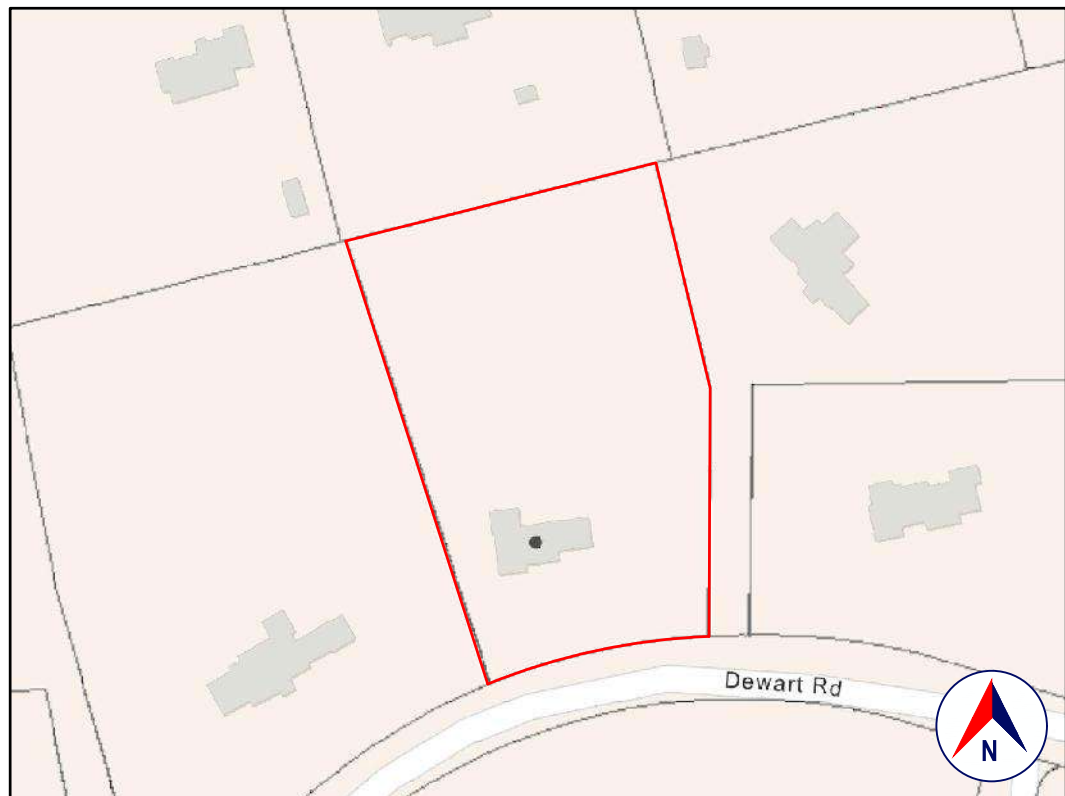


LOCATION
GOOGLE MAPS



TAX MAP
CT ECO MAPS



FRONT VIEW
REDFIN



REAR VIEW
REDFIN

1.0 GENERAL REQUIREMENTS:

1.1 PROJECT SCOPE:

STRUCTURAL SUPPORT FOR BRICK WALL ON SECOND FLOOR.

1.2 DESIGN INTENT:

THESE (STRUCTURAL) DRAWINGS ADDRESS ONLY THE STRUCTURAL INTEGRITY, BASED ON THE STIPULATED LOADS, OF THE PROPOSED CONSTRUCTION.

THESE DRAWINGS SHOULD ONLY BE USED IN CONJUNCTION WITH THE ARCHITECTURAL AND OTHER DRAWINGS.

IT IS THE OVERALL INTENT OF (ALL OF THE DRAWINGS) TO CALL FOR COMPLETE AND FINISHED WORK, IN COMPLIANCE WITH THE NOTED CODES, AND TESTED AND GUARANTEED AND READY FOR OPERATION.

THESE (STRUCTURAL) DRAWINGS ARE NOT INTENDED TO ADDRESS: BUILDING PLANNING; DIMENSIONAL COORDINATION; THERMAL OR MOISTURE PROTECTION; EGRESS; FIRE PROTECTION; MECHANICAL, HEAT, LIGHT AND VENTILATION; GENERAL BUILDING; OR ANY OTHER OTHER NON-STRUCTURAL ISSUES.

REFER TO THE PAUL ZELLER ARCHITECT LLC. DRAWINGS FOR ALL SUCH ISSUES.

THE ENGINEER HAS NOT BEEN ENGAGED TO SUPERVISE ANY WORK AND DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

1.3 CLASSIFICATION OF PROPOSED WORK:

THIS IS A PROPOSED ALTERATION LEVEL 2, AS DEFINED IN THE EXISTING BUILDING CODE, SECTION 603.1 (MAY INCLUDE THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT), AND SHALL COMPLY WITH THE PROVISIONS OF CHAPTERS 7 AND 8 OF THAT CODE.

CONSTRUCTION TYPE: WOOD FRAMED AS DEFINED IN TABLE 601

YEAR BUILT: NEW

ZONING: RA-2 SINGLE FAMILY 2 ACRE

OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-3*

ARCHITECTURAL REVIEW: REFER TO ARCHITECTURAL DRAWINGS

*WHERE THE OCCUPANTS ARE PRIMARILY PERMANENT IN NATURE AND NOT CLASSIFIED AS OCCUPANCY GROUP R-1, R-2, R-4 OR I, INCLUDING BUILDINGS THAT DO NOT CONTAIN MORE THAN TWO DWELLING UNITS.

1.4 COMPLIANCE:

ALL WORK SHALL BE IN COMPLIANCE WITH THE FOLLOWINGS CODES:

- GENERAL: 2021 INTERNATIONAL RESIDENTIAL CODE. PORTION OF THE CONNECTICUT STATE BUILDING CODE (INTERNATIONAL RESIDENTIAL CODE 2021 WITH AMENDMENTS).
- EXISTING: NOT APPLICABLE TO THESE DRAWINGS.
- PLUMBING: NOT APPLICABLE TO THESE DRAWINGS.
- ELECTRICAL: NOT APPLICABLE TO THESE DRAWINGS.
- DRAINAGE: NOT APPLICABLE TO THESE DRAWINGS.
- MUNICIPAL: CODE OF THE TOWN OF GREENWICH.
- OTHER: ALL REFERENCED CODES, OTHER CODES AND REGULATIONS, FEDERAL, STATE AND LOCAL, THAT MAY APPLY.

1.5 AUTHORITY HAVING JURISDICTION:

THE AUTHORITY HAVING JURISDICTION, AS DEFINED IN SECTION 103.1 OF THE RESIDENTIAL CODE, AND WHICH SHALL PROVIDE FOR ADMINISTRATION AND ENFORCEMENT OF THE UNIFORM CODE AND ENERGY CODE BY LOCAL LAW, ORDINANCE, OTHER APPROPRIATE REGULATION, OR COMBINATION THEREOF, IS THE TOWN OF GREENWICH.

THE DULY APPOINTED BUILDING OFFICIAL OF THE TOWN OF GREENWICH IS AUTHORIZED TO ENFORCE THE PROVISIONS OF THE CODE.

THE BUILDING OFFICIAL MAY ADOPT POLICIES AND PROCEDURES IN ORDER TO CLARIFY THE APPLICATION OF THE PROVISIONS OF THE CODE. SUCH POLICIES AND PROCEDURES SHALL BE IN COMPLIANCE WITH THE INTENT AND PURPOSE OF THE CODE.

2.0 DESIGN CRITERIA:

2.1 DEAD LOAD:

PER 301.4, THE ACTUAL WEIGHTS OF MATERIALS AND CONSTRUCTION SHALL BE USED FOR DETERMINING DEAD LOAD; THE FOLLOWING APPROXIMATIONS (IN PSF) ARE USED FOR THIS PROJECT:

USE	PSF
FRAMED WALL ASSEMBLY:	15
ROOF/ICEING ASSEMBLY:	20
FLOOR ASSEMBLY:	15

ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.2 LIVE LOAD:

UNIFORMLY DISTRIBUTED LIVE LOADS SHALL BE PER TABLE R301.5 AND AS FOLLOWS* (IN PSF):

USE	PSF	OTHER
UNINHABITABLE SPACE WITHOUT STORAGE:	10	(<42"H, 24"W)
UNINHABITABLE ATTICS UNLIMITED STORAGE:	20	
HABITABLE ATTICS & ATTICS W/IFED STAIRS:	30	
EXTERIOR BALCONIES & DECKS:	40	
FIRE ESCAPES:	40	
GUARDS & HANDRAILS:	200	(CONCENTRATED)
GUARD-IN-FILL COMPONENTS:	50	(HORIZONTAL)
PASSENGER VEHICLE GARAGE:	50	(82,000LB/20SI)
ROOMS OTHER THAN SLEEPING ROOMS:	40	
SLEEPING ROOMS:	40	(8,300LB/4SI)
STAIRS:	40	
ROOF, PER 301.6 (INC. SNOW):	30	

*SOME OF THE LOADS LISTED ABOVE MAY BE HIGHER THAN THOSE REQUIRED PER CODE.

ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.3 WIND LOAD:

WIND LOADS SHALL BE BASED ON THE ULTIMATE DESIGN WIND SPEED LISTED IN TABLE 301.2(1) AND ADJUSTED FOR HEIGHT AND EXPOSURE).

120 MPH WIND LOADS WILL BE ALLOWED FOR IN: THE DESIGN LOAD PERFORMANCE REQUIREMENTS FOR WALL COVERINGS, ROOF COVERINGS, WINDOWS, SKYLIGHTS AND DOORS.

COMPONENT AND CLADDING LOADS WILL BE PER TABLE R301.2(2)

2.4 ALLOWABLE LIVE LOAD DEFLECTION:

THE ALLOWABLE LIVE LOAD DEFLECTION OF ALL STRUCTURAL MEMBERS, SHALL BE PER TABLE R301.7 AND AS FOLLOWS:

STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
RAFTERS HAVING SLOPES GRATER THAN 3:12 WHIT FINISHED	
CEILING NOT ATTACHED TO RAFTERS	L/180
INTERIOR WALLS AND PARTITIONS	H/180
FLOORS	L/360
CEILING WITH BRITTLE FINISHES (INCLUDING PLASTER AND STUCCO)	L/360
CEILING WITH FLEXIBLE FINISHES (INCLUDING GYPSUM BOARD)	L/240
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS-WIND LOAD WITH PLASTER OR STUCCO FINISHES	L/360
EXTERIOR WALLS-WIND LOAD WITH OTHER BRITTLE FINISHES	H/240
EXTERIOR WALLS-WIND LOADS WITH FLEXIBLE FINISHES	H/120
LINTELS SUPPORTING MASONRY VENER WALLS	L/600

2.5 CLIMATIC AND GEOGRAPHIC CRITERIA:

CLIMATIC AND DESIGN CRITERIA FOR THE TOWN OF GREENWICH ARE PER TABLE R301.2(1) BELOW:

PER 2021 RESIDENTIAL CODE OF CONNECTICUT, TABLE 301.2(1)						(WIND) EXPOSURE CATEGORY: B				CLIMATE ZONE: 5A			
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLMT. REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	WIND SPEED MPH	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WINDBORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
30 PSF	120	NO	NO	NO	C	SEVERE	3'-6"	MOD/HEAVY	7°	YES	TO BE DETERMIN ATED	1,500 OR LESS	50°

3.0 CONTRACTOR'S RESPONSIBILITIES:

THE CONTRACTOR SHALL:

- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR A COMPLETE AND FINISHED JOB.
- PROVIDE ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.
- OBTAIN AND PAY FOR ALL REQUIRED PERMITS - UNLESS OTHERWISE STIPULATED.
- PRIOR TO THE SUBMISSION OF ANY BID, AND BEFORE PROCEEDING WITH ANY WORK, VISIT THE SITE AND VERIFY AND FAMILIARIZE HIMSELF WITH ALL SITE DIMENSIONS AND CONDITIONS, WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION, METHODS AND ROUTES OF ACCESS, AND THE EXISTENCE AND EXTENT OF ANY OTHER RESTRICTIONS, AND BE RESPONSIBLE FOR THE VERIFICATION OF ALL SUCH CONDITIONS AND DIMENSIONS WHICH PERTAIN TO THE PROJECT.
- BRING ALL DISCREPANCIES IN CONDITIONS AND DIMENSIONS, BETWEEN THE APPROVED DRAWINGS AND ACTUAL FIELD CONDITIONS, TO THE IMMEDIATE ATTENTION OF THE OWNER, AND RECEIVE DIRECTION IN WRITING, BEFORE PROCEEDING WITH THE AFFECTED WORK.
- VERIFY THE AVAILABILITY, LOCATION LAYOUT AND CONDITION OF UTILITIES, INCLUDING SEWER, WATER, GAS AND ELECTRIC LINES, PRIOR TO THE SUBMISSION OF ANY BID.
- HAVE CONTROL OVER AND SUPERVISE AND DIRECT THE WORK, INCLUDING THAT OF ITS SUBCONTRACTORS, AND BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR JOBSITE SAFETY, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, VERIFY THE CONDITION OF ALL ADJOINING STRUCTURES WHICH MAY BE AFFECTED, AND PROVIDE ADEQUATE PROTECTION TO ANY STRUCTURE THAT MIGHT BE OTHERWISE AFFECTED.
- IN THE EVENT THAT DAMAGE IS CAUSED TO ANY STRUCTURE, FINISH, OR OTHER ELEMENT, RESTORE SUCH ELEMENTS TO THEIR ORIGINAL CONDITION.
- IF APPLICABLE, PROVIDE WEATHER PROTECTION, IN AN EFFECTIVE AND TIMELY MANNER, TO PROTECT THE PREMISES, PERSONNEL, MATERIALS AND INSTALLED WORK.
- BE A HOME IMPROVEMENT CONTRACTOR WITH A CURRENT LICENSE ISSUED BY THE DEPARTMENT OF CONSUMER PROTECTION OF THE STATE OF CONNECTICUT.
- BE CERTIFIED AS A LEAD SAFE FIRM BY THE EPA PER 40 CFR 745.226.
- CARRY LIABILITY INSURANCE TO THE LIMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION AND ISSUE CERTIFICATE(S) OF INSURANCE AS REQUIRED BY THE HOMEOWNER AND/OR THAT AUTHORITY.
- CARRY WORKMAN'S COMPENSATION AND DISABILITY INSURANCE AS REQUIRED THE LAW AND ISSUE CERTIFICATE(S) AS REQUIRED BY THE HOMEOWNER AND/OR THE AUTHORITY HAVING JURISDICTION.

