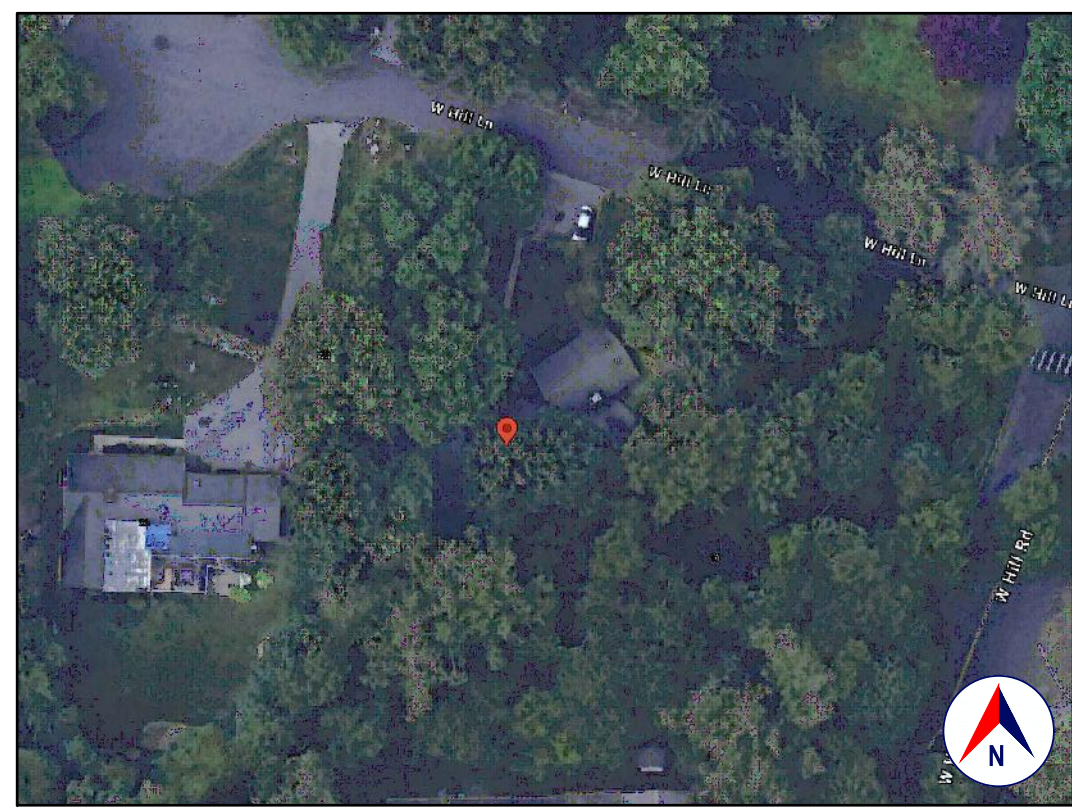
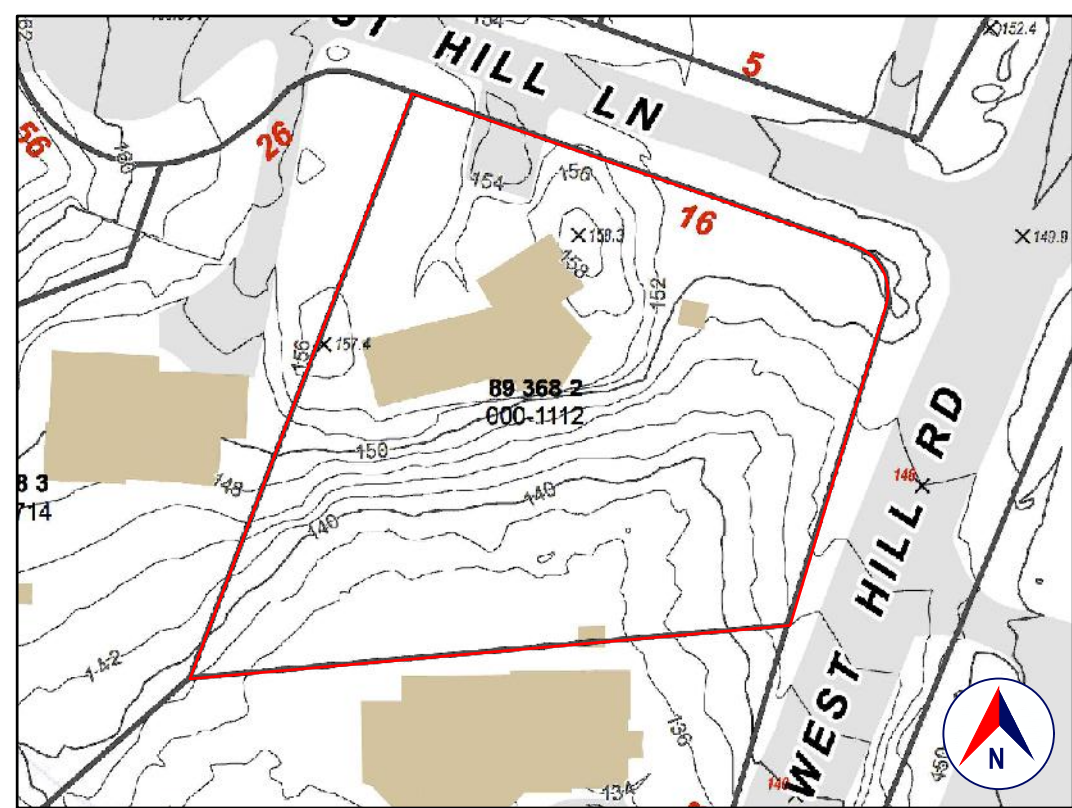


LOCATION  
GOOGLE MAPS



SATellite VIEW  
GOOGLE EARTH



TAX MAP  
STAMFORD GIS



FRONT VIEW  
ZILLOW

**1.0 GENERAL REQUIREMENTS:**

**1.1 PROJECT SCOPE:**  
ALTERATION AND SECOND FLOOR ADDITION.

**1.2 DESIGN INTENT:**  
THE INVOLVEMENT OF OLIVER ENGINEERING IN THIS PROJECT IS: PROVIDE STRUCTURAL DESIGN AND DRAWINGS.

THESE (STRUCTURAL) DRAWINGS ADDRESS ONLY THE STRUCTURAL INTEGRITY, BASED ON THE STIPULATED LOADS, OF THE PROPOSED CONSTRUCTION. THESE DRAWINGS SHOULD ONLY BE USED IN CONJUNCTION WITH THE ARCHITECTURAL AND OTHER DRAWINGS. IT IS THE OVERALL INTENT OF (ALL OF) THE DRAWINGS TO CALL FOR COMPLETE AND FINISHED WORK IN COMPLIANCE WITH THE NOTED CODES, AND TESTED AND GUARANTEED AND READY FOR OPERATION.

THESE (STRUCTURAL) DRAWINGS ARE NOT INTENDED TO ADDRESS: BUILDING PLANNING; DIMENSIONAL COORDINATION; THERMAL OR MOISTURE PROTECTION; EGRESS; FIRE PROTECTION; MECHANICAL; HEAT, LIGHT AND VENTILATION; GENERAL BUILDING; OR ANY OTHER OTHER NON-STRUCTURAL ISSUES. REFER TO THE ENVIRONMENTAL STUDIO DRAWINGS FOR ALL SUCH ISSUES.

THE ENGINEER HAS NOT BEEN ENGAGED TO SUPERVISE ANY WORK AND DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

**1.3 EXISTING CONSTRUCTION TYPE:**  
THE EXISTING BUILDING, PER THE BUILDING CODE OF CONNECTICUT STATE, TABLE 601 IS CONSTRUCTION TYPE VB - CONSTRUCTION WHERE THE PRIMARY ELEMENTS ARE NOT REQUIRED TO BE FIRE RATED.

**1.4 CLASSIFICATION OF PROPOSED WORK:**  
THIS IS A PROPOSED ADDITION, AS DEFINED IN CHAPTER 2 OF THE EXISTING BUILDING CODE (AN EXTENSION OR INCREASE IN FLOOR AREA, NUMBER OF STORIES, OR HEIGHT OF A BUILDING OR STRUCTURE), AND SHALL COMPLY WITH THE PROVISIONS OF CHAPTERS 11 OF THAT CODE.

**1.5 ZONING, OCCUPANCY AND USE:**  
INSIDE/OUTSIDE: OUTSIDE  
YEAR BUILT: 1956 (PER ZILLOW)  
ZONING: RA-1 ONE FAMILY RESIDENCE  
OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-3 \*  
EXISTING USE: SINGLE FAMILY  
PROPOSED USE: SINGLE FAMILY (NO CHANGE)  
ARCHITECTURAL REVIEW: REFER TO ARCHITECTURAL DRAWINGS  
\* WHERE THE OCCUPANTS ARE PRIMARILY PERMANENT IN NATURE AND NOT CLASSIFIED AS OCCUPANCY GROUP R-1, R-2, R-4 OR I, INCLUDING BUILDINGS THAT DO NOT CONTAIN MORE THAN TWO DWELLING UNITS.

**1.6 COMPLIANCE:**  
ALL WORK SHALL BE IN COMPLIANCE WITH THE FOLLOWINGS CODES:  
• GENERAL: 2021 INTERNATIONAL RESIDENTIAL CODE PORTION OF THE CONNECTICUT STATE BUILDING CODE (INTERNATIONAL RESIDENTIAL CODE 2021 WITH AMENDMENTS).  
• EXISTING: 2021 INTERNATIONAL EXISTING BUILDING CODE PORTION OF THE 2022 CONNECTICUT STATE BUILDING CODE (INTERNATIONAL EXISTING BUILDING CODE 2021 WITH AMENDMENTS).  
• ENERGY: NOT APPLICABLE TO THESE DRAWINGS.  
• PLUMBING: NOT APPLICABLE TO THESE DRAWINGS.  
• ELECTRICAL: NOT APPLICABLE TO THESE DRAWINGS.  
• DRAINAGE: NOT APPLICABLE TO THESE DRAWINGS.  
• MUNICIPAL CODE OF THE CITY OF STAMFORD.  
• OTHER: ALL REFERENCED CODES, OTHER CODES AND REGULATIONS, FEDERAL, STATE AND LOCAL THAT MAY APPLY.

