ADDITIONS, ALTERATIONS, RENOVATIONS AND REPAIRS TO EXISTING PLUMBING SYSTEMS SHALL BE PERMITTED IN THE SAME MANNER AND ARRANGEMENT AS IN THE EXISTING SYSTEM, PROVIDED THAT SUCH REPAIRS OR REPLACEMENT ARE NOT HAZARDOUS AND ARE APPROVED.

INSPECTION REQUIRED:

NEW PLUMBING WORK AND PARTS OF EXISTING SYSTEMS AFFECTED BYNEW YORK OR ALTERATIONS SHALL BE INSPECTED BY THE BUILDING OFFICIAL TO ENSURE COMPLIANCE WITH THE REQUIREMENTS OF THE CODE. A PLUMBING OR DRAINAGE SYSTEM, OR PART THEREOF, SHALL NOT BE COVERED, CONCEALED OR PUT INTO USE UNTIL IT HAS BEEN TESTED, INSPECTED AND APPROVED BY THE BUILDING OFFICIAL.WASTE AND VENT SYSTEMS TESTING ROUGH-IN AND FINISHED PLUMBING INSTALLATIONS OF DRAIN, WASTE AND VENT SYSTEMS SHALL BE TESTED IN ACCORDANCE WITH SECTIONS P2503.5.1 AND P2503.5.2.P2503.5.



PROPERTY ADDRESS:

PORT CHESTER, NY 10573
(VILLAGE OF PORT CHESTER BUILDING DEPARTMENT)

S-B-L:

CLIENT:
*** **

TEL: ***
EMAIL: ***

DATE: 05.07.2025
06.12.2025
ISSUE: PRELIMINARY
FOR PERMIT

PROJECT NAME:
REMOVE BATHROOM

DRAWING NAME:
LAYOUT & DETAILS

DRAWING NUMBER:
S-01

DATE:
06.12.2025

SCALE:
AS NOTED

NOTE:
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