4.0 BUILDING PERMIT:

NO PERSON OR ENTITY SHALL COMMENCE, PERFORM, OR CONTINUE ANY WORK THAT MUST CONFORM WITH THE UNIFORM CODE AND/OR ENERGY CODE UNLESS:

- SUCH PERSON OR ENTITY HAS APPLIED TO THE TOWN OF GREENWICH FOR A BUILDING PERMIT,
- THE TOWN OF GREENWICH HAS ISSUED A BUILDING PERMIT AUTHORIZING SUCH WORK,
- SUCH BUILDING PERMIT HAS NOT BEEN REVOKED OR SUSPENDED, AND
- SUCH BUILDING PERMIT HAS NOT EXPIRED.

THE BUILDING PERMIT IS REQUIRED TO BE VISIBLY DISPLAYED AT THE WORKSITE AND TO REMAIN VISIBLE UNTIL THE PROJECT, AND ALL REQUIRED INSPECTIONS, HAVE BEEN COMPLETED

THE APPROVED DRAWINGS MUST BE KEPT AT THE WORKSITE AND BE AVAILABLE FOR REVIEW AT THE TIME OF ANY REQUIRED INSPECTIONS.

5.0 CONSTRUCTION INSPECTIONS:

IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING PERMIT, OR THEIR DULY AUTHORIZED AGENT, TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION:

BUILDING DEPARTMENT OF THE TOWN OF GREENWICH.

101 FIELD POINT ROAD
GREENWICH, CT 06830
TEL: (203) 822-7700
EMAIL: bldginsp@greenwichd.org
WEB SITE: www.greenwichd.gov

ANY PERSON OR ENTITY PERFORMING WORK FOR WHICH A BUILDING PERMIT HAS BEEN ISSUED SHALL KEEP SUCH WORK ACCESSIBLE AND EXPOSED UNTIL THE WORK HAS BEEN INSPECTED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION, OR ITS AUTHORIZED AGENT, AT EACH ELEMENT OF THE CONSTRUCTION PROCESS THAT IS APPLICABLE TO THE WORK.

BUILDING PERMIT HOLDERS SHALL BE REQUIRED TO NOTIFY THE BUILDING OFFICIAL OF THE TOWN OF GREENWICH WHEN CONSTRUCTION WORK IS READY FOR INSPECTION.

THE BUILDING OFFICIAL SHALL MAKE THE REQUIRED INSPECTIONS OR SHALL HAVE THE AUTHORITY TO ACCEPT WRITTEN REPORTS OF INSPECTION BY APPROVED AGENCIES OR INDIVIDUALS.

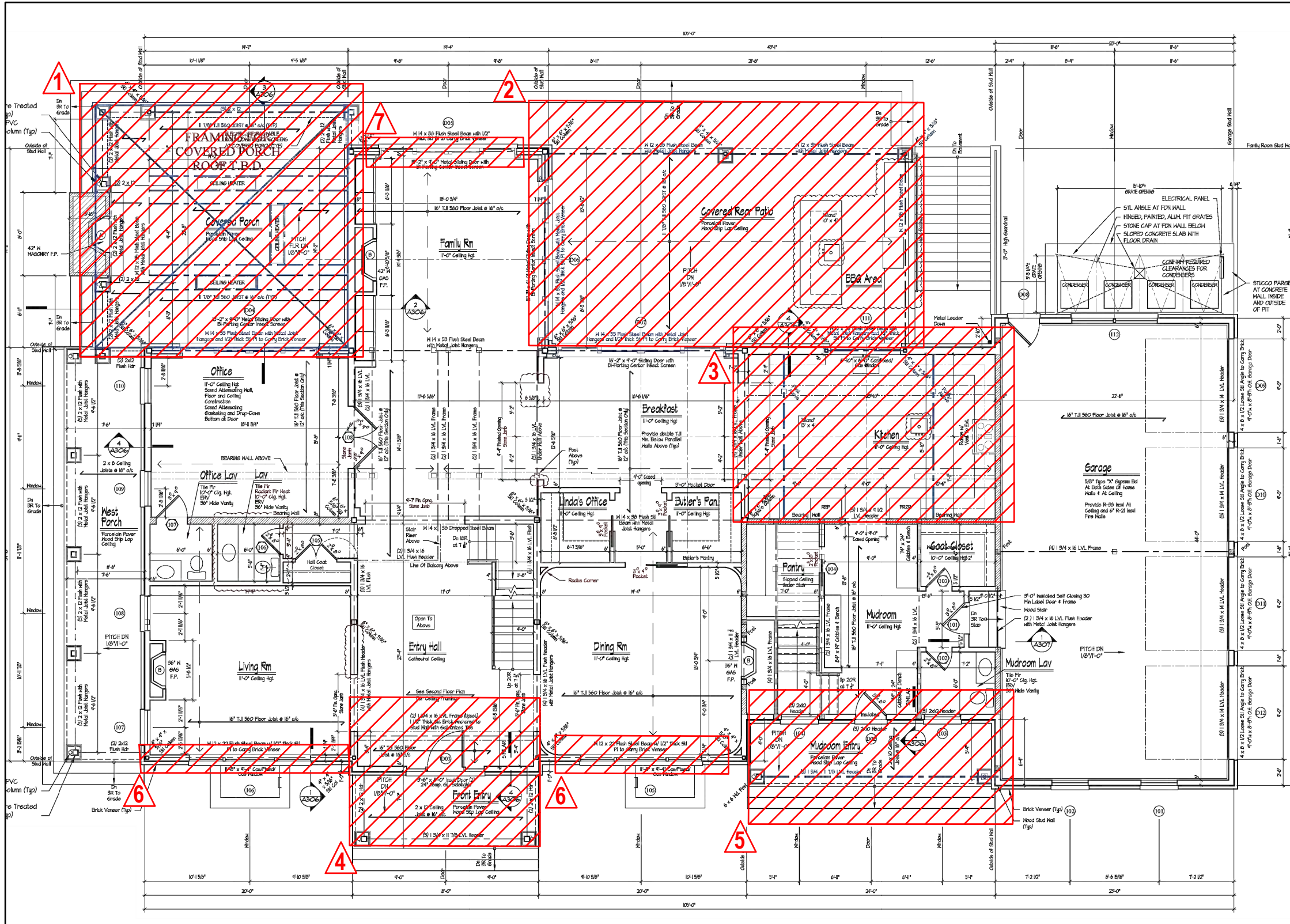
REQUIRED INSPECTIONS FOR THIS PROJECT MAY INCLUDE THE FOLLOWING, AS APPLICABLE, OR AS SPECIFIED IN THE CODE ENFORCEMENT PROGRAM OF THE TOWN OF GREENWICH:

- WORKSITE PRIOR TO THE ISSUANCE OF A PERMIT
 - PLUMBING*
 - ELECTRICAL*
 - MECHANICAL
 - FRAMING (SUBSEQUENT TO THE INSPECTION & APPROVAL OF PLUMBING, ELECTRICAL & MECHANICAL)
 - FIRE RESISTANT CONSTRUCTION
 - FIRE RESISTANT PENETRATIONS
 - ENERGY CODE COMPLIANCE
 - A FINAL INSPECTION AFTER ALL WORK AUTHORIZED BY THE BUILDING PERMIT HAS BEEN COMPLETED
 - ANY OTHER INSPECTIONS AS REQUIRED BY THE TOWN OF GREENWICH.
- A SCHEDULE OF REQUIRED INSPECTIONS IS AVAILABLE FROM THE BUILDING DEPARTMENT OF THE TOWN OF GREENWICH.
- *THE WORK APPLICABLE TO SOME OF THE ABOVE INSPECTIONS (FOR INSTANCE PLUMBING AND ELECTRICAL) SHALL BE COMPLETED UNDER A SEPARATE PERMIT, FILED BY THE RELEVANT LICENSED CONTRACTORS.

AFTER INSPECTION, THE WORK OR A PORTION THEREOF SHALL BE NOTED AS SATISFACTORY AS COMPLETED, OR THE BUILDING PERMIT HOLDER SHALL BE NOTIFIED AS TO THE MANNER IN WHICH THE WORK FAILS TO COMPLY WITH APPLICABLE CODES, INCLUDING A CITATION OF THE SPECIFIC CODE PROVISION OR PROVISIONS THAT HAVE NOT BEEN MET.

IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO ASCERTAIN THE RESULTS OF REQUIRED INSPECTIONS.

CONSTRUCTION WORK NOT IN COMPLIANCE WITH APPLICABLE CODES SHALL BE REQUIRED TO REMAIN EXPOSED UNTIL IT HAS BEEN BROUGHT INTO COMPLIANCE WITH THE CODES, RE-INSPECTED, AND FOUND SATISFACTORY AS COMPLETED.

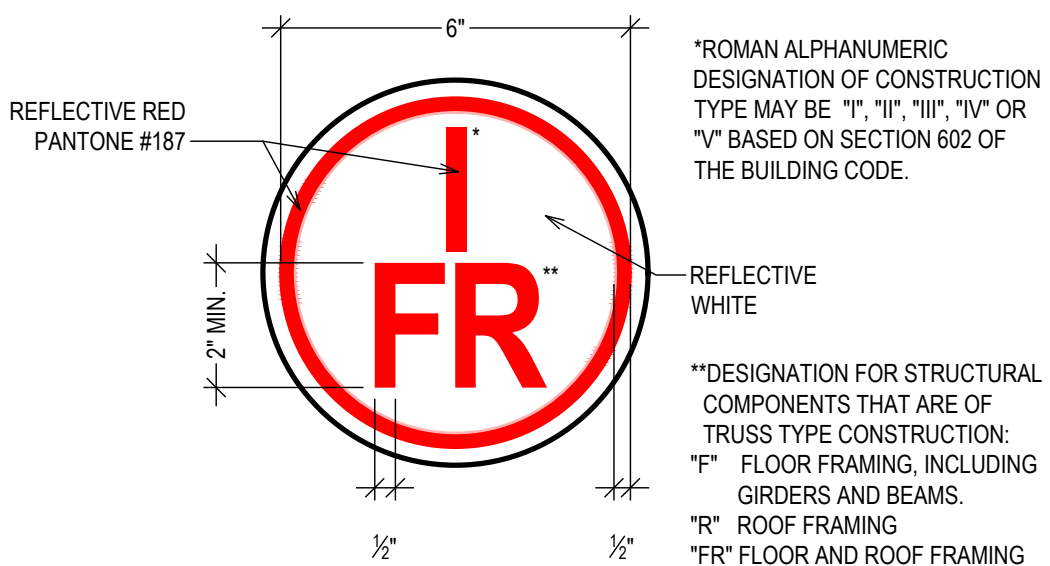


FIRST FLOOR
NOT TO SCALE

TRUSS TYPE CONSTRUCTION:

UTILIZATION:

THE UTILIZATION OF TRUSS-TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND/OR TIMBER CONSTRUCTION IN RESIDENTIAL STRUCTURES IS SUBJECT TO THE REQUIREMENTS OF TITLE 19 OF THE CONNECTICUT CODES, RULES AND REGULATIONS (NYCRR), PART 1265. ANY PERSON UTILIZING TRUSS TYPE, PRE-ENGINEERED WOOD OR TIMBER CONSTRUCTION FOR THE ERECTION OF ANY NEW RESIDENTIAL STRUCTURE, FOR ANY ADDITION TO AN EXISTING RESIDENTIAL STRUCTURE, OR FOR ANY REHABILITATION OF AN EXISTING RESIDENTIAL STRUCTURE, SHALL, UPON APPLICATION FOR A BUILDING PERMIT WITH THE LOCAL GOVERNMENT HAVING JURISDICTION, INCLUDE ON THE PERMIT APPLICATION THAT TRUSS TYPE, PRE-ENGINEERED WOOD OR TIMBER CONSTRUCTION IS BEING UTILIZED, AND THAT THE PROPERTY OWNER OR THE PROPERTY OWNER'S REPRESENTATIVE SHALL COMPLETE A FORM PRESCRIBED BY THE STATE FIRE PREVENTION AND BUILDING CODE COUNCIL, (HEREINAFTER REFERRED TO AS THE CODE COUNCIL), DESIGNATING THE STRUCTURE AS TRUSS TYPE, PRE-ENGINEERED WOOD OR TIMBER CONSTRUCTION AND FILE SUCH FORM WITH THE APPLICATION FOR A BUILDING PERMIT.