**1.7 AUTHORITY HAVING JURISDICTION:**  
THE AUTHORITY HAVING JURISDICTION, AS DEFINED IN SECTION 103.1 OF THE RESIDENTIAL CODE, AND WHICH SHALL PROVIDE FOR ADMINISTRATION AND ENFORCEMENT OF THE UNIFORM CODE AND ENERGY CODE BY LOCAL LAW, ORDINANCE, OTHER APPROPRIATE REGULATION, OR COMBINATION THEREOF, IS THE CITY OF STAMFORD.  
THE DULY APPOINTED BUILDING OFFICIAL OF THE CITY OF STAMFORD IS AUTHORIZED TO ENFORCE THE PROVISIONS OF THE CODE.  
THE BUILDING OFFICIAL MAY ADOPT POLICIES AND PROCEDURES IN ORDER TO CLARIFY THE APPLICATION OF THE PROVISIONS OF THE CODE. SUCH POLICIES AND PROCEDURES SHALL BE IN COMPLIANCE WITH THE INTENT AND PURPOSE OF THE CODE.

**2.0 DESIGN CRITERIA:**

**2.1 DEAD LOAD:**  
PER 301.4, THE ACTUAL WEIGHTS OF MATERIALS AND CONSTRUCTION SHALL BE USED FOR DETERMINING DEAD LOAD. THE FOLLOWING APPROXIMATIONS (IN PSF) ARE USED FOR THIS PROJECT:  
USE PSF  
FRAMED WALL ASSEMBLY: 15  
ROOF/CEILING ASSEMBLY: 20  
FLOOR ASSEMBLY: 15  
ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

**2.2 LIVE LOAD:**  
UNIFORMLY DISTRIBUTED LIVE LOADS SHALL BE PER TABLE R301.5 AND AS FOLLOWS\* (IN PSF):  
USE PSF OTHER  
UNINHABITABLE SPACE WITHOUT STORAGE: 10 (<42"H, 24"W)  
UNINHABITABLE ATTICS UNLIMITED STORAGE: 20  
HABITABLE ATTICS & ATTICS W/FIXED STAIRS: 30  
EXTERIOR BALCONIES & DECKS: 40  
FIRE ESCAPES: 40  
GUARDS & HANDRAILS: 200 (CONCENTRATED)  
GUARD IN-FILL COMPONENTS: 50 (HORIZONTAL)  
PASSENGER VEHICLE GARAGE: 50 (<82,000LB/20SI)  
ROOMS OTHER THAN SLEEPING ROOMS: 40  
SLEEPING ROOMS: 40 (<300LB/4SI)  
STAIRS: 40 (<300LB/4SI)  
ROOF, PER 301.6 (INC. SNOW): 30  
\*SOME OF THE LOADS LISTED ABOVE MAY BE HIGHER THAN THOSE REQUIRED PER CODE.  
ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

**2.3 WIND LOAD:**  
WIND LOADS SHALL BE BASED ON THE ULTIMATE DESIGN WIND SPEED LISTED IN TABLE 301.2(1) AND ADJUSTED FOR HEIGHT AND EXPOSURE).  
120 MPH WIND LOADS WILL BE ALLOWED FOR IN: THE DESIGN LOAD PERFORMANCE REQUIREMENTS FOR WALL COVERINGS, ROOF COVERINGS, WINDOWS, SKYLIGHTS AND DOORS.  
COMPONENT AND CLADDING LOADS WILL BE PER TABLE R301.2(2)

**2.4 ALLOWABLE LIVE LOAD DEFLECTION:**  
THE ALLOWABLE LIVE LOAD DEFLECTION OF ALL STRUCTURAL MEMBERS, SHALL BE PER TABLE R301.7 AND AS FOLLOWS:  
STRUCTURAL MEMBER ALLOWABLE DEFLECTION  
RAFTERS HAVING SLOPES GREATER THAN 3:12 WITH FINISHED CEILING NOT ATTACHED TO RAFTERS L/180  
INTERIOR WALLS AND PARTITIONS H/160  
FLOORS L/360  
CEILING WITH BRITTLE FINISHES (INCLUDING PLASTER AND STUCCO) L/360  
CEILING WITH FLEXIBLE FINISHES (INCLUDING GYPSUM BOARD) L/240  
ALL OTHER STRUCTURAL MEMBERS L/240  
EXTERIOR WALLS-WIND LOAD WITH PLASTER OR STUCCO FINISHES L/360  
EXTERIOR WALLS-WIND LOAD WITH OTHER BRITTLE FINISHES H/240  
EXTERIOR WALLS-WIND LOADS WITH FLEXIBLE FINISHES H/120  
LINTELS SUPPORTING MASONRY VENEER WALLS L/600

**2.5 CLIMATIC AND GEOGRAPHIC CRITERIA:**  
CLIMATIC AND DESIGN CRITERIA FOR THE CITY OF STAMFORD ARE PER TABLE R301.2(1) BELOW:

PER 2021 RESIDENTIAL CODE OF CONNECTICUT, TABLE 301.2(1)										(WIND) EXPOSURE CATEGORY: B				CLIMATE ZONE: 5A	
GROUND SNOW LOAD	WIND SPEED MPH	WIND DESIGN			SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLMT. REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP		
		TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WINDBORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE							
30 PSF	120	NO	NO	NO	B	SEVERE	3'-6"	MOD/HEAVY	7°	YES	TO BE DETERMINED	1,600 OR LESS	60°		

**3.0 CONTRACTOR'S RESPONSIBILITIES:**

- THE CONTRACTOR SHALL:
- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR A COMPLETE AND FINISHED JOB.
  - PROVIDE ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.
  - OBTAIN AND PAY FOR ALL REQUIRED PERMITS - UNLESS OTHERWISE STIPULATED.
  - PRIOR TO THE SUBMISSION OF ANY BID, AND BEFORE PROCEEDING WITH ANY WORK, VISIT THE SITE AND VERIFY AND FAMILIARIZE HIM/HERSELF WITH ALL SITE DIMENSIONS AND CONDITIONS, WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION, METHODS AND ROUTES OF ACCESS, AND THE EXISTENCE AND EXTENT OF ANY OTHER RESTRICTIONS, AND BE RESPONSIBLE FOR THE VERIFICATION OF ALL SUCH CONDITIONS AND DIMENSIONS WHICH PERTAIN TO THE PROJECT.
  - BRING ALL DISCREPANCIES IN CONDITIONS AND DIMENSIONS, BETWEEN THE APPROVED DRAWINGS AND ACTUAL FIELD CONDITIONS, TO THE IMMEDIATE ATTENTION OF THE OWNER, AND RECEIVE DIRECTION IN WRITING, BEFORE PROCEEDING WITH THE AFFECTED WORK.
  - VERIFY THE AVAILABILITY, LOCATION LAYOUT AND CONDITION OF UTILITIES, INCLUDING SEWER, WATER, GAS AND ELECTRIC LINES, PRIOR TO THE SUBMISSION OF ANY BID.
  - HAVE CONTROL OVER AND SUPERVISE AND DIRECT THE WORK, INCLUDING THAT OF ITS SUBCONTRACTORS, AND BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR JOBSITE SAFETY, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
  - PRIOR TO THE COMMENCEMENT OF ANY WORK, VERIFY THE CONDITION OF ALL ADJOINING STRUCTURES WHICH MAY BE AFFECTED, AND PROVIDE ADEQUATE PROTECTION TO ANY STRUCTURE THAT MIGHT BE OTHERWISE AFFECTED.
  - IN THE EVENT THAT DAMAGE IS CAUSED TO ANY STRUCTURE, FINISH, OR OTHER ELEMENT, RESTORE SUCH ELEMENTS TO THEIR ORIGINAL CONDITION.
  - IF APPLICABLE, PROVIDE WEATHER PROTECTION, IN AN EFFECTIVE AND TIMELY MANNER, TO PROTECT THE PREMISES, PERSONNEL, MATERIALS AND INSTALLED WORK.
  - BE A HOME IMPROVEMENT CONTRACTOR WITH A CURRENT LICENSE ISSUED BY THE DEPARTMENT OF CONSUMER PROTECTION OF THE STATE OF CONNECTICUT.
  - BE CERTIFIED AS A LEAD SAFE FIRM BY THE EPA PER 40 CFR 745.226.
  - CARRY LIABILITY INSURANCE TO THE LIMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION AND ISSUE CERTIFICATE(S) OF INSURANCE AS REQUIRED BY THE HOMEOWNER AND/OR THAT AUTHORITY.
  - CARRY WORKMAN'S COMPENSATION AND DISABILITY INSURANCE AS REQUIRED BY THE LAW AND ISSUE CERTIFICATE(S) AS REQUIRED BY THE HOMEOWNER AND/OR THE AUTHORITY HAVING JURISDICTION.

**4.0 BUILDING PERMIT:**

- NO PERSON OR ENTITY SHALL COMMENCE, PERFORM, OR CONTINUE ANY WORK THAT MUST CONFORM WITH THE UNIFORM CODE AND/OR ENERGY CODE UNLESS:
1. SUCH PERSON OR ENTITY HAS APPLIED TO THE CITY OF STAMFORD FOR A BUILDING PERMIT,
  2. THE CITY OF STAMFORD HAS ISSUED A BUILDING PERMIT AUTHORIZING SUCH WORK,
  3. SUCH BUILDING PERMIT HAS NOT BEEN REVOKED OR SUSPENDED, AND
  4. SUCH BUILDING PERMIT HAS NOT EXPIRED.
- THE BUILDING PERMIT IS REQUIRED TO BE VISIBLY DISPLAYED AT THE WORKSITE AND TO REMAIN VISIBLE UNTIL THE PROJECT, AND ALL REQUIRED INSPECTIONS, HAVE BEEN COMPLETED.  
THE APPROVED DRAWINGS MUST BE KEPT AT THE WORKSITE AND BE AVAILABLE FOR REVIEW AT THE TIME OF ANY REQUIRED INSPECTIONS.