REQUIRED SIGN:

AS A CONDITION OF THE RECEIPT OF A CERTIFICATE OF OCCUPANCY, A SIGN OR SYMBOL DESIGNED AND APPROVED BY THE CODE COUNCIL SHALL BE AFFIXED TO THE ELECTRIC BOX ATTACHED TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE, PROVIDED:

IF AFFIXING THE SIGN OR SYMBOL TO THE ELECTRIC BOX WOULD OBSCURE ANY METER ON THE ELECTRIC BOX, OR IF THE UTILITY PROVIDING ELECTRIC SERVICE TO THE RESIDENTIAL STRUCTURE DOES NOT ALLOW THE SIGN OR SYMBOL TO BE AFFIXED TO THE ELECTRIC BOX, THE SIGN OR SYMBOL SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE, IMMEDIATELY ADJACENT TO THE ELECTRIC BOX, AND:

IF NO ELECTRIC BOX IS ATTACHED TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE, OR IF THE OPINION OF THE AUTHORITY HAVING JURISDICTION, OR THE FIRE DEPARTMENT, IS THAT THE EXTERIOR OF THE BUILDING IS NOT LOCATED IN A PROXIMITY TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE, THE SIGN OR SYMBOL SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE STRUCTURE IN A LOCATION APPROVED BY THE BUILDING OFFICIAL OF THE TOWN OF GREENWICH AS A LOCATION LIKELY TO BE SEEN BY FIREFIGHTERS OR OTHER FIRST RESPONDERS RESPONDING TO A FIRE OR OTHER EMERGENCY AT THE RESIDENTIAL STRUCTURE.

STRUCTURAL STEEL:

STRUCTURAL STEEL MEMBERS:

STRUCTURAL STEEL SHAPES SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:

- W-SHAPES: ASTM A992 (F_y = 50-65 KSI, F_u = 65 KSI)
- M-, S- & HP-SHAPES: ASTM A36 (F_y = 36 KSI, F_u = 58-80 KSI)
- CHANNELS (C & MC): ASTM A36 (F_y = 36 KSI, F_u = 58-80 KSI)
- ANGLES (L): ASTM A36 (F_y = 36 KSI, F_u = 58-80 KSI)
- STRUCTURAL TEES: SAME AS (THEIR) M-, S- & W-SHAPES
- RECTANGULAR & SQUARE HSS: ASTM A500 GRADE B (F_y = 46 KSI, F_u = 58 KSI)
- ROUND HSS: ASTM A500 GRADE B (F_y = 42 KSI, F_u = 58 KSI)
- STEEL PIPE: ASTM A53 GRADE B (F_y = 35 KSI, F_u = 60 KSI)
- PLATES & BARS (UP TO 8"): ASTM A36 (F_y = 36 KSI, F_u = 58-80 KSI)
- PLATES & BARS (> 8"): ASTM A36 (F_y = 32 KSI, F_u = 58 KSI)

FASTENING PRODUCTS:

FASTENING PRODUCTS SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:

- H.S. A325 BOLTS: >1'-1 1/2' INC.: ASTM A325 (F_u = 120 KSI)
- H.S. A325 BOLTS: 1/2' - 1' INC.: ASTM A325 (F_u = 105 KSI)
- H.S. A490 BOLTS: 1/2' - 1 1/2' INC.: ASTM A490 (F_u = 150 KSI)
- HEAVY-DUTY HEX NUTS: 1/2' - 4": ASTM A563
- HARDENED WASHERS: 1/2' - 4": ASTM F436
- H.S. A490 BOLTS: 1/2' - 1 1/2' INC.: ASTM A490 (F_y = XX KSI, F_u = 150 KSI)
- THREADED ROD: ASTM A36 (F_y = 36 KSI, F_u = 58-80 KSI)
- ANCHOR ROD: ASTM F1554, GR. 36 (F_y = 36 KSI, F_u = 58-80 KSI)
- FILLER (WELD) MATERIAL: PER TABLE D1.1, TABLE 3.1 (MINIMUM F_u = 70KSI)
- WELDING ELECTRODES: 70XX RODS TO AWS A5.20 (FCA PROCESS)
- RAWS A5.18, (GMAW PROCESS)
- RAWS A5.1, (SMAW PROCESS)

SYSTEM OF DESIGN PROFESSIONAL:

THESE PLANS HAVE BEEN PREPARED IN CONFORMANCE WITH 2021 INTERNATIONAL RESIDENTIAL CODE. PORTION OF THE CONNECTICUT STATE BUILDING CODE (INTERNATIONAL RESIDENTIAL CODE 2021 WITH AMENDMENTS).

VERIFIED AND SIGNED:

STAMP (REQUIRED AND SIGNED)

LIST OF DRAWINGS			
SHEET	DRAWING NAME	DATE	REVISION
C-01	COVER SHEET	09.21.2024	04.18.2025
C-02	WORK AREA DESIGNATION	09.21.2024	04.18.2025
S-01	COVERED PORCH (WORK AREA 1)	09.21.2024	04.18.2025
S-02	COVERED REAR PATIO (WORK AREA 2)	09.21.2024	04.18.2025
S-03	KITCHEN (WORK AREA 3)	09.21.2024	04.18.2025
S-04	FRONT ENTRY & MUDROOM ENTRY (WORK AREAS 4 & 5)	09.21.2024	04.18.2025
S-05	LIVING, DINING AND FAMILY ROOM (WORK AREAS 6 & 7)	09.21.2024	04.18.2025

PROPERTY ADDRESS:

GREENWICH, CT 06830
(TOWN OF GREENWICH
BUILDING DEPARTMENT)

TAX ID:

CLIENT:

*** **

TEL:

EMAIL:

DATE:

02.07.2025

DATE:

03.28.2025

DATE:

04.18.2025

ISSUE:

PRELIMINARY

FOR REVIEW

FOR REVIEW

PROJECT NAME:

NEW HOME; STRUCTURAL

DRAWING NAME:

COVER SHEET

DRAWING NUMBER:

C-01

DATE:

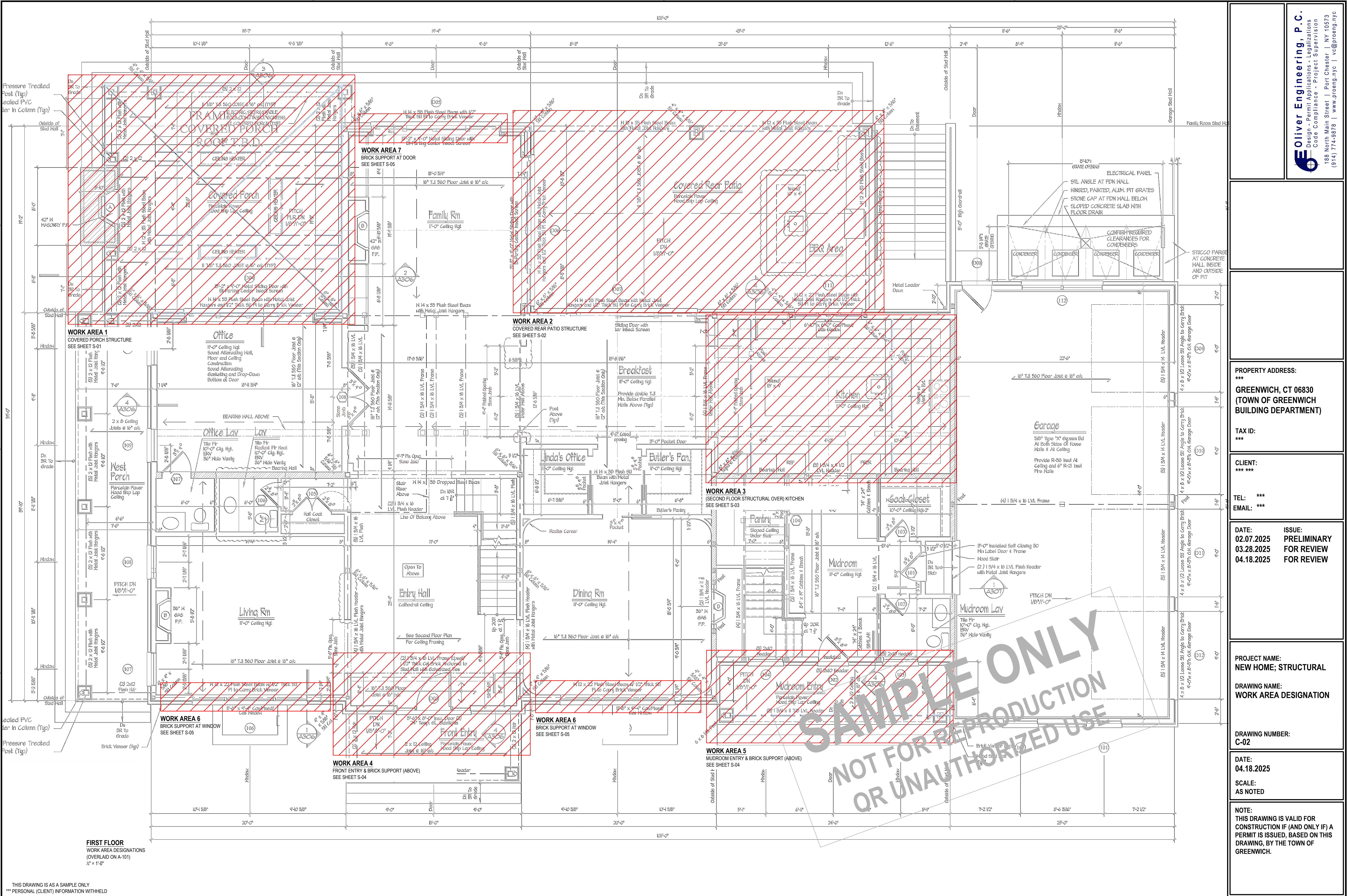
04.18.2025

SCALE:

AS NOTED

NOTE:

THIS DRAWING IS VALID FOR CONSTRUCTION IF (AND ONLY IF) A PERMIT IS ISSUED, BASED ON THIS DRAWING, BY THE TOWN OF GREENWICH.



Oliver Engineering, P.C.
Design - Permit Applications - Legalizations
Code Compliance - Project Supervision
188 North Main Street | Port Chester, NY 10573
(914) 774-9878 | www.proeng.nyc | vc@proeng.nyc

PROPERTY ADDRESS:

GREENWICH, CT 06830
(TOWN OF GREENWICH
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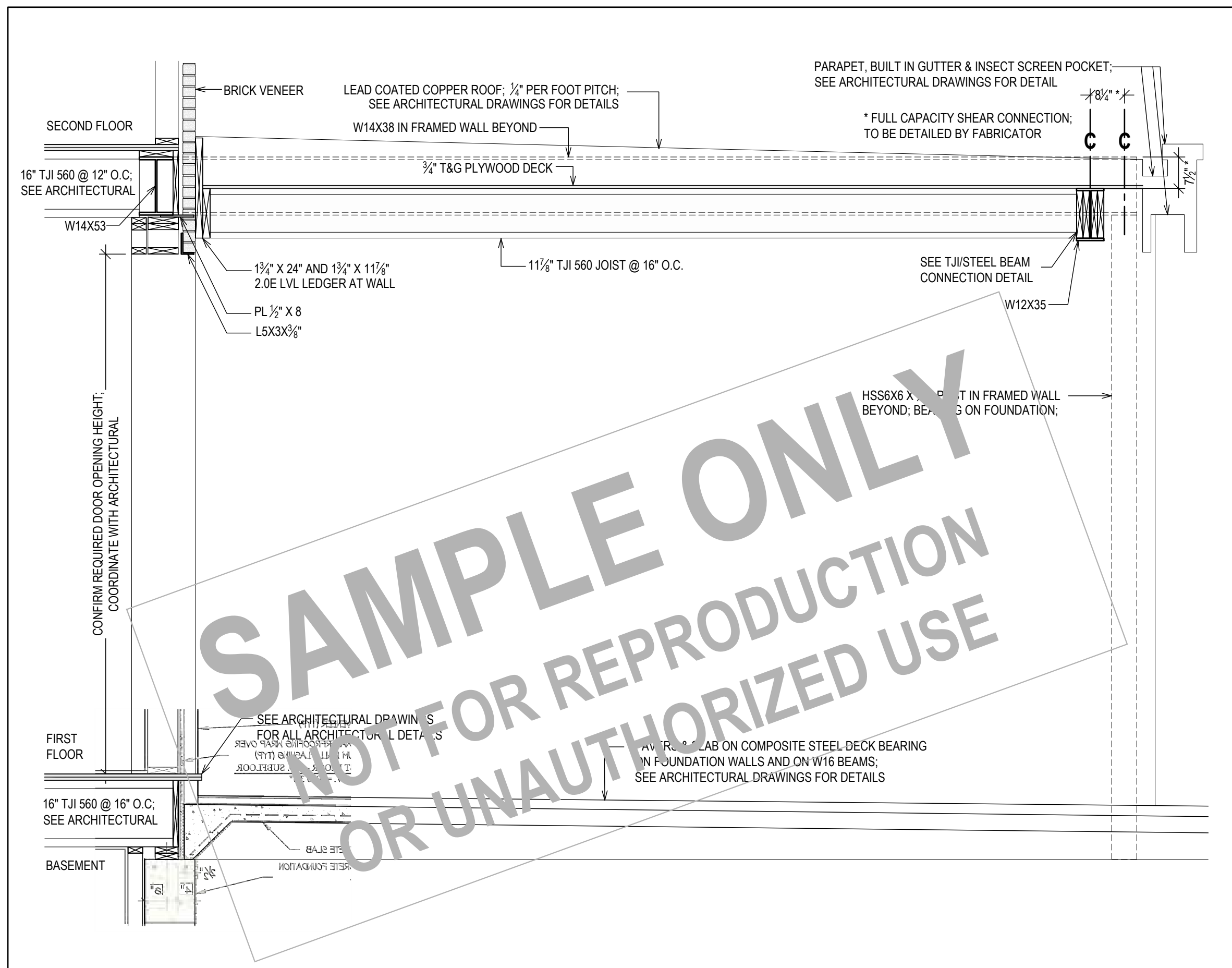
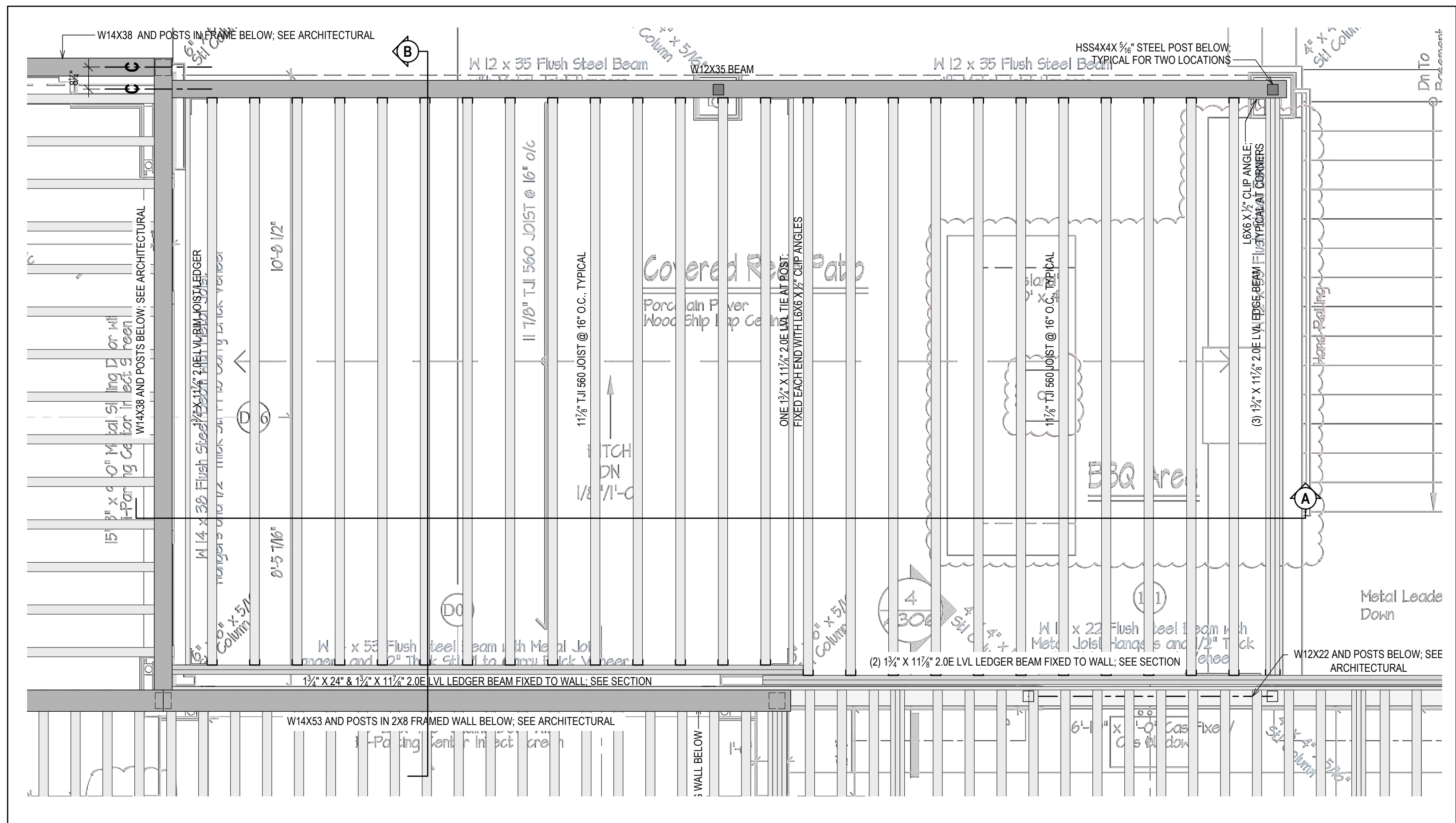
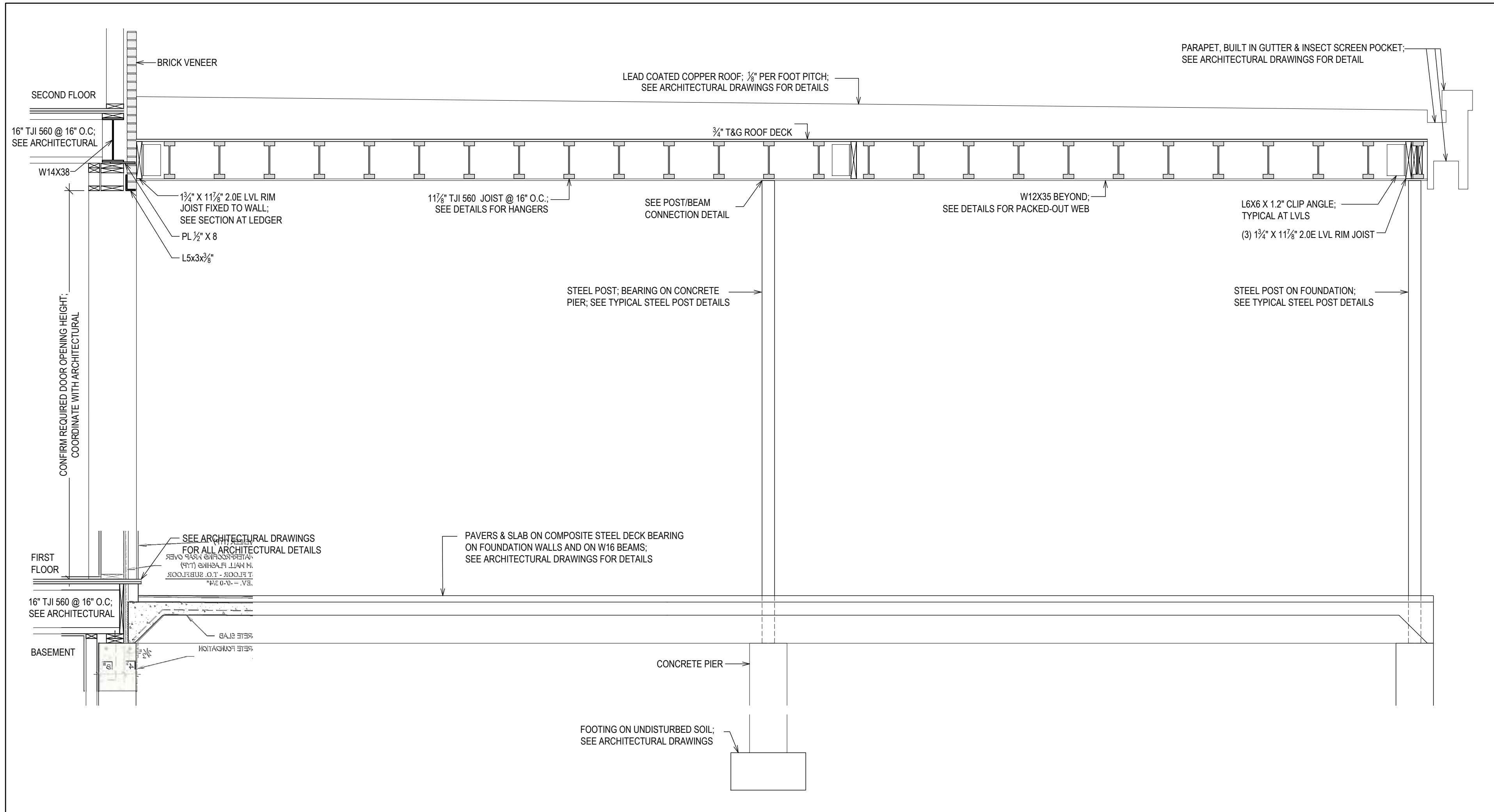
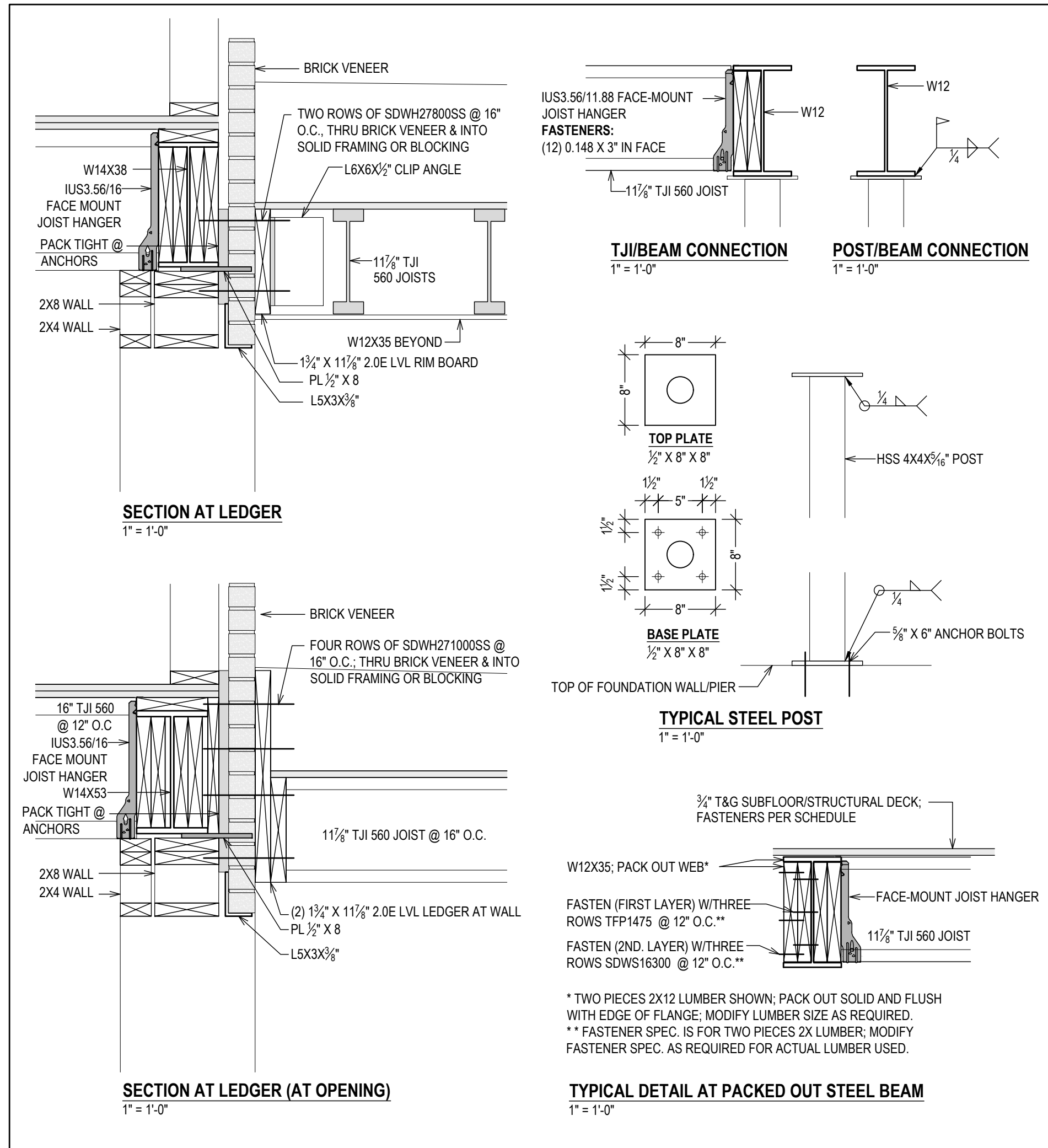
DATE: 02.07.2025
03.28.2025
04.18.2025
ISSUE: PRELIMINARY
FOR REVIEW
FOR REVIEW

PROJECT NAME:
NEW HOME; STRUCTURAL
DRAWING NAME:
WORK AREA DESIGNATION

DRAWING NUMBER:
C-02

DATE:
04.18.2025
SCALE:
AS NOTED

NOTE:
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CONSTRUCTION IF (AND ONLY IF) A
PERMIT IS ISSUED, BASED ON THIS
DRAWING, BY THE TOWN OF
GREENWICH.