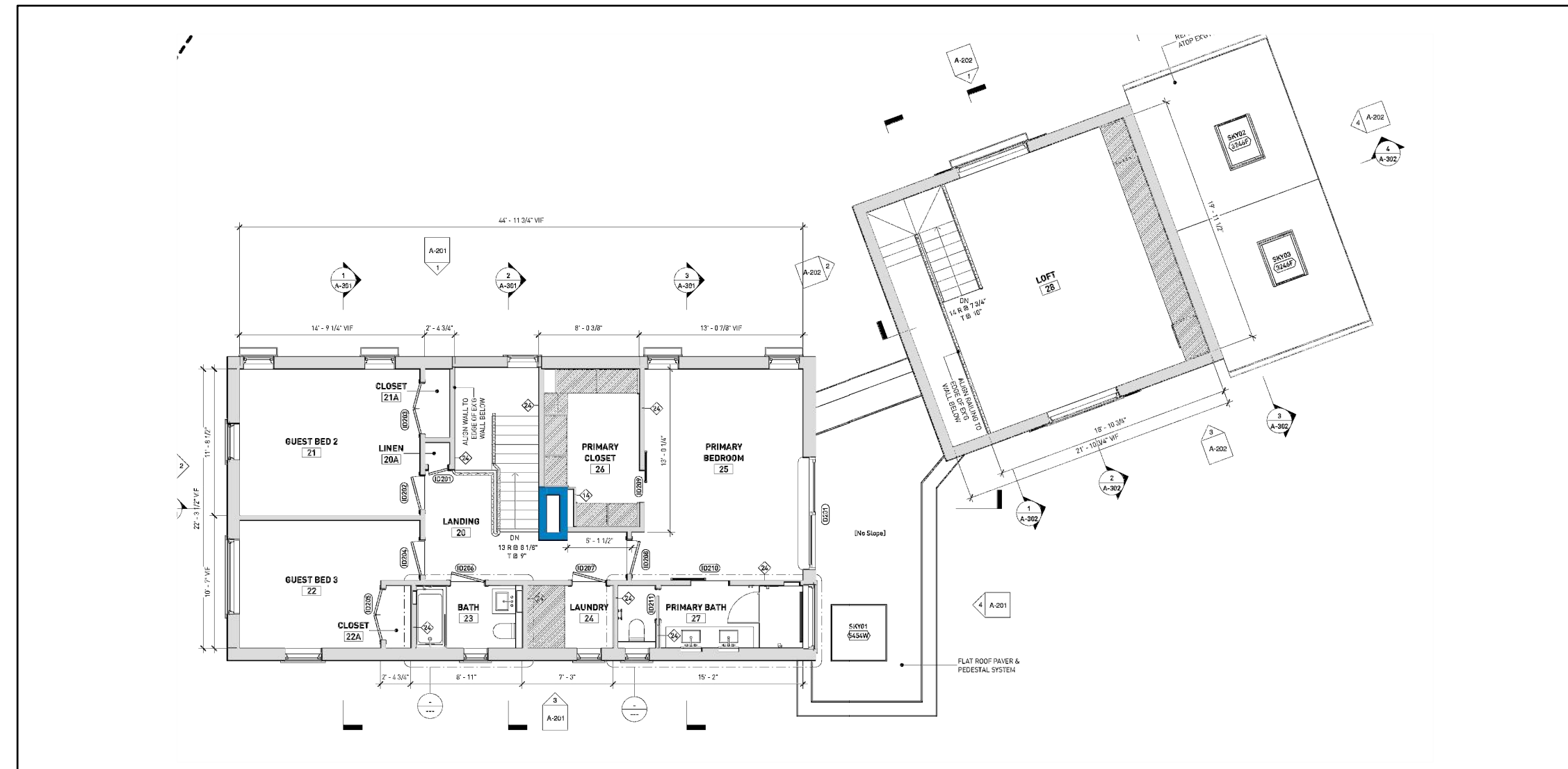
**5.0 CONSTRUCTION INSPECTIONS:**

IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING PERMIT, OR THEIR DULY AUTHORIZED AGENT, TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION:  
BUILDING DEPARTMENT OF THE CITY OF STAMFORD  
888 WASHINGTON BOULEVARD, 7TH FLOOR  
STAMFORD, CT 06901  
TEL: (203) 977-4164  
EMAIL: buildingdept@stamfordct.gov  
WEB SITE: www.choosestamford.com/home-econdev

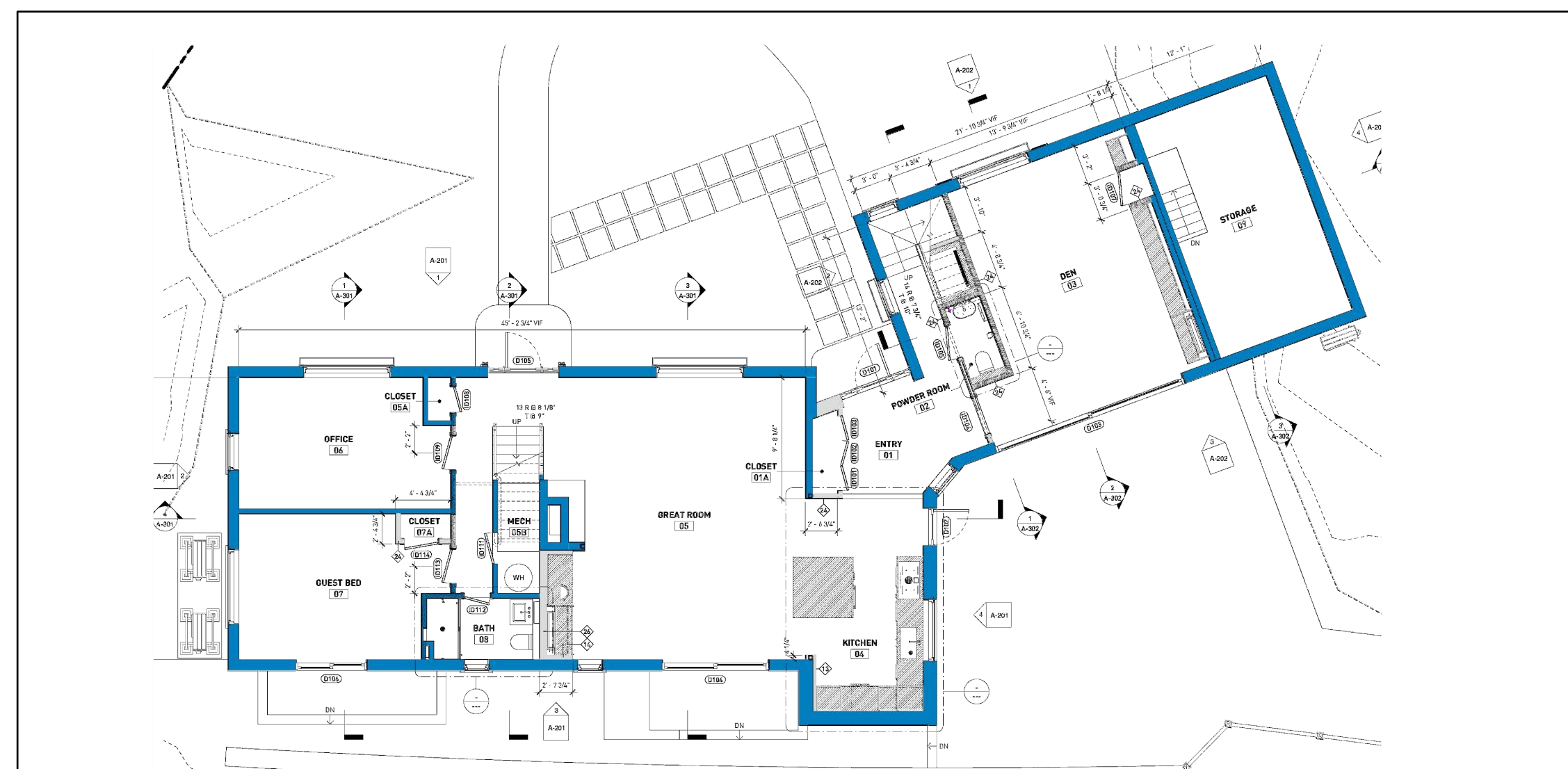
ANY PERSON OR ENTITY PERFORMING WORK FOR WHICH A BUILDING PERMIT HAS BEEN ISSUED SHALL KEEP SUCH WORK ACCESSIBLE AND EXPOSED UNTIL THE WORK HAS BEEN INSPECTED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION, OR ITS AUTHORIZED AGENT, AT EACH ELEMENT OF THE CONSTRUCTION PROCESS THAT IS APPLICABLE TO THE WORK.  
BUILDING PERMIT HOLDERS SHALL BE REQUIRED TO NOTIFY THE BUILDING OFFICIAL OF THE CITY OF STAMFORD WHEN CONSTRUCTION WORK IS READY FOR INSPECTION.  
THE BUILDING OFFICIAL SHALL MAKE THE REQUIRED INSPECTIONS OR SHALL HAVE THE AUTHORITY TO ACCEPT WRITTEN REPORTS OF INSPECTION BY APPROVED AGENCIES OR INDIVIDUALS.  
REQUIRED INSPECTIONS FOR THIS PROJECT MAY INCLUDE THE FOLLOWING, AS APPLICABLE, OR AS SPECIFIED IN THE CODE ENFORCEMENT PROGRAM OF THE CITY OF STAMFORD:

- WORKSITE PRIOR TO THE ISSUANCE OF A PERMIT
  - PLUMBING\*
  - ELECTRICAL\*
  - MECHANICAL
  - FRAMING (SUBSEQUENT TO THE INSPECTION & APPROVAL OF PLUMBING, ELECTRICAL & MECHANICAL)
  - FIRE RESISTANT CONSTRUCTION
  - FIRE RESISTANT PENETRATIONS
  - ENERGY CODE COMPLIANCE
  - A FINAL INSPECTION AFTER ALL WORK AUTHORIZED BY THE BUILDING PERMIT HAS BEEN COMPLETED
  - ANY OTHER INSPECTIONS AS REQUIRED BY THE CITY OF STAMFORD.
- ALL OF THE ABOVE INSPECTION MAY NOT BE REQUIRED FOR THIS, OR ANY GIVEN, PROJECT.  
A SCHEDULE OF REQUIRED INSPECTIONS IS AVAILABLE FROM THE BUILDING DEPARTMENT OF THE CITY OF STAMFORD.  
\*THE WORK APPLICABLE TO SOME OF THE ABOVE INSPECTIONS (FOR INSTANCE PLUMBING AND ELECTRICAL) SHALL BE COMPLETED UNDER A SEPARATE PERMIT, FILED BY THE RELEVANT LICENSED CONTRACTORS.

AFTER INSPECTION, THE WORK OR A PORTION THEREOF SHALL BE NOTED AS SATISFACTORY AS COMPLETED, OR THE BUILDING PERMIT HOLDER SHALL BE NOTIFIED AS TO THE MANNER IN WHICH THE WORK FAILS TO COMPLY WITH APPLICABLE CODES, INCLUDING A CITATION OF THE SPECIFIC CODE PROVISION OR PROVISIONS THAT HAVE NOT BEEN MET.  
IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO ASCERTAIN THE RESULTS OF REQUIRED INSPECTIONS.  
CONSTRUCTION WORK NOT IN COMPLIANCE WITH APPLICABLE CODES SHALL BE REQUIRED TO REMAIN EXPOSED UNTIL IT HAS BEEN BROUGHT INTO COMPLIANCE WITH THE CODES, RE-INSPECTED, AND FOUND SATISFACTORY AS COMPLETED.



SECOND FLOOR - PROPOSED WORK  
NOT TO SCALE



FIRST FLOOR - PROPOSED WORK  
NOT TO SCALE

**WOOD FRAMING:**

**FLOOR FRAMING:**  
STRUCTURAL FLOOR MEMBERS SHALL CONFORM TO THE APPLICABLE PROVISIONS OF SECTION R502.  
ALL FLOOR FRAMING, INCLUDING JOISTS, LEDGERS, HEADERS AND BLOCKING, IS TO BE 2X DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2, FB-850 PSI, 1.4E, OR BETTER.  
FLOOR FRAMING IS TO BE AT 16" (MAXIMUM) ON CENTER, OR AS OTHERWISE NOTED IN THE DRAWINGS.

AVOID NOTCHING (SEE CUTTING AND NOTCHING) PROVIDE SISTER MEMBERS AS REQUIRED.

FLOOR SHEATHING SHALL BE 3/4" AVANTECH T&G SUBFLOOR FASTENED WITH 8D COMMON NAILS @ 6" O.C. AND AVANTECH SUBFLOOR ADHESIVE PER MANUFACTURERS INSTRUCTIONS AND SHALL CONFORM TO SECTION 502 OF THE RESIDENTIAL CODE.

**WALL FRAMING:**

LOAD BEARING WALLS SHALL CONFORM TO THE APPLICABLE PROVISIONS OF SECTION R602.  
ALL LOAD BEARING WOOD FRAMED PARTITIONS INCLUDING STUDS, TIES AND BATTENS, PLATE AND BLOCKING, IS TO BE 2X DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2, FB-850 PSI, 1.4E, OR BETTER.  
WALL FRAMING IS TO BE AT 16" (MAXIMUM) ON CENTER, OR AS OTHERWISE NOTED IN THE DRAWINGS.

**EXCEPTION:**  
BEARING STUDS NOT SUPPORTING TOP AND NONBEARING STUDS SHALL BE PERMITTED TO BE UTILITY GRADE LUMBER, PROVIDED THAT THE STUDS ARE SPACED AT 16" ON CENTER.  
**BOTTOM (SOLE) PLATE:**  
STUDS SHALL HAVE FULL BEARING ON A NOMINAL 2" X 4" LARGER PLATE OR SHALL HAVE A WIDTH NOT LESS THAN TO THE WIDTH OF THE STUDS.

**TOP PLATE:**  
WOOD STUD WALLS SHALL BE CAPPED WITH A DOUBLE TOP PLATE INSTALLED TO PREVENT OVERLAPPING AT CORNERS AND INTERSECTIONS WITH BEARING PARTITIONS. JOINTS IN TOP PLATES SHALL BE OFFSET NOT LESS THAN 24" JOINTS IN PLATES NEED NOT OCCUR OVER STUDS. PLATES SHALL BE NOT LESS THAN 2" NOMINAL THICKNESS AND HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE STUDS.

WALL SHEATHING SHALL BE MINIMUM 1/2" WOOD STRUCTURAL PANEL, ZIP SYSTEM, PER MANUFACTURERS INSTRUCTIONS AND SHALL CONFORM TO SECTION 602 OF THE RESIDENTIAL CODE.

**ROOF-CEILING CONSTRUCTION:**

ROOF FRAMING SHALL CONFORM TO THE APPLICABLE PROVISIONS OF SECTION R802.  
ALL ROOF FRAMING, INCLUDING RAFTERS, COLLAR TIES, RAFTER TIES AND CEILING JOISTS, IS TO BE 2X DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2, FB-850 PSI, 1.4E, OR BETTER.  
ROOF FRAMING IS TO BE AT 16" (MAXIMUM) ON CENTER, OR AS OTHERWISE NOTED IN THE DRAWINGS.

AVOID NOTCHING (SEE CUTTING AND NOTCHING) PROVIDE SISTER MEMBERS AS REQUIRED.  
ROOF SHEATHING SHALL BE ZIP SYSTEM SHEATHING AND SHALL CONFORM TO SECTION 803 OF THE RESIDENTIAL CODE.

**CUTTING AND NOTCHING FOR WIRES AND PIPES:**  
WOOD-FRAMED STRUCTURAL MEMBERS SHALL NOT BE DRILLED, NOTCHED OR ALTERED IN ANY MANNER EXCEPT AS PROVIDED IN SECTIONS R502.8, R602.6, R802.7 AND R802.7.1 OF THE RESIDENTIAL CODE.

**STATEMENT OF DESIGN PROFESSIONAL:**

THESE PLANS HAVE BEEN PREPARED IN COMPLIANCE WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE PORTION OF THE CONNECTICUT STATE BUILDING CODE (INTERNATIONAL RESIDENTIAL CODE WITH AMENDMENTS).  
VINCENT C. KILLY, P.E.  
(STATE REGISTERED PROFESSIONAL ENGINEER)

**LIST OF DRAWINGS**

SHEET	DRAWING NAME	DATE	REVISION
C-01	COVER SHEET	02.07.2025	04.25.2025
S-01	FIRST FLOOR	02.07.2025	04.25.2025
S-02	SECOND FLOOR	02.07.2025	04.25.2025
S-03	ROOF FRAMING	02.07.2025	04.25.2025
S-04	SECTIONS A & B	02.07.2025	04.25.2025
S-05	SECTIONS C & D	02.07.2025	04.25.2025
S-06	SECTION E	02.07.2025	04.25.2025
S-07	DETAILS	02.07.2025	04.25.2025
S-08	FRAMING FASTENINGS	02.07.2025	04.25.2025

PROPERTY ADDRESS:  
\*\*\*  
STAMFORD, CT 06902  
(CITY OF STAMFORD BUILDING DEPARTMENT)

TAX ID:  
\*\*\*

CLIENT:  
\*\*\* \*\*

TEL: \*\*\*  
EMAIL: \*\*\*

DATE: 02.07.2025 ISSUE: PRELIMINARY  
04.10.2025 FOR REVIEW  
04.25.2025 FOR PERMIT

PROJECT NAME:  
SECOND FLOOR ADDITION

DRAWING NAME:  
COVER SHEET

DRAWING NUMBER:  
C-01

DATE:  
04.25.2025

SCALE:  
AS NOTED

NOTE:  
THIS DRAWING IS VALID FOR CONSTRUCTION IF (AND ONLY IF) A PERMIT IS ISSUED, BASED ON THIS DRAWING, BY THE CITY OF STAMFORD.

**Oliver Engineering, P.C.**  
Design - Permit Applications - Legalizations  
Code Compliance - Project Supervision  
188 North Main Street | Port Chester, NY 10573  
(914) 774-9878 | www.proeng.nyc | vc@proeng.nyc

**ENVIRONMENTAL Studio**  
777 S. 3rd St. #4241  
Harrison, NJ 07029  
Jask@environmentalstudio.com  
(612) 981-0795

PROPERTY ADDRESS:  
 \*\*\*  
**STAMFORD, CT 06902**  
**(CITY OF STAMFORD BUILDING DEPARTMENT)**

TAX ID:  
 \*\*\*

CLIENT:  
 \*\*\* \*\*

TEL: \*\*\*  
 EMAIL: \*\*\*

DATE: 02.07.2025 ISSUE: PRELIMINARY  
 04.10.2025 FOR REVIEW  
 04.25.2025 FOR PERMIT

PROJECT NAME:  
**SECOND FLOOR ADDITION**

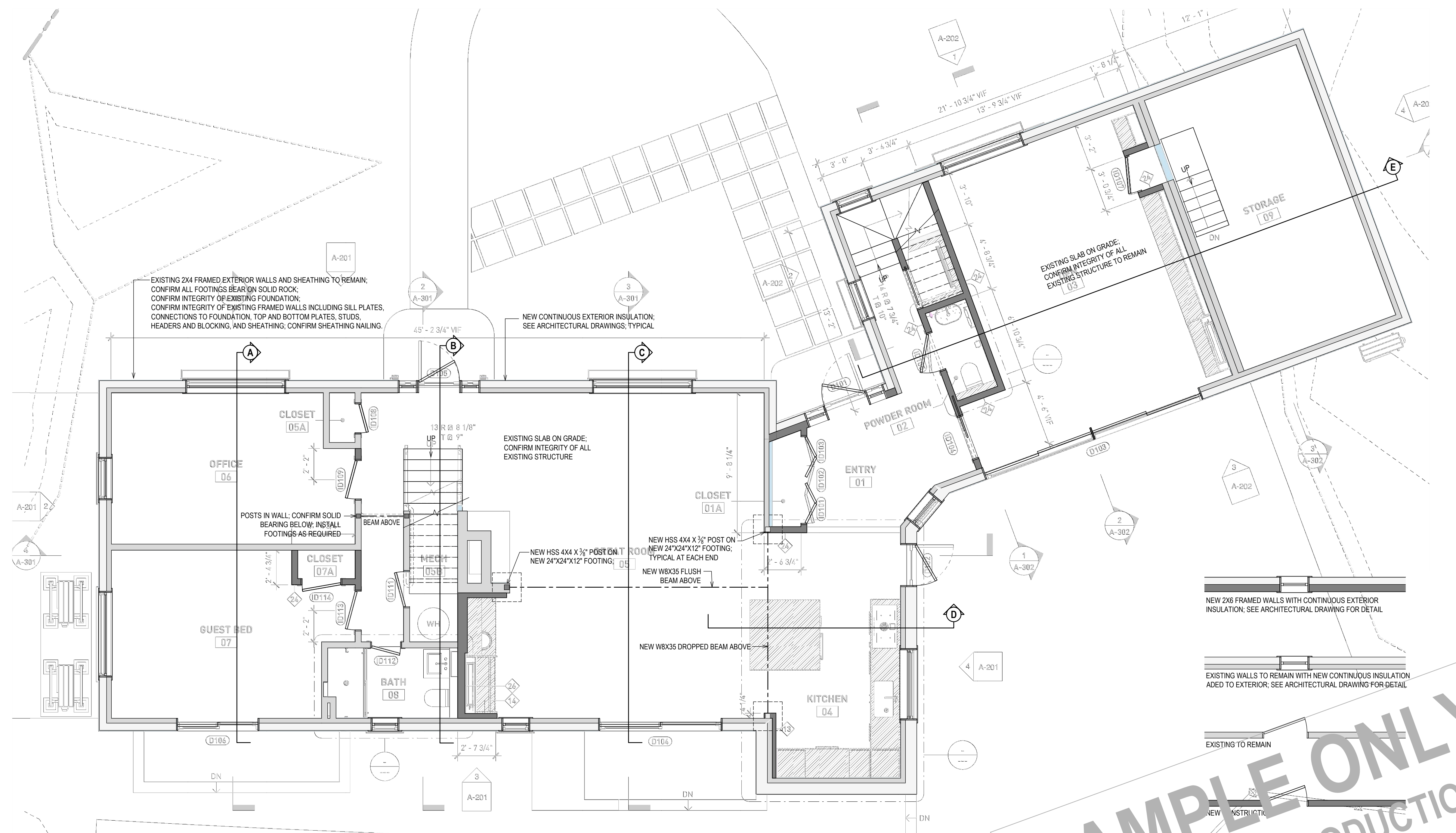
DRAWING NAME:  
**FIRST FLOOR**

DRAWING NUMBER:  
**S-01**

DATE:  
 04.25.2025

SCALE:  
 AS NOTED

NOTE:  
 THIS DRAWING IS VALID FOR CONSTRUCTION IF (AND ONLY IF) A PERMIT IS ISSUED, BASED ON THIS DRAWING, BY THE CITY OF STAMFORD.