PROPERTY ADDRESS:

GREENWICH, CT 06830
(TOWN OF GREENWICH
BUILDING DEPARTMENT)

TAX ID:

CLIENT:
*** **

TEL: ***
EMAIL: ***

DATE: 02.07.2025
03.28.2025
04.18.2025
ISSUE: PRELIMINARY
FOR REVIEW
FOR REVIEW

PROJECT NAME:
NEW HOME; STRUCTURAL

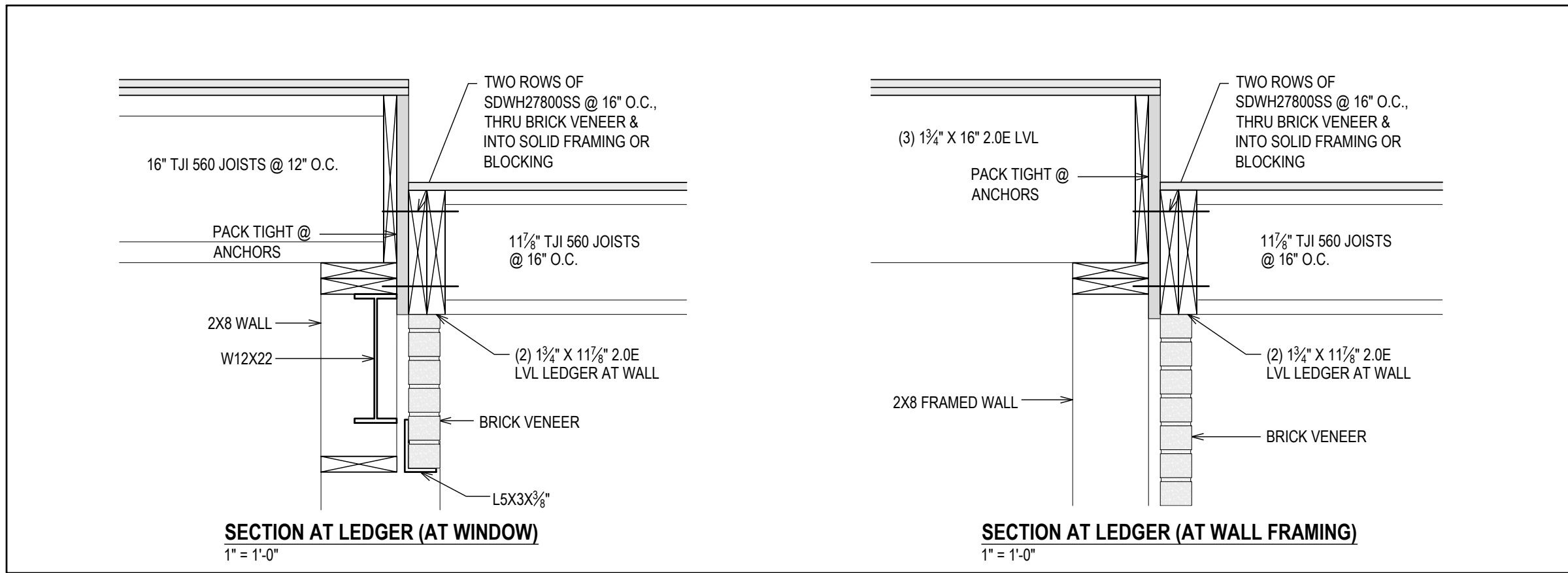
DRAWING NAME:
**COVERED REAR PATIO
(WORK AREA 2)**

DRAWING NUMBER:
S-02

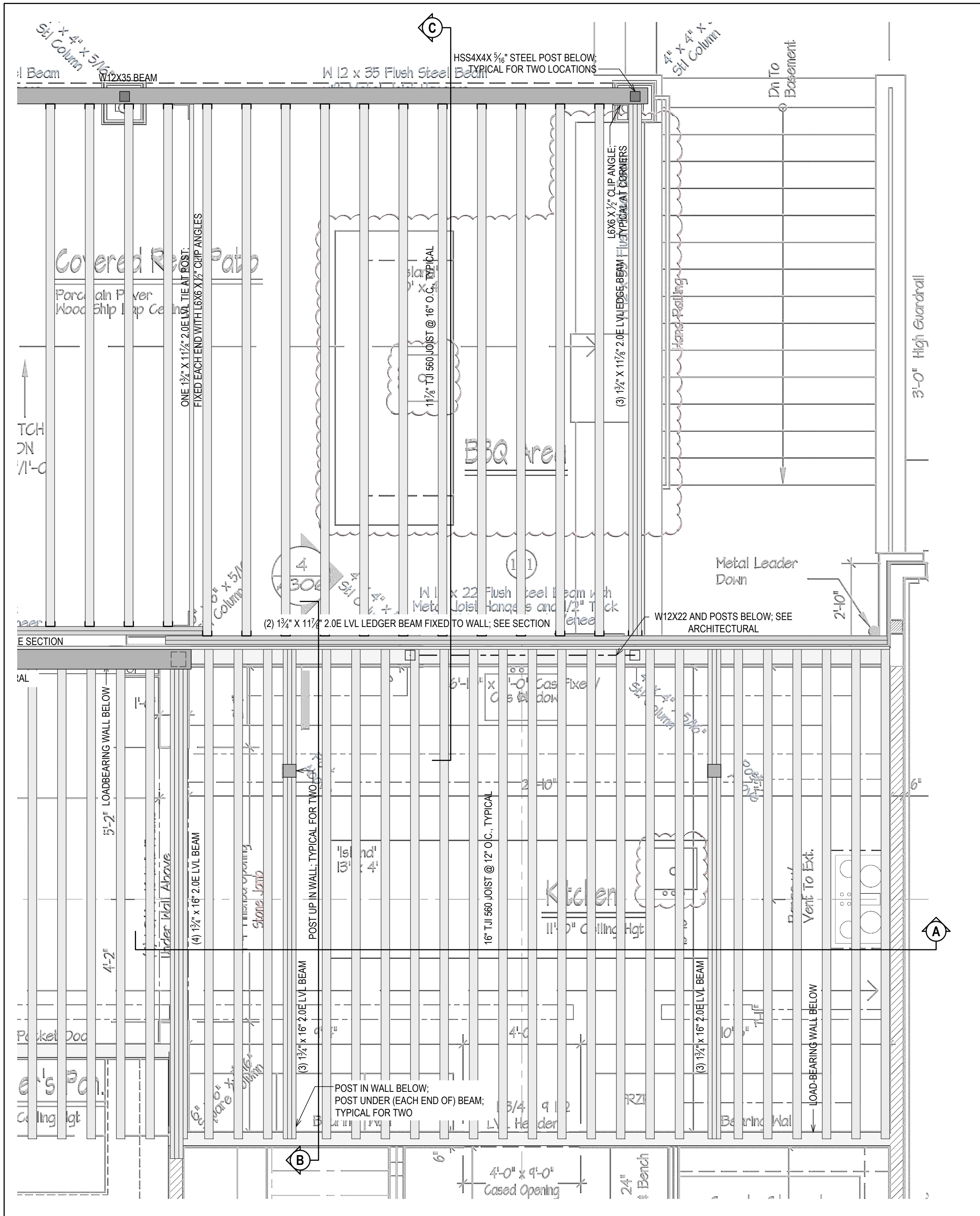
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04.18.2025

SCALE:
AS NOTED

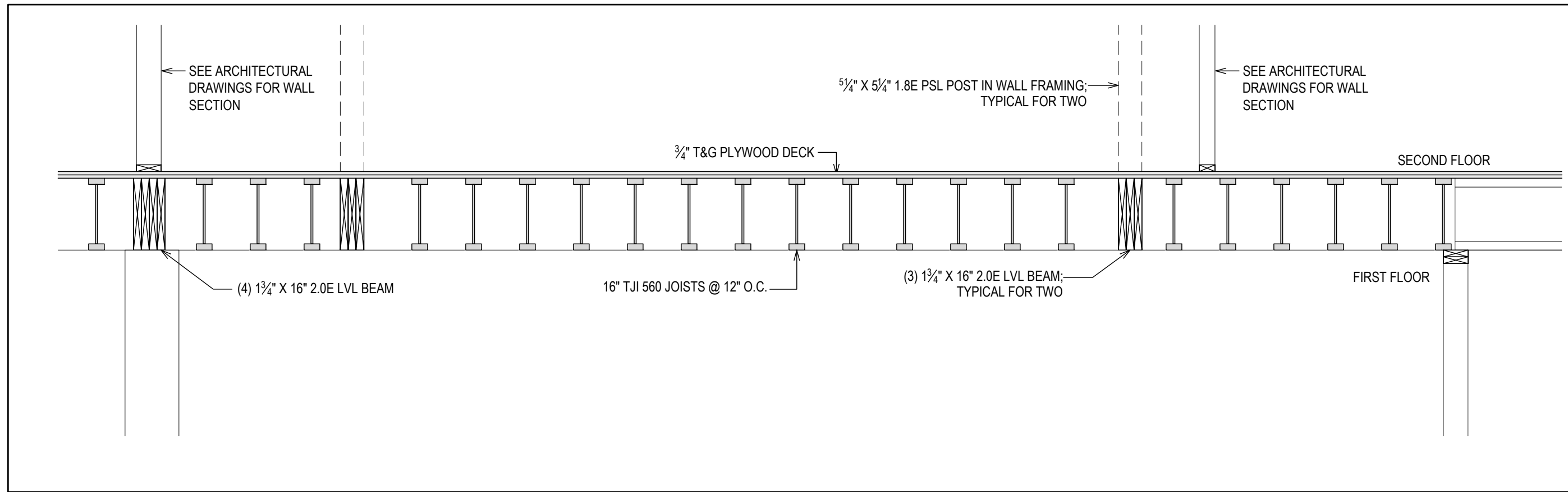
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GREENWICH.



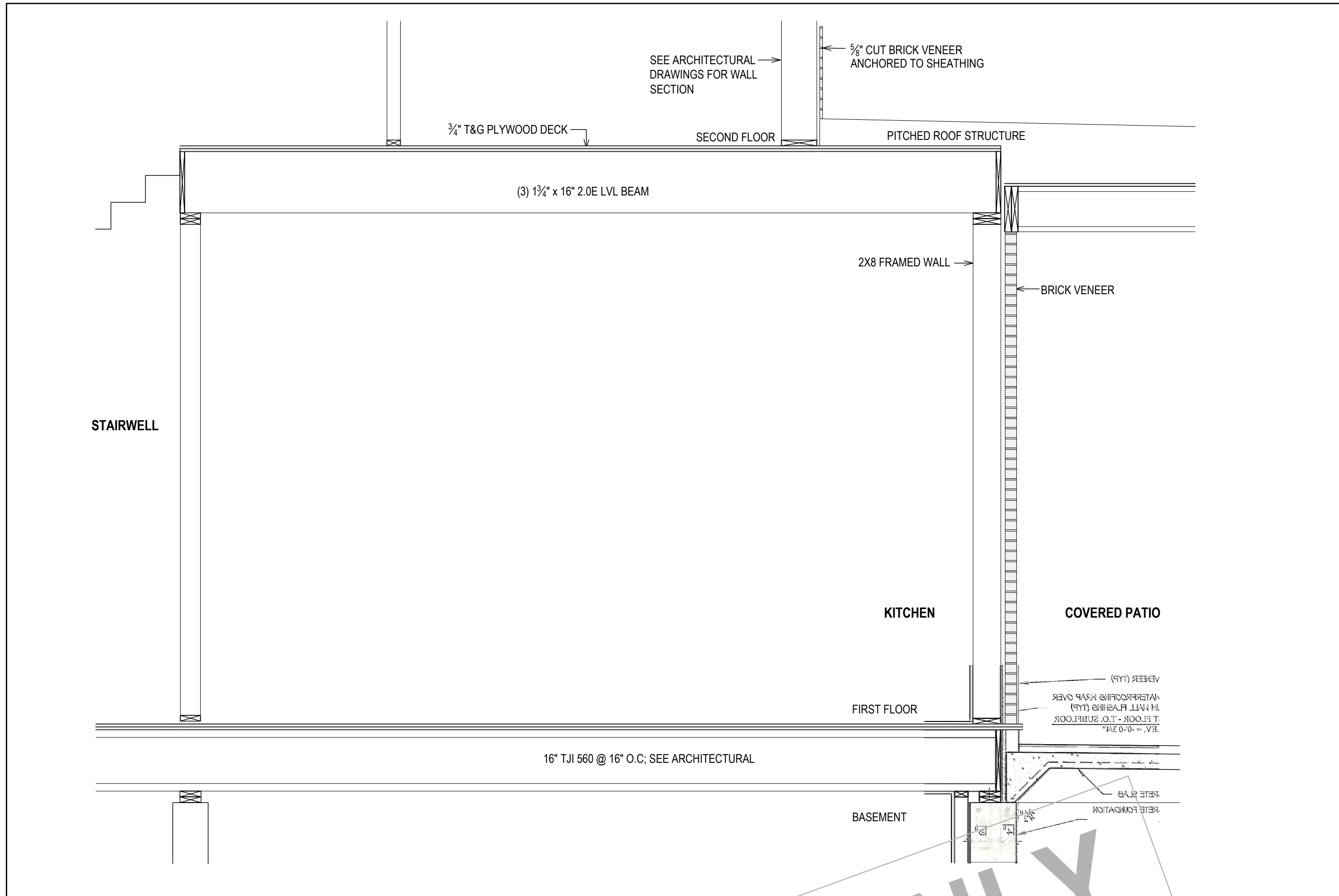
DETAILS
1" = 1'-0"