**FIRST FLOOR FRAMING PLAN**  
 SEE ARCHITECTURAL DRAWINGS (UNDERLAID HERE) FOR DIMENSIONS AND DETAILS  
 1/4" = 1'-0"

**SAMPLE ONLY**  
 NOT FOR REPRODUCTION  
 OR UNAUTHORIZED USE

PROPERTY ADDRESS:  
 \*\*\*  
**STAMFORD, CT 06902**  
**(CITY OF STAMFORD**  
**BUILDING DEPARTMENT)**

TAX ID:  
 \*\*\*

CLIENT:  
 \*\*\* \*\*

TEL: \*\*\*  
 EMAIL: \*\*\*

DATE: 02.07.2025 ISSUE:  
 04.10.2025 PRELIMINARY  
 04.25.2025 FOR REVIEW  
 FOR PERMIT

PROJECT NAME:  
**SECOND FLOOR ADDITION**

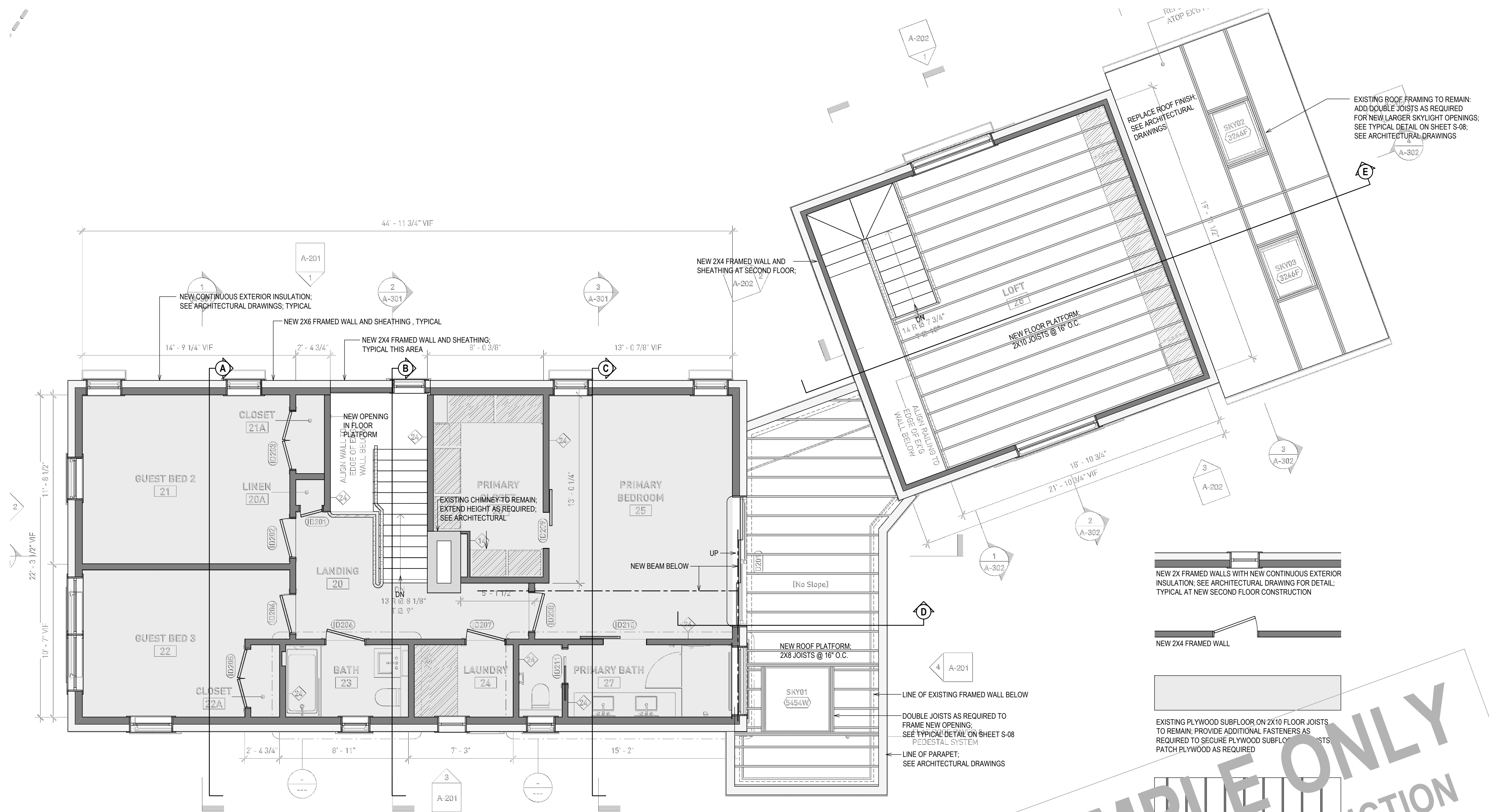
DRAWING NAME:  
**SECOND FLOOR**

DRAWING NUMBER:  
**S-02**

DATE:  
 04.25.2025

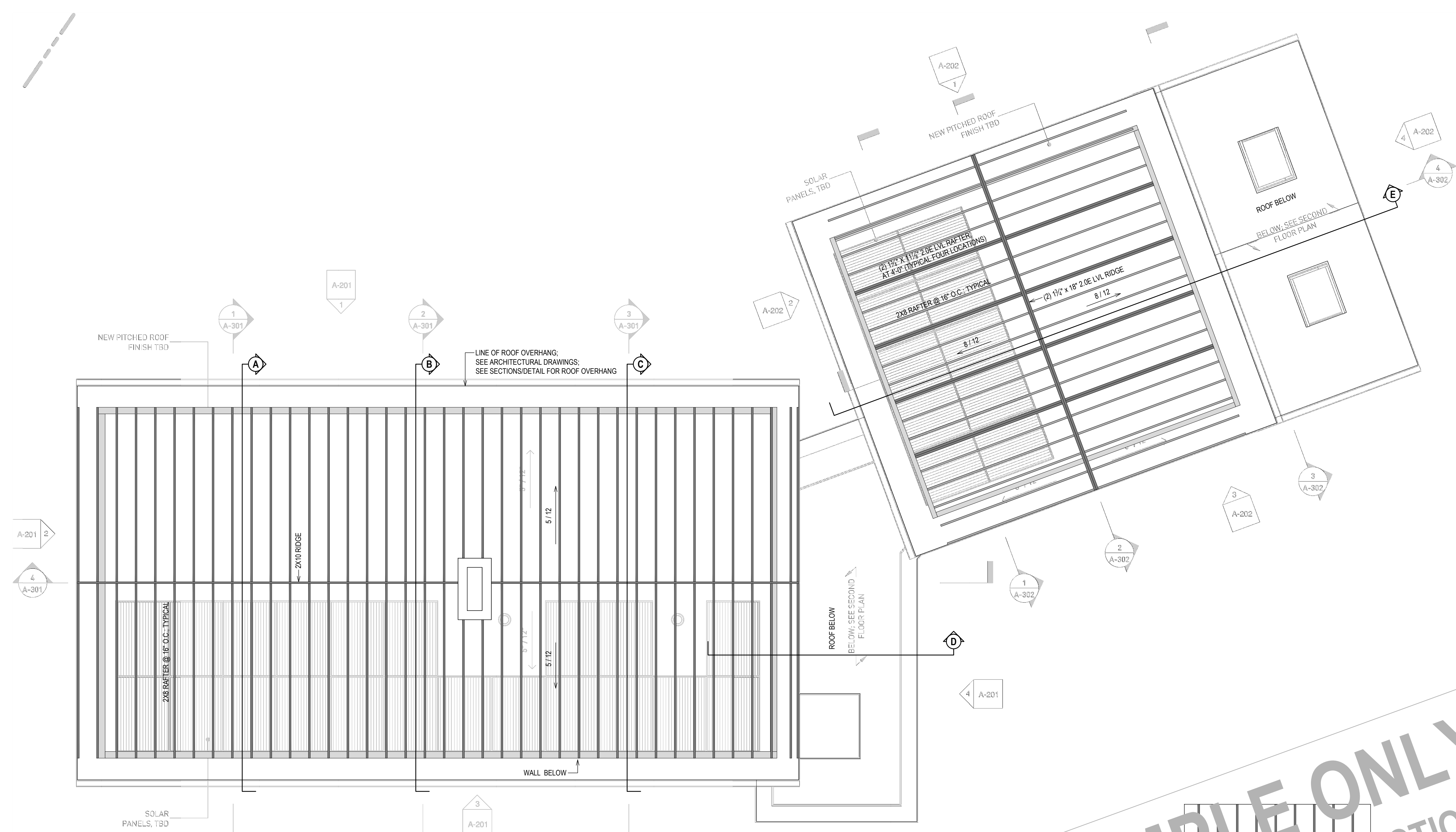
SCALE:  
 AS NOTED

NOTE:  
 THIS DRAWING IS VALID FOR  
 CONSTRUCTION IF (AND ONLY IF) A  
 PERMIT IS ISSUED, BASED ON THIS  
 DRAWING, BY THE CITY OF  
 STAMFORD.