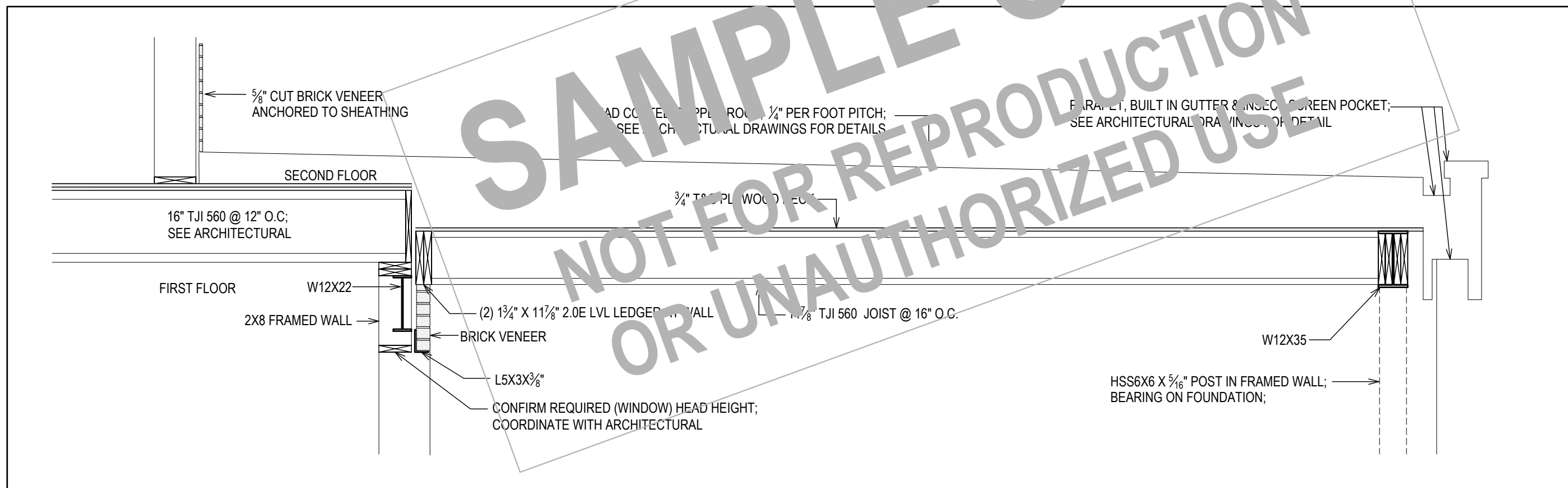
WORK AREA 3: (ABOVE) KITCHEN
3/8" = 1'-0"



SECTION A
1/2" = 1'-0"



SECTION B
1/2" = 1'-0"



SECTION C
1/2" = 1'-0"

PROPERTY ADDRESS:

GREENWICH, CT 06830
(TOWN OF GREENWICH
BUILDING DEPARTMENT)

TAX ID:

CLIENT:
*** **

TEL: ***
EMAIL: ***

DATE: 02.07.2025
03.28.2025
04.18.2025
ISSUE: PRELIMINARY
FOR REVIEW
FOR REVIEW

PROJECT NAME:
NEW HOME; STRUCTURAL

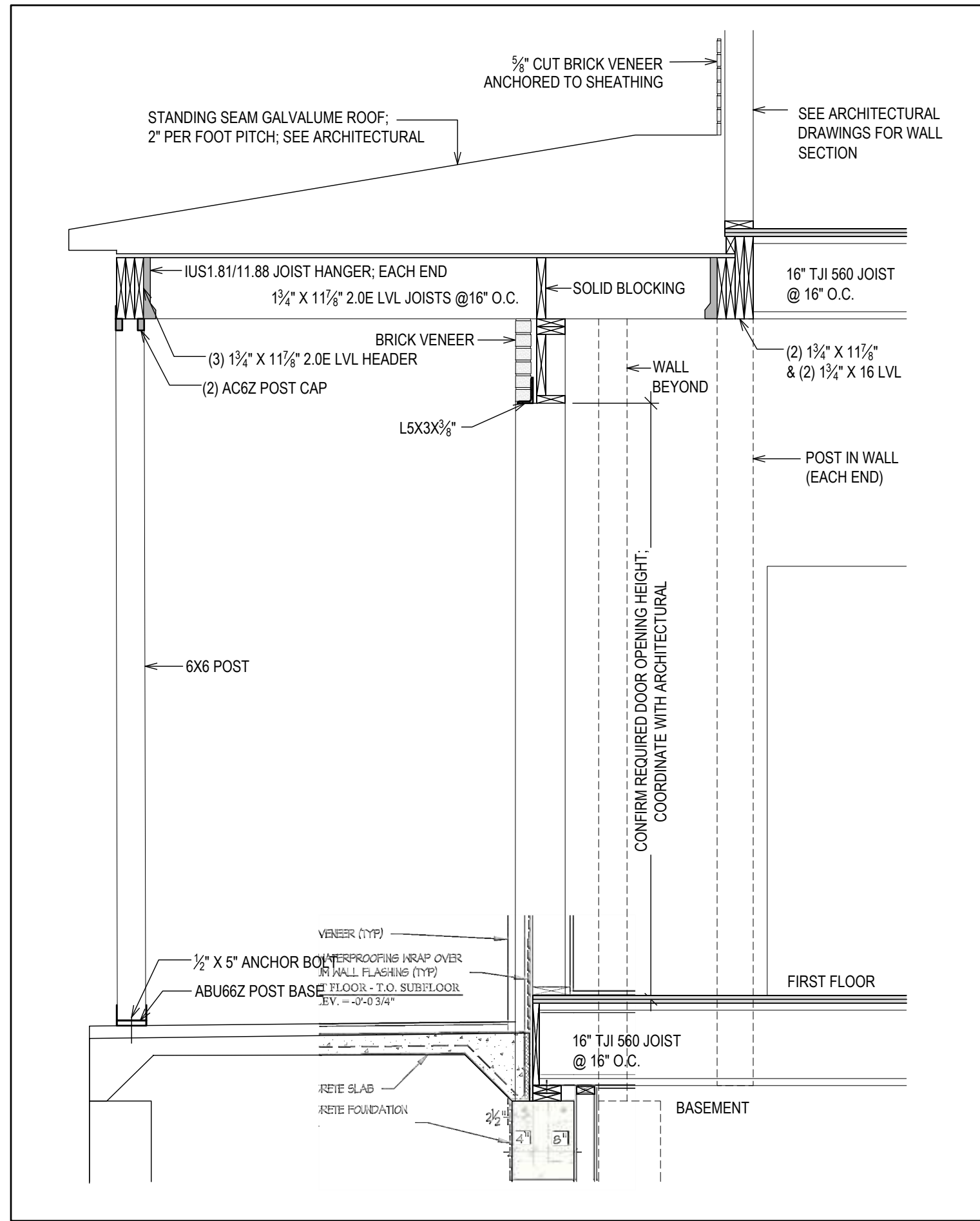
DRAWING NAME:
**KITCHEN
(WORK AREA 3)**

DRAWING NUMBER:
S-03

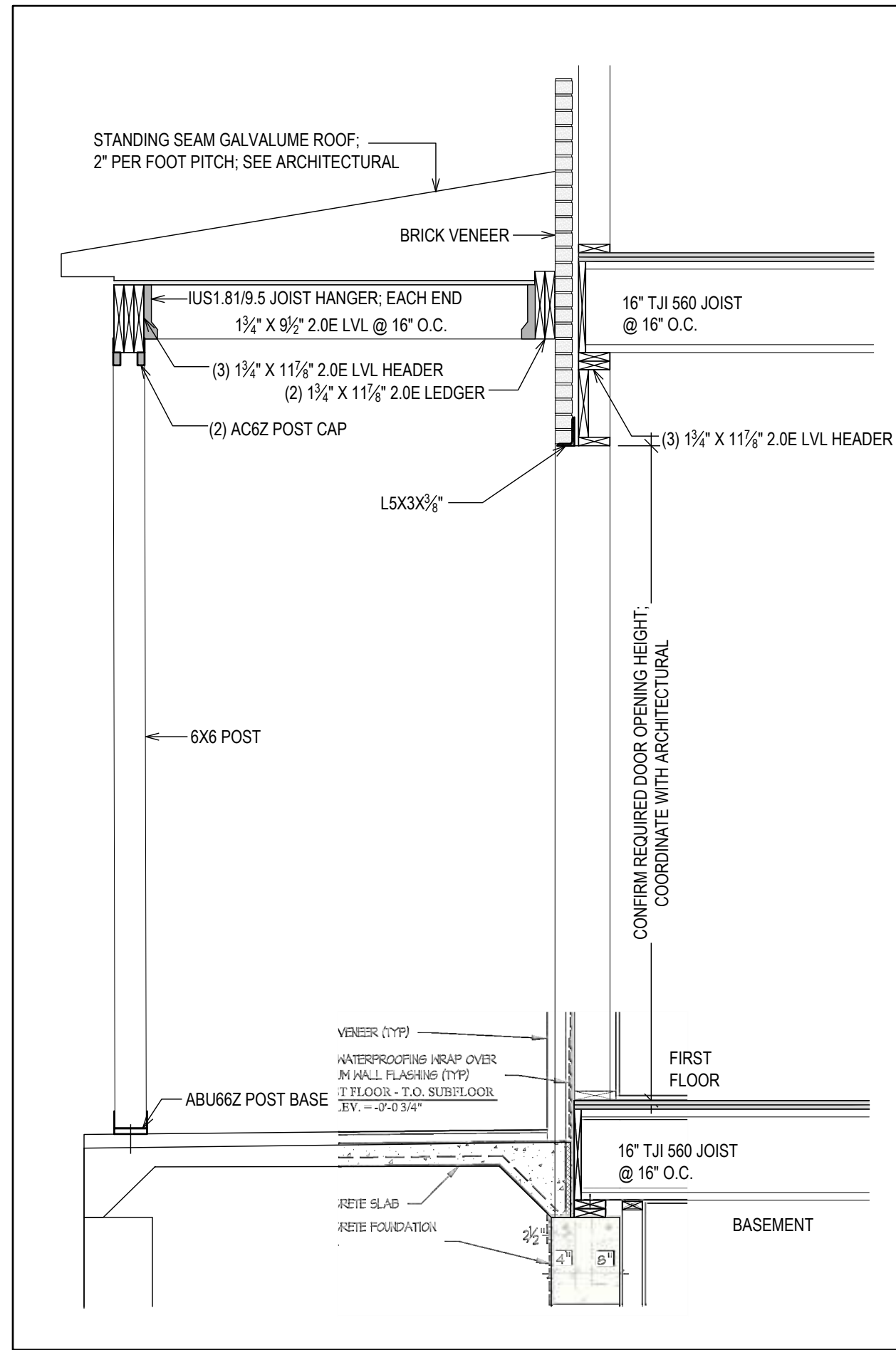
DATE:
04.18.2025

SCALE:
AS NOTED

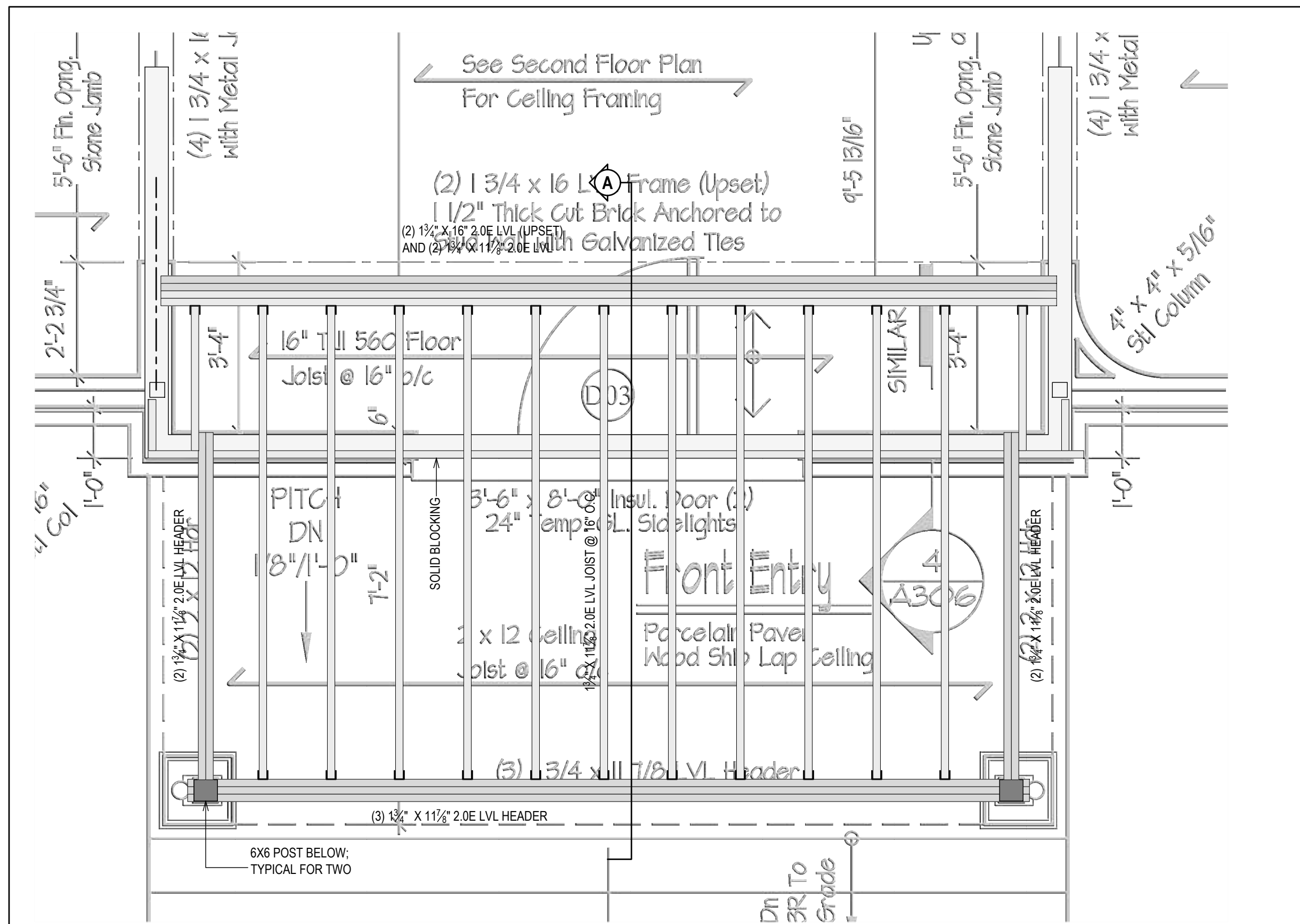
NOTE:
THIS DRAWING IS VALID FOR
CONSTRUCTION IF (AND ONLY IF) A
PERMIT IS ISSUED, BASED ON THIS
DRAWING, BY THE TOWN OF
GREENWICH.