**SECOND FLOOR FRAMING PLAN**  
 SEE ARCHITECTURAL DRAWINGS (UNDERLAID HERE) FOR DIMENSIONS AND DETAILS  
 1/4" = 1'-0"

**SAMPLE ONLY**  
 NOT FOR REPRODUCTION  
 OR UNAUTHORIZED USE



**ROOF FRAMING PLAN**  
 SEE ARCHITECTURAL DRAWINGS (UNDERLAID HERE) FOR DIMENSIONS AND DETAILS  
 1/4" = 1'-0"

**SAMPLE ONLY**  
 NOT FOR REPRODUCTION  
 OR UNAUTHORIZED USE

NEW ROOF FRAMING  
 MEMBER SIZES AS NOTED ON PLAN 1/4" ZIP LUMBER  
 FASTENED WITH 8D COMMON NAILS 3/4" DIA. CENTER AT JOINTS  
 AND 12" O.C. IN FIELD PER MANUFACTURER'S INSTRUCTIONS

**Oliver Engineering, P.C.**  
 Design - Permit Applications - Legalizations  
 Code Compliance - Project Supervision  
 188 North Main Street | Port Chester, NY 10573  
 (914) 774-9878 | www.proeng.nyc | vc@proeng.nyc

**ENVIRONMENTAL Studio**  
 777 S. 3rd St #4241  
 Harrison, NJ 07029  
 Jack@environmentalstudio.com  
 (612) 981-0795

**PROPERTY ADDRESS:**  
 \*\*\*  
**STAMFORD, CT 06902**  
**(CITY OF STAMFORD**  
**BUILDING DEPARTMENT)**  
**TAX ID:**  
 \*\*\*

**CLIENT:**  
 \*\*\* \*\*

**TEL:** \*\*\*  
**EMAIL:** \*\*\*

**DATE:** 02.07.2025  
 04.10.2025  
 04.25.2025

**ISSUE:** PRELIMINARY  
 FOR REVIEW  
 FOR PERMIT

**PROJECT NAME:**  
**SECOND FLOOR ADDITION**

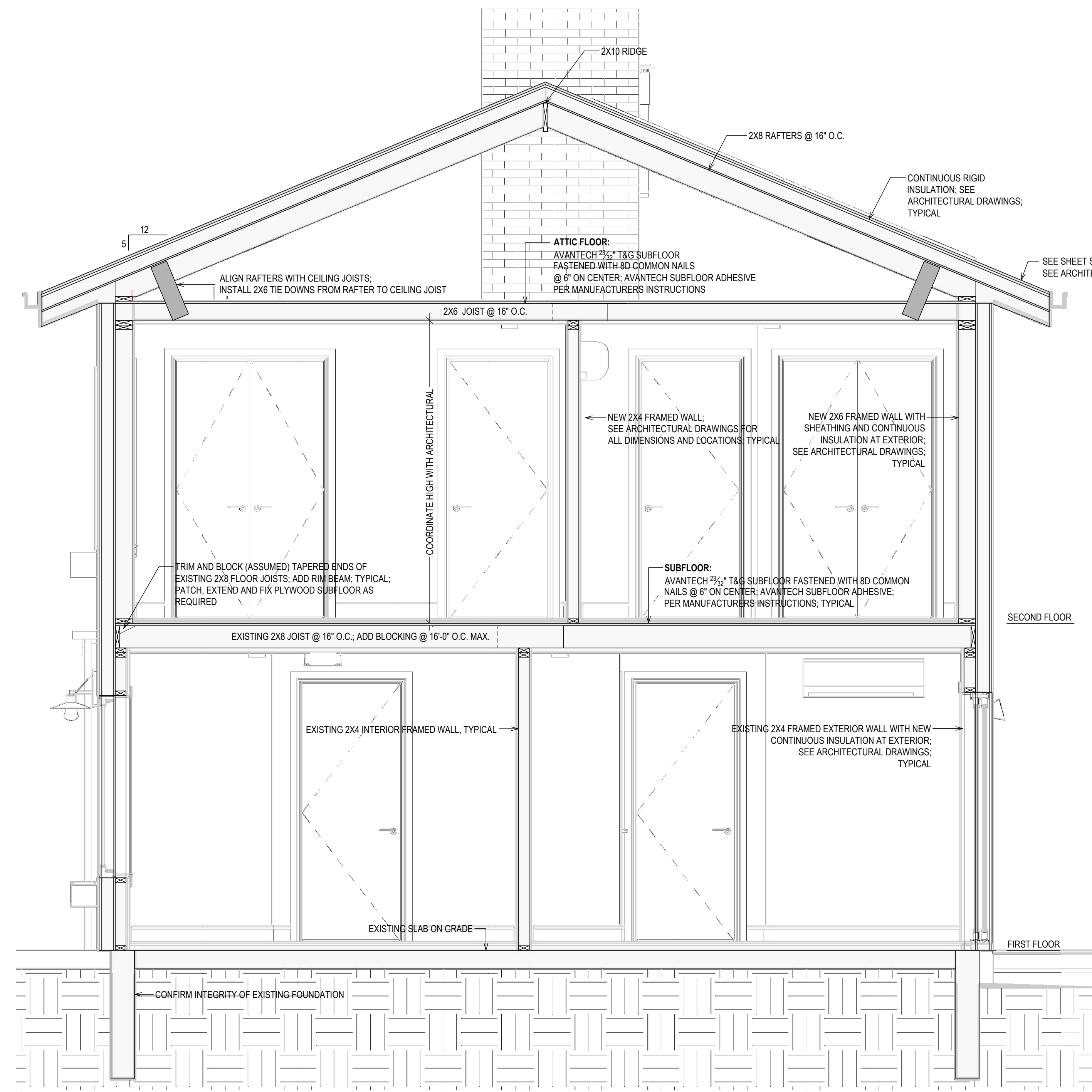
**DRAWING NAME:**  
**ROOF FRAMING**

**DRAWING NUMBER:**  
**S-03**

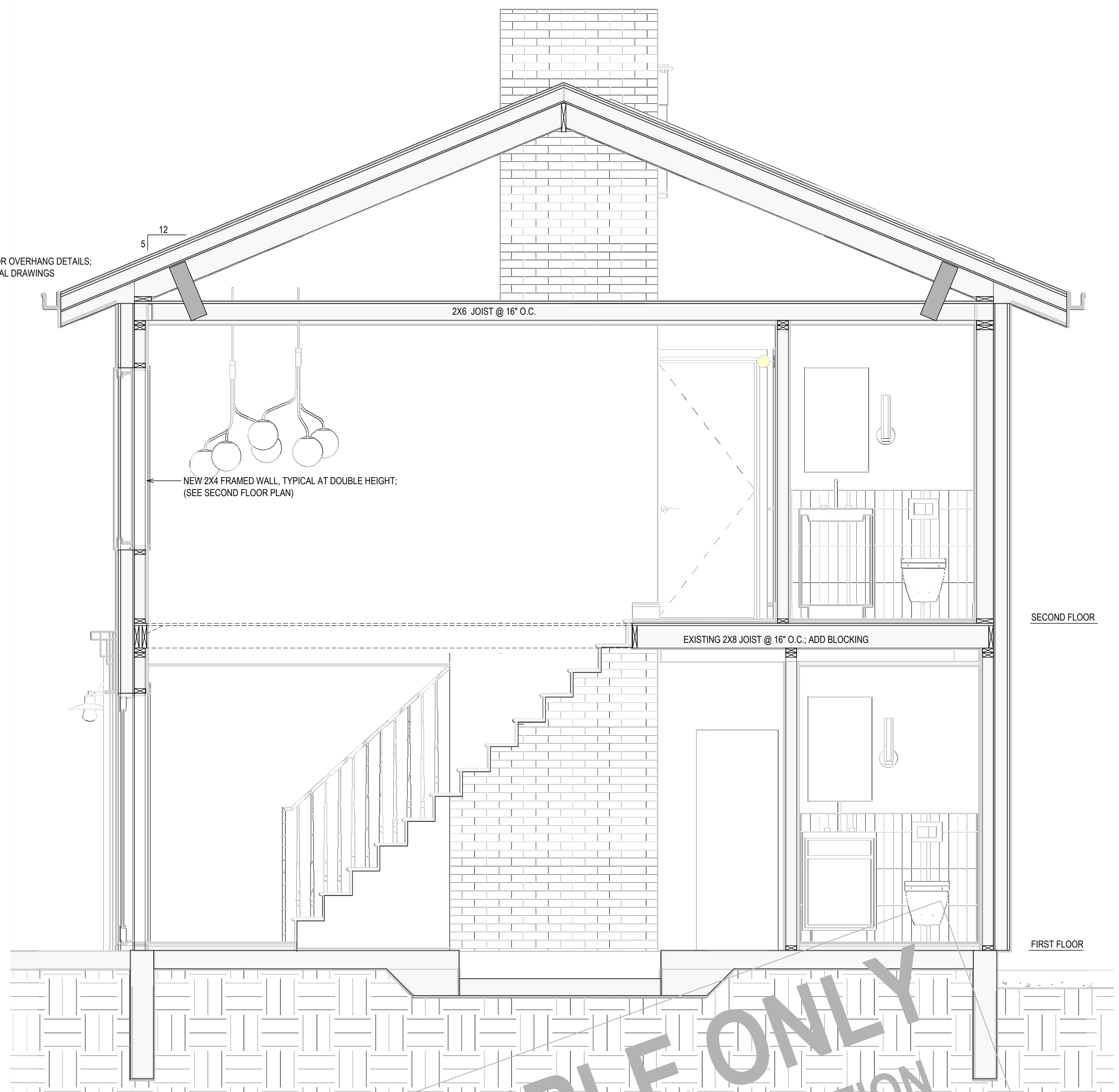
**DATE:**  
 04.25.2025

**SCALE:**  
 AS NOTED

**NOTE:**  
 THIS DRAWING IS VALID FOR  
 CONSTRUCTION IF (AND ONLY IF) A  
 PERMIT IS ISSUED, BASED ON THIS  
 DRAWING, BY THE CITY OF  
 STAMFORD.