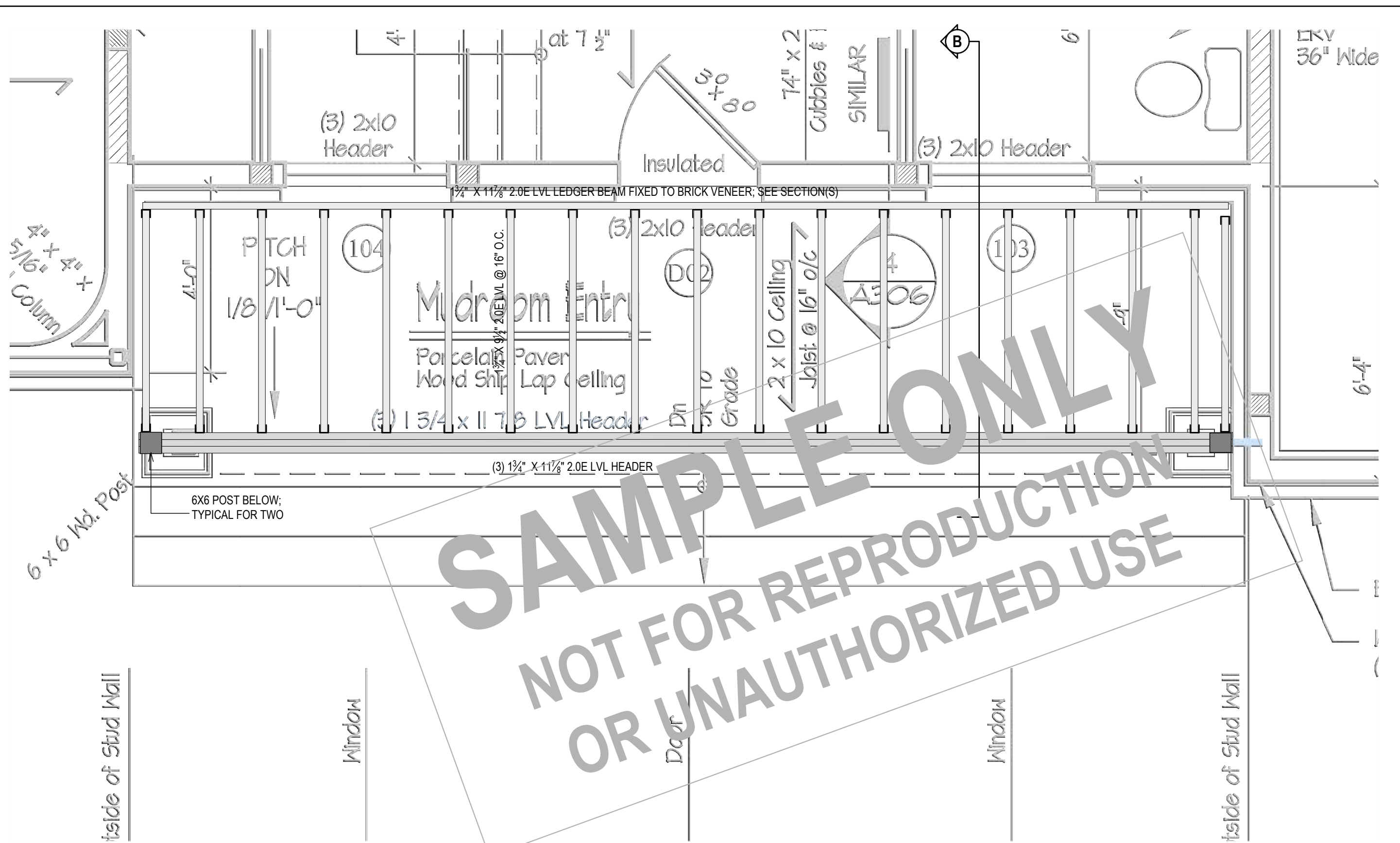
SECTION A - WORK AREA 4
1/2" = 1'-0"



SECTION B - WORK AREA 5
1/2" = 1'-0"



FRONT ENTRY & BRICK SUPPORT - WORK AREA 4
1/2" = 1'-0"



MUDROOM ENTRY & BRICK SUPPORT - WORK AREA 5
1/2" = 1'-0"

PROPERTY ADDRESS:

GREENWICH, CT 06830
(TOWN OF GREENWICH
BUILDING DEPARTMENT)

TAX ID:

CLIENT:
*** **

TEL: ***
EMAIL: ***

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PROJECT NAME:
NEW HOME; STRUCTURAL