**SECTION A**  
 SEE ARCHITECTURAL DRAWINGS (UNDERLAID HERE) FOR DIMENSIONS AND DETAILS  
 1/2" = 1'-0"



**SECTION B**  
 SEE ARCHITECTURAL DRAWINGS (UNDERLAID HERE) FOR DIMENSIONS AND DETAILS  
 1/2" = 1'-0"

**SAMPLE ONLY**  
 NOT FOR REPRODUCTION  
 OR UNAUTHORIZED USE

**PROPERTY ADDRESS:**  
 \*\*\*  
 STAMFORD, CT 06902  
 (CITY OF STAMFORD  
 BUILDING DEPARTMENT)

**TAX ID:**  
 \*\*\*

**CLIENT:**  
 \*\*\*

**TEL:** \*\*\*  
**EMAIL:** \*\*\*

**DATE:** 02.07.2025  
 04.10.2025  
 04.25.2025

**ISSUE:** PRELIMINARY  
 FOR REVIEW  
 FOR PERMIT

**PROJECT NAME:**  
 SECOND FLOOR ADDITION

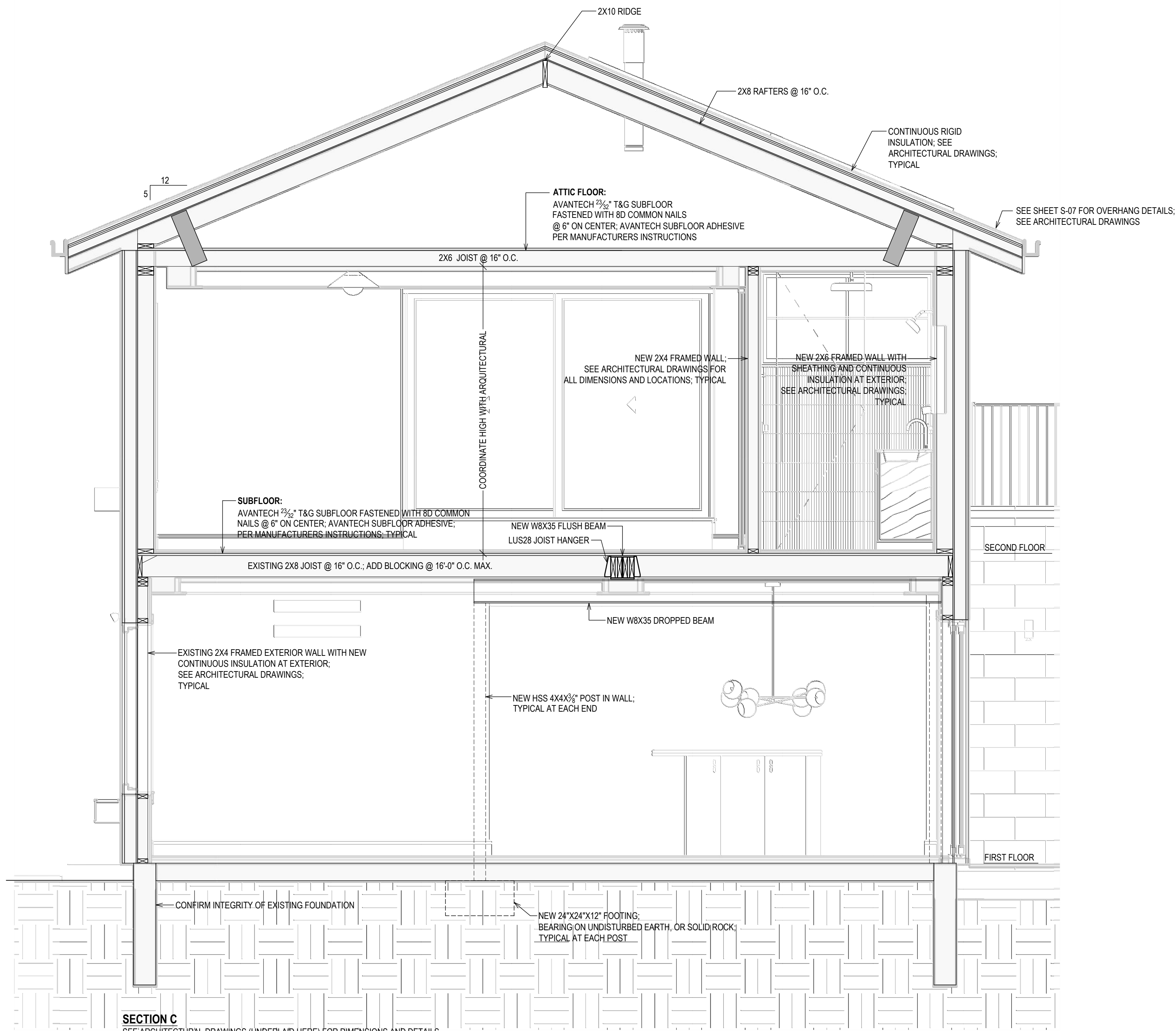
**DRAWING NAME:**  
 SECTIONS A & B

**DRAWING NUMBER:**  
 S-04

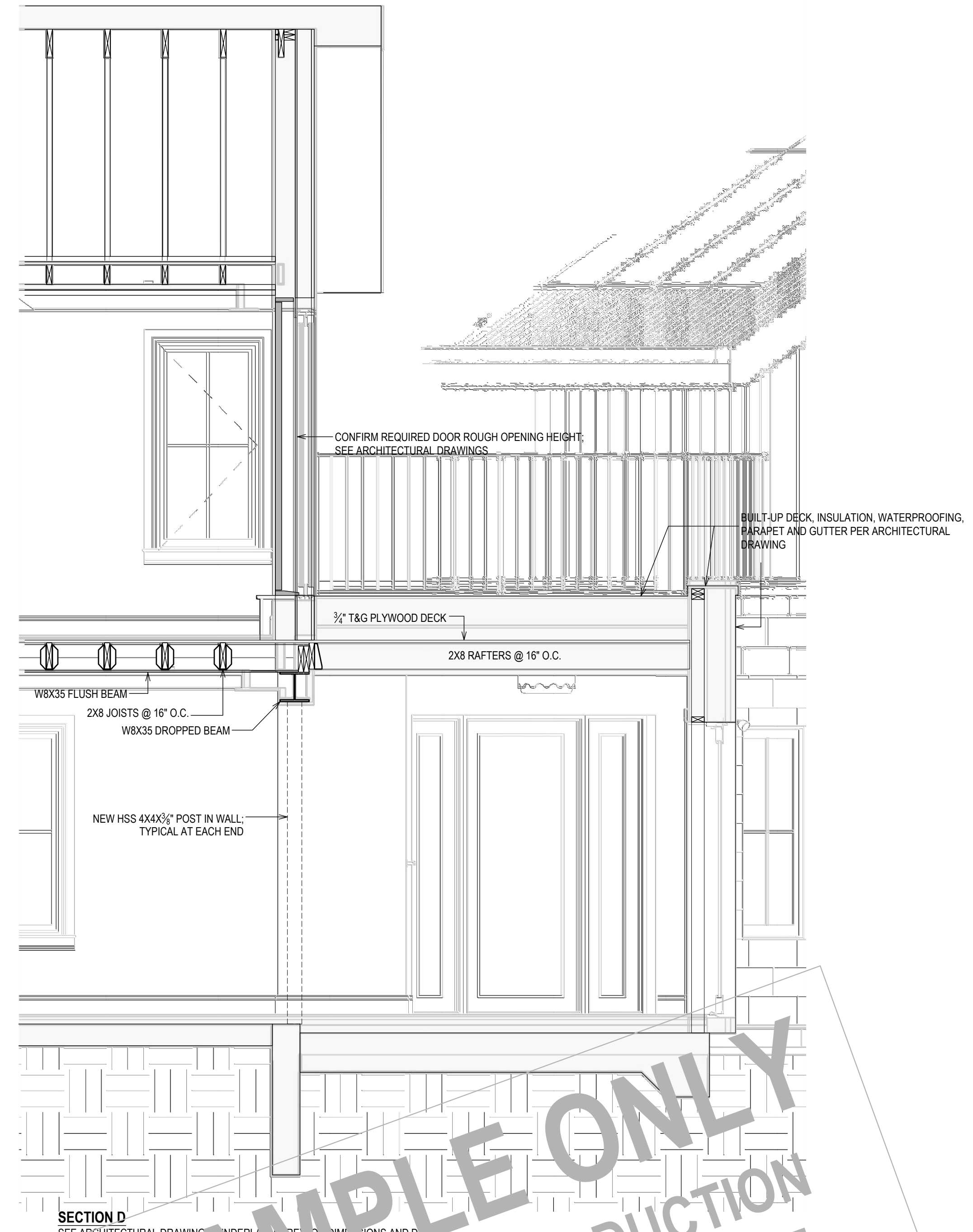
**DATE:**  
 04.25.2025

**SCALE:**  
 AS NOTED

**NOTE:**  
 THIS DRAWING IS VALID FOR  
 CONSTRUCTION IF (AND ONLY IF) A  
 PERMIT IS ISSUED, BASED ON THIS  
 DRAWING, BY THE CITY OF  
 STAMFORD.