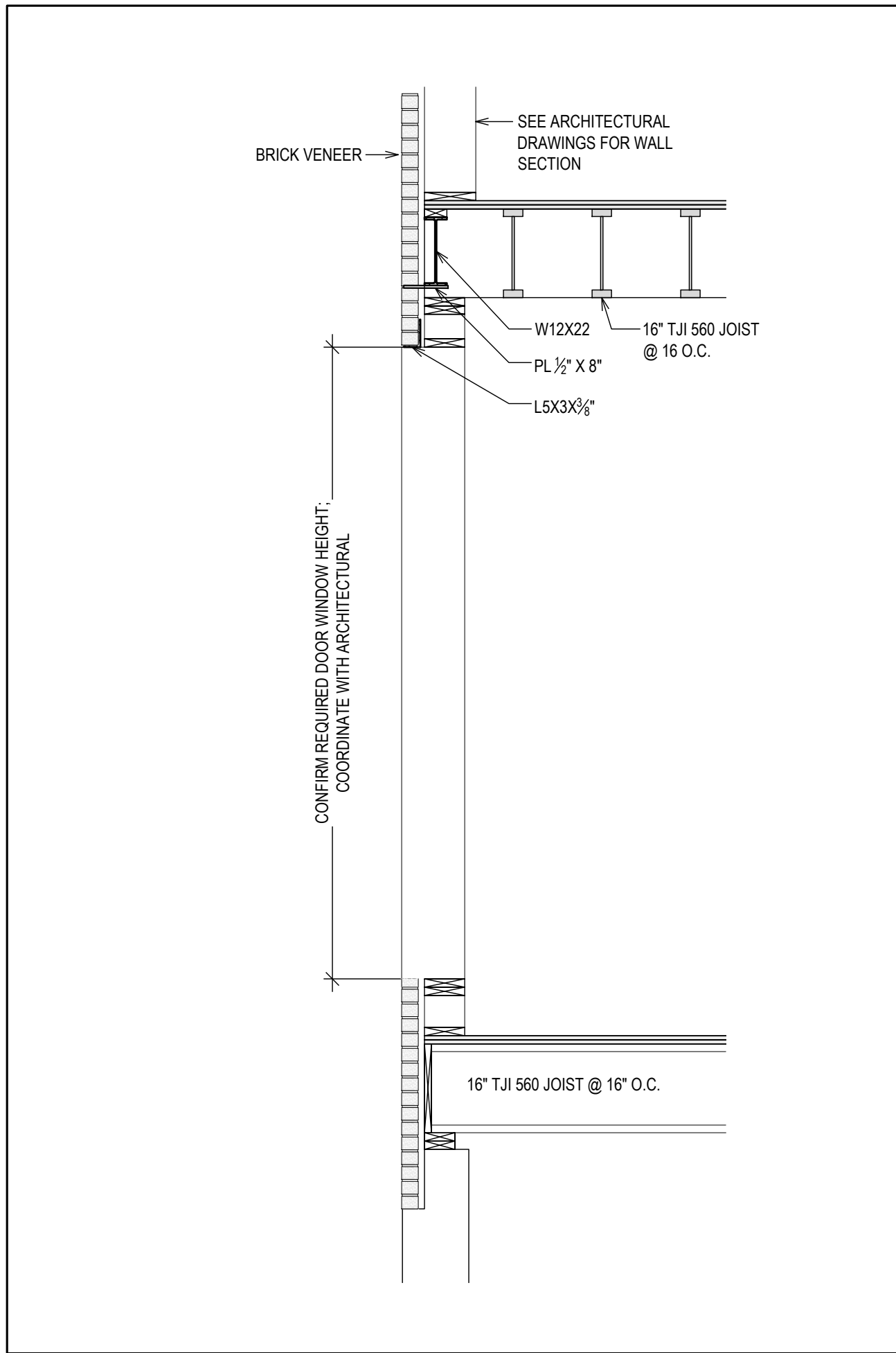
DRAWING NAME:
**FRONT ENTRY & MUDROOM
ENTRY (WORK AREAS 4 & 5)**

DRAWING NUMBER:
S-04

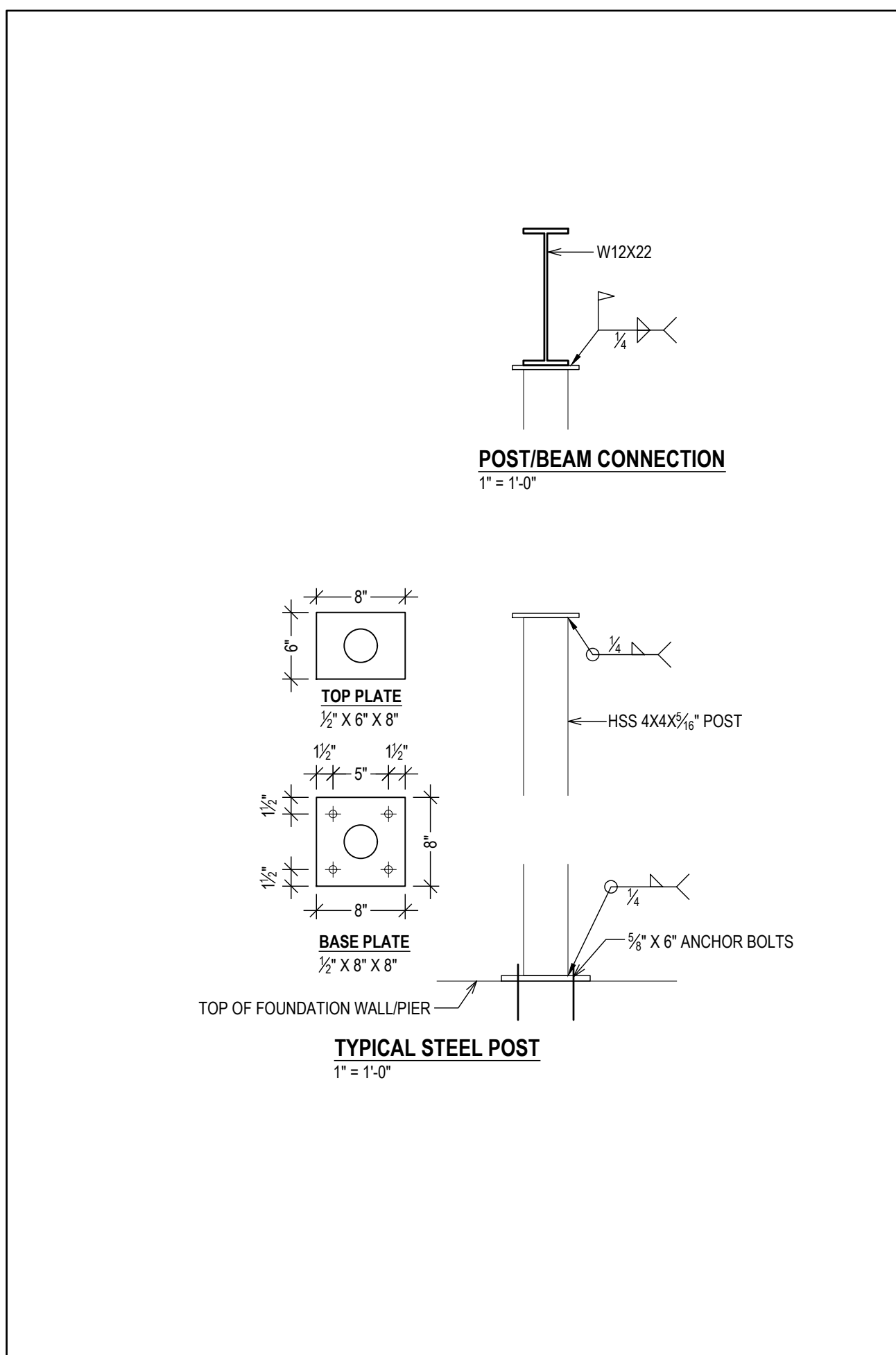
DATE:
04.18.2025

SCALE:
AS NOTED

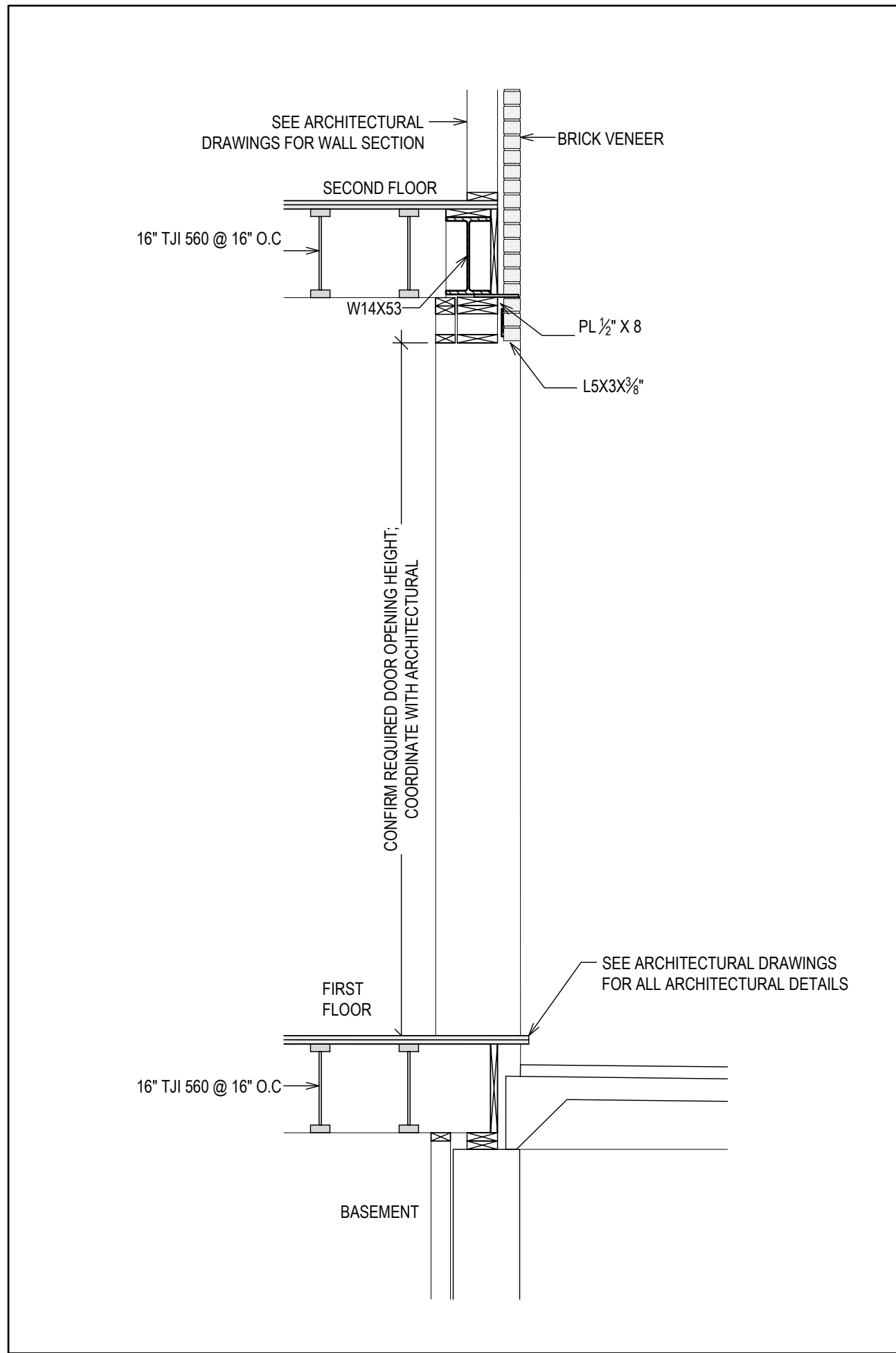
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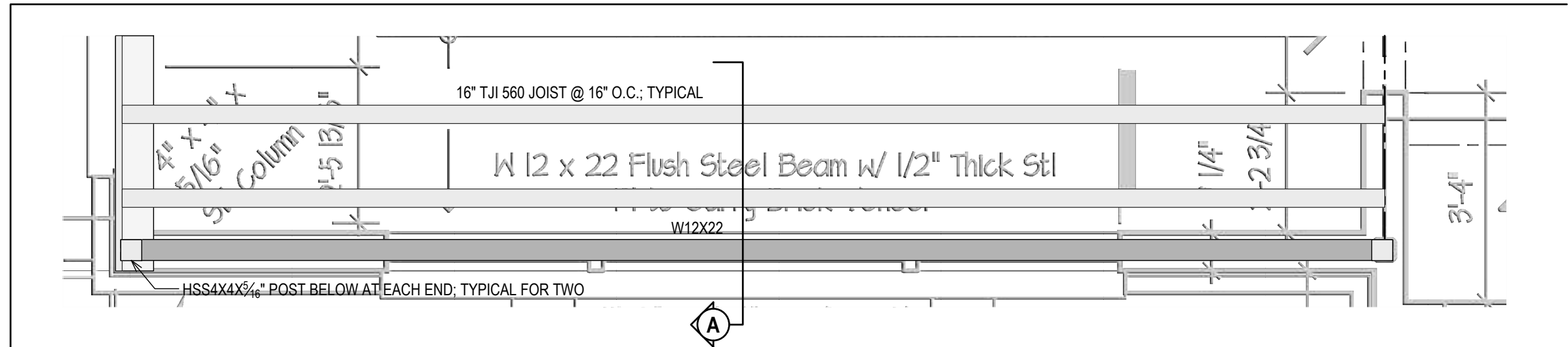
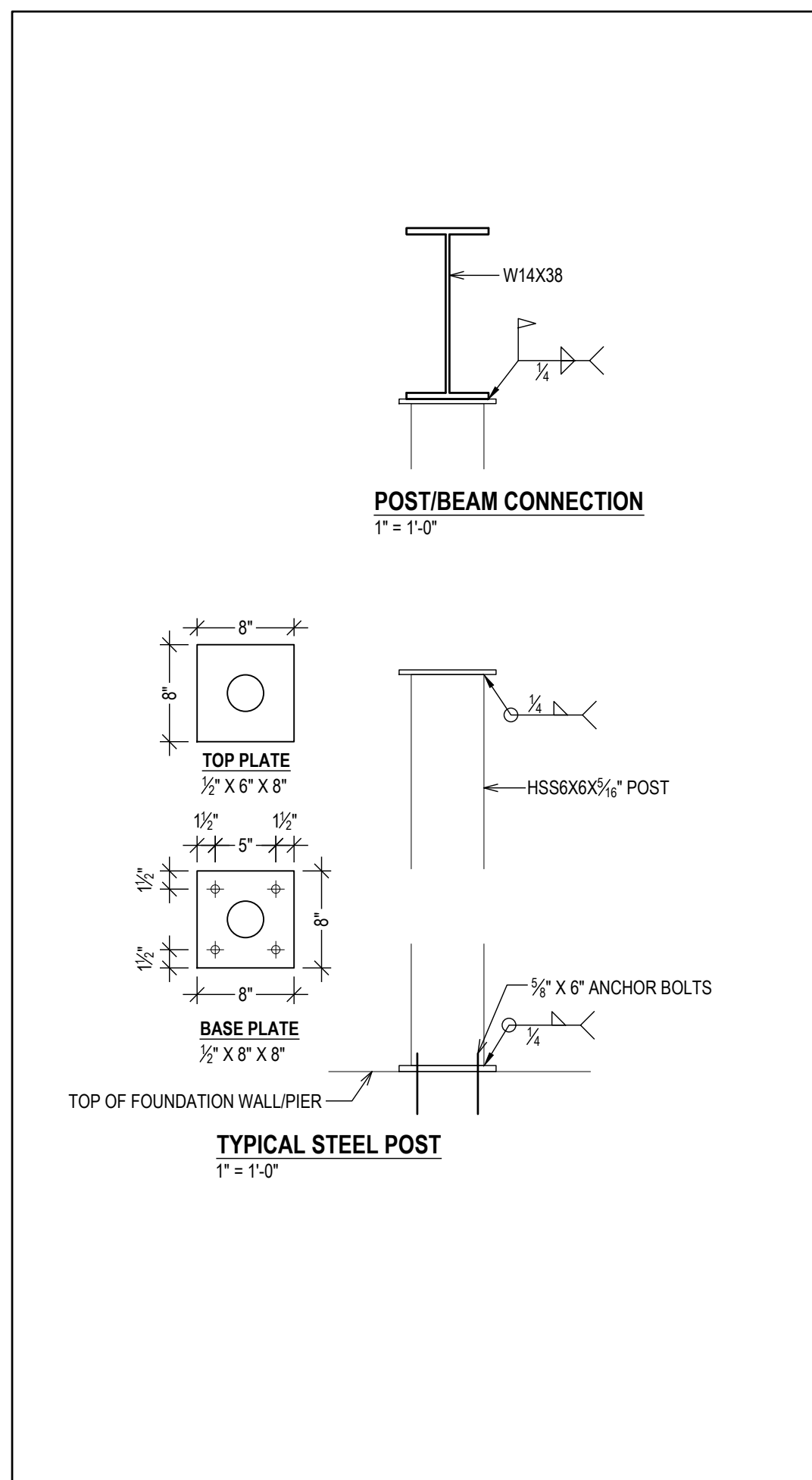
SECTION A (LIVING AND DINING ROOM)
1/2" = 1'-0"



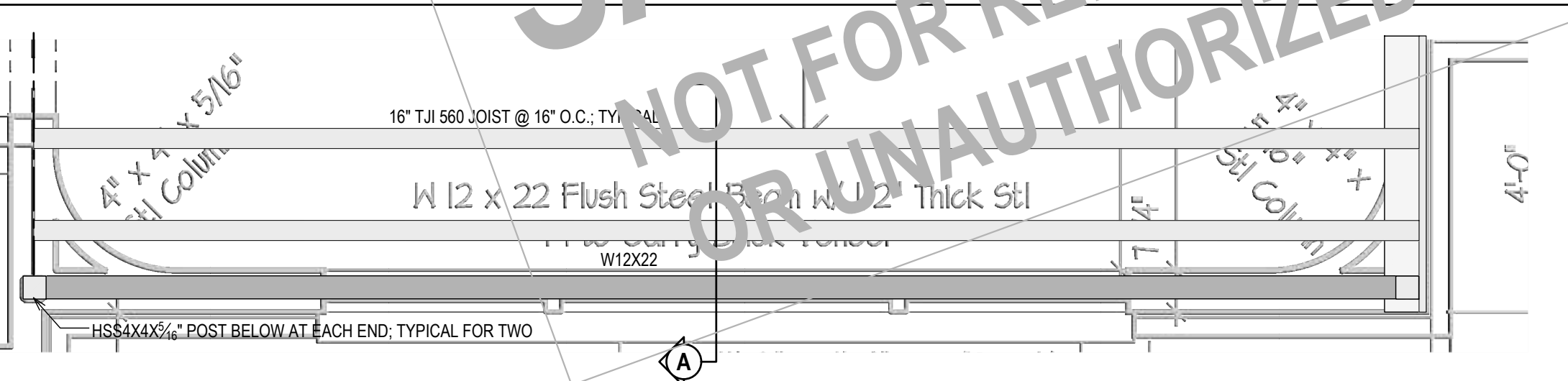
DETAILS
1" = 1'-0"



SECTION A (FAMILY ROOM)
1/2" = 1'-0"



LIVING ROOM - WORK AREA 6
1/2" = 1'-0"



DINING ROOM - WORK AREA 6
1/2" = 1'-0"

THIS DRAWING IS AS A SAMPLE ONLY
*** PERSONAL (CLIENT) INFORMATION WITHHELD

PROPERTY ADDRESS:

GREENWICH, CT 06830
(TOWN OF GREENWICH
BUILDING DEPARTMENT)

TAX ID:

CLIENT:
*** **

TEL: ***
EMAIL: ***

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04.18.2025
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FOR REVIEW
FOR REVIEW

PROJECT NAME:
NEW HOME; STRUCTURAL

DRAWING NAME:
LIVING - DINING & FAMILY
ROOM (WORK AREAS 6 & 7)

DRAWING NUMBER:
S-05

DATE:
04.18.2025

SCALE:
AS NOTED

NOTE:
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CONSTRUCTION IF (AND ONLY IF) A
PERMIT IS ISSUED, BASED ON THIS
DRAWING, BY THE TOWN OF
GREENWICH.