**SECTION C**  
SEE ARCHITECTURAL DRAWINGS (UNDERLAID HERE) FOR DIMENSIONS AND DETAILS  
1/2" = 1'-0"



**SECTION D**  
SEE ARCHITECTURAL DRAWINGS (UNDERLAID HERE) FOR DIMENSIONS AND DETAILS  
1/2" = 1'-0"

**SAMPLE ONLY**  
NOT FOR REPRODUCTION  
OR UNAUTHORIZED USE

**PROPERTY ADDRESS:**  
\*\*\*  
**STAMFORD, CT 06902**  
**(CITY OF STAMFORD BUILDING DEPARTMENT)**

**TAX ID:**  
\*\*\*

**CLIENT:**  
\*\*\* \*\*

**TEL:** \*\*\*  
**EMAIL:** \*\*\*

**DATE:** 02.07.2025  
**ISSUE:** PRELIMINARY  
04.10.2025 FOR REVIEW  
04.25.2025 FOR PERMIT

**PROJECT NAME:**  
**SECOND FLOOR ADDITION**

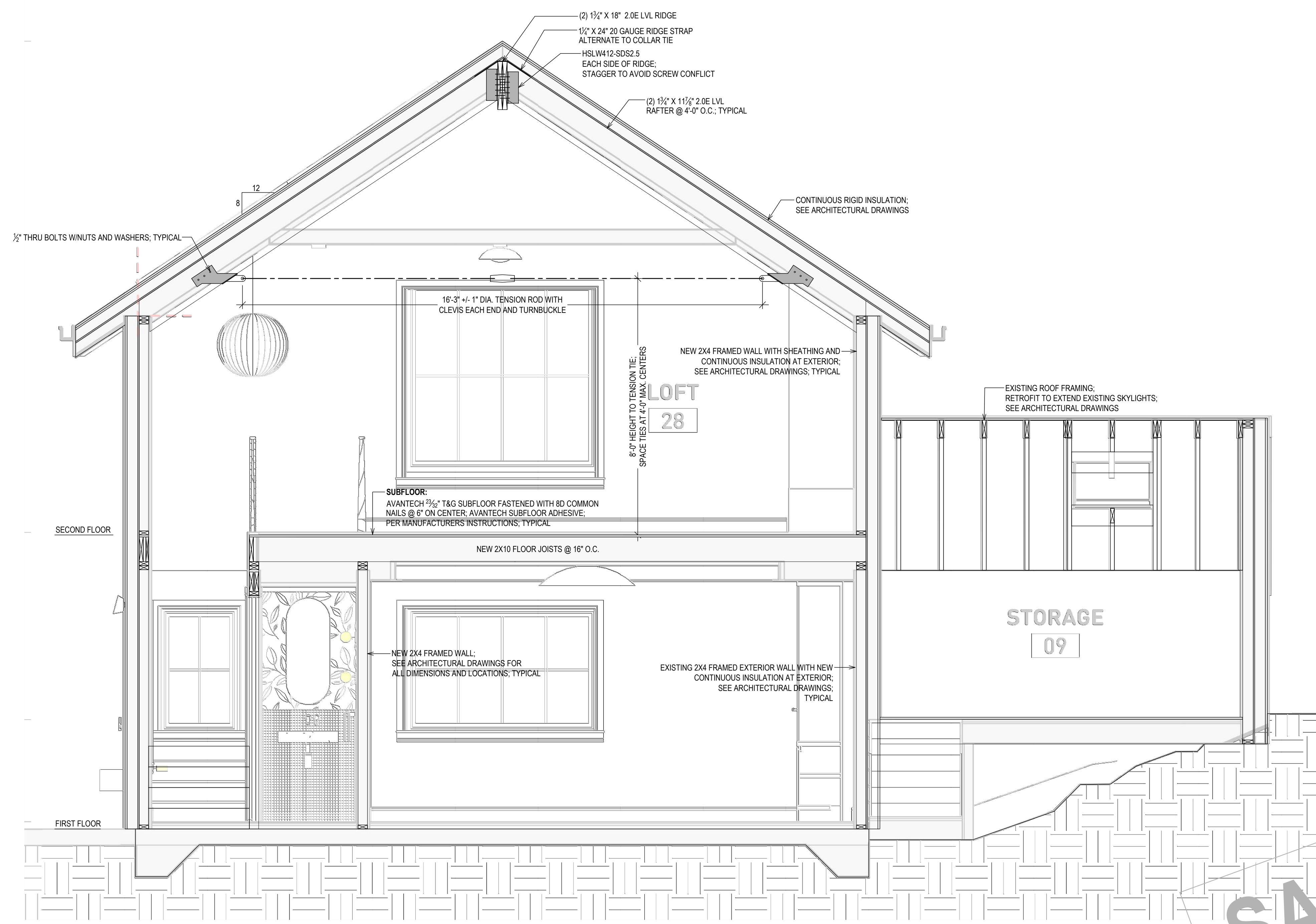
**DRAWING NAME:**  
**SECTIONS C & D**

**DRAWING NUMBER:**  
**S-05**

**DATE:**  
04.25.2025

**SCALE:**  
AS NOTED

**NOTE:**  
THIS DRAWING IS VALID FOR CONSTRUCTION IF (AND ONLY IF) A PERMIT IS ISSUED, BASED ON THIS DRAWING, BY THE CITY OF STAMFORD.



**SECTION E**  
 SEE ARCHITECTURAL DRAWINGS (UNDERLAID HERE) FOR DIMENSIONS AND DETAILS  
 1/2" = 1'-0"

**TIMBERPLATES**  
 DESIGN FROM EXCELLENCE

Checkout Cart: 24 (325) 400-1274

Home Shop Our Products How It Works Customer Projects FAQs Contact

**Current Lead Times (Not including shipping)**  
 Raw steel orders: 15-18 business days.  
 Powdercoated orders: 1-2 additional business days.  
 Tie rod orders: Please ask us.

**Your cart**

Add powder coating to this order.

	Quantity	Price
	8	\$ 948.80
<b>Three-hole Tie Rod Bracket</b> Rafter Thickness: 3-1/2" Rafter Width: 11-7/8" Tie Rod Diameter: 1" Roof Pitch: 8:12		
	4	\$ 907.40
<b>1" Tie Rod Assembly with Turnbuckle</b> Total Span Including Brackets (purchased separately): 16' 3" Tie Rod Count: 2 Tie Rod Diameter: 1" Tie Rod Length: 7' 3-1/4" Clevis Count: 2 Clevis Size: 1" #3 Clevis Pin Count: 2 Clevis Pin Diameter: 1" Turnbuckle: 1" turnbuckle with 6" takeup		
		<b>\$ 1,856.20</b>

**DETAILS**  
 TIE ROD(S)



**SAMPLE ONLY**  
 NOT FOR REPRODUCTION  
 OR UNAUTHORIZED USE

**Oliver Engineering, P.C.**  
 Design - Permit Applications - Legalizations  
 Code Compliance - Project Supervision  
 188 North Main Street | Port Chester, NY 10573  
 (914) 774-9878 | www.proeng.nyc | vc@proeng.nyc

**ENVIRONMENTAL Studio**  
 777 S. 3rd St. #4241  
 Harrison, NJ 07029  
 Jack@environmentalstudio.com  
 (612) 981-0795

**PROPERTY ADDRESS:**  
 \*\*\*  
**STAMFORD, CT 06902**  
**(CITY OF STAMFORD BUILDING DEPARTMENT)**

**TAX ID:**  
 \*\*\*

**CLIENT:**  
 \*\*\* \*\*\*

**TEL:** \*\*\*  
**EMAIL:** \*\*\*

**DATE:** 02.07.2025  
**04.10.2025**  
**04.25.2025**

**ISSUE:** PRELIMINARY  
**FOR REVIEW**  
**FOR PERMIT**

**PROJECT NAME:**  
**SECOND FLOOR ADDITION**

**DRAWING NAME:**  
**SECTION E**

**DRAWING NUMBER:**  
**S-06**

**DATE:** 04.25.2025  
**SCALE:** AS NOTED

**NOTE:**  
 THIS DRAWING IS VALID FOR CONSTRUCTION IF (AND ONLY IF) A PERMIT IS ISSUED, BASED ON THIS DRAWING, BY THE CITY OF STAMFORD.

PROPERTY ADDRESS:  
 \*\*\*  
**STAMFORD, CT 06902**  
 (CITY OF STAMFORD  
 BUILDING DEPARTMENT)

TAX ID:  
 \*\*\*

CLIENT:  
 \*\*\* \*\*\*

TEL: \*\*\*  
 EMAIL: \*\*\*

DATE: 02.07.2025  
 04.10.2025  
 04.25.2025

ISSUE:  
 PRELIMINARY  
 FOR REVIEW  
 FOR PERMIT

PROJECT NAME:  
**SECOND FLOOR ADDITION**

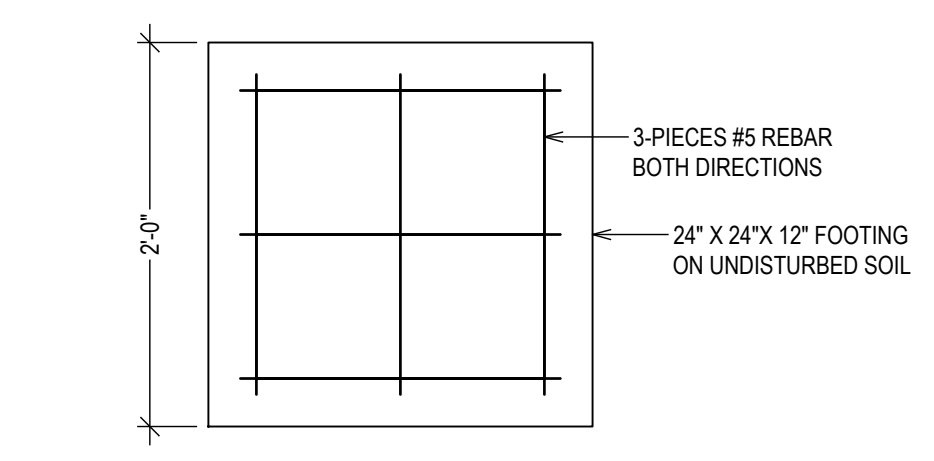
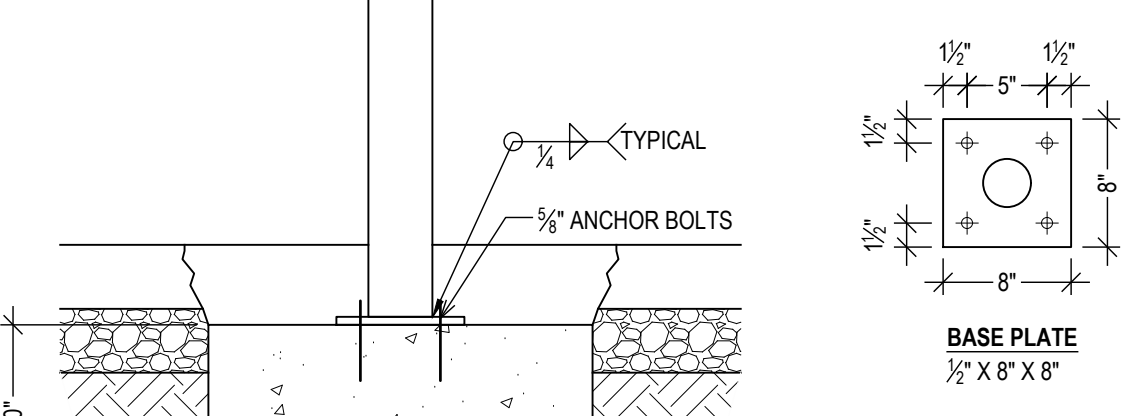
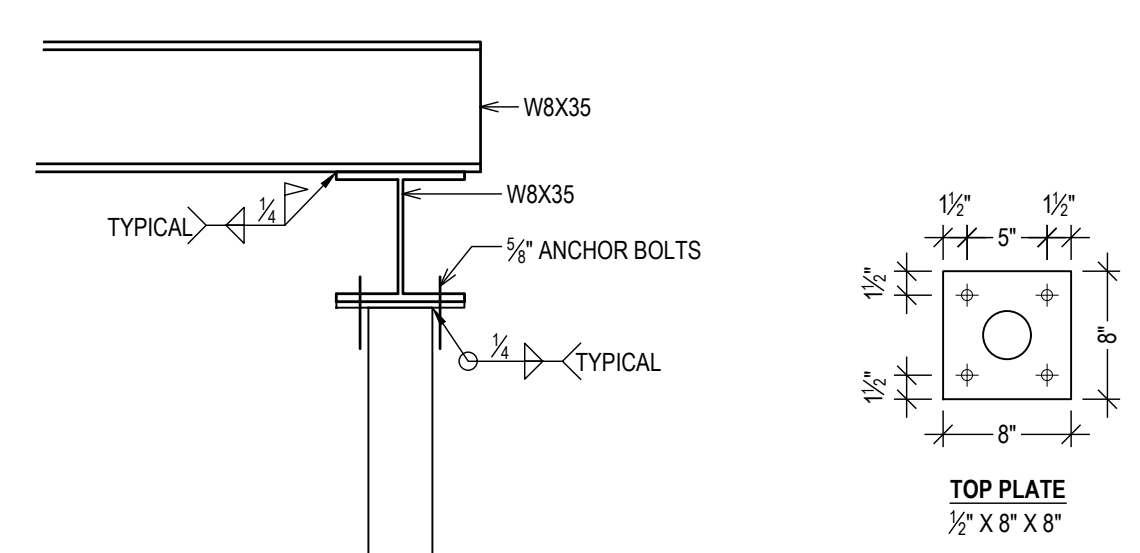
DRAWING NAME:  
**DETAILS**

DRAWING NUMBER:  
**S-07**

DATE:  
 04.25.2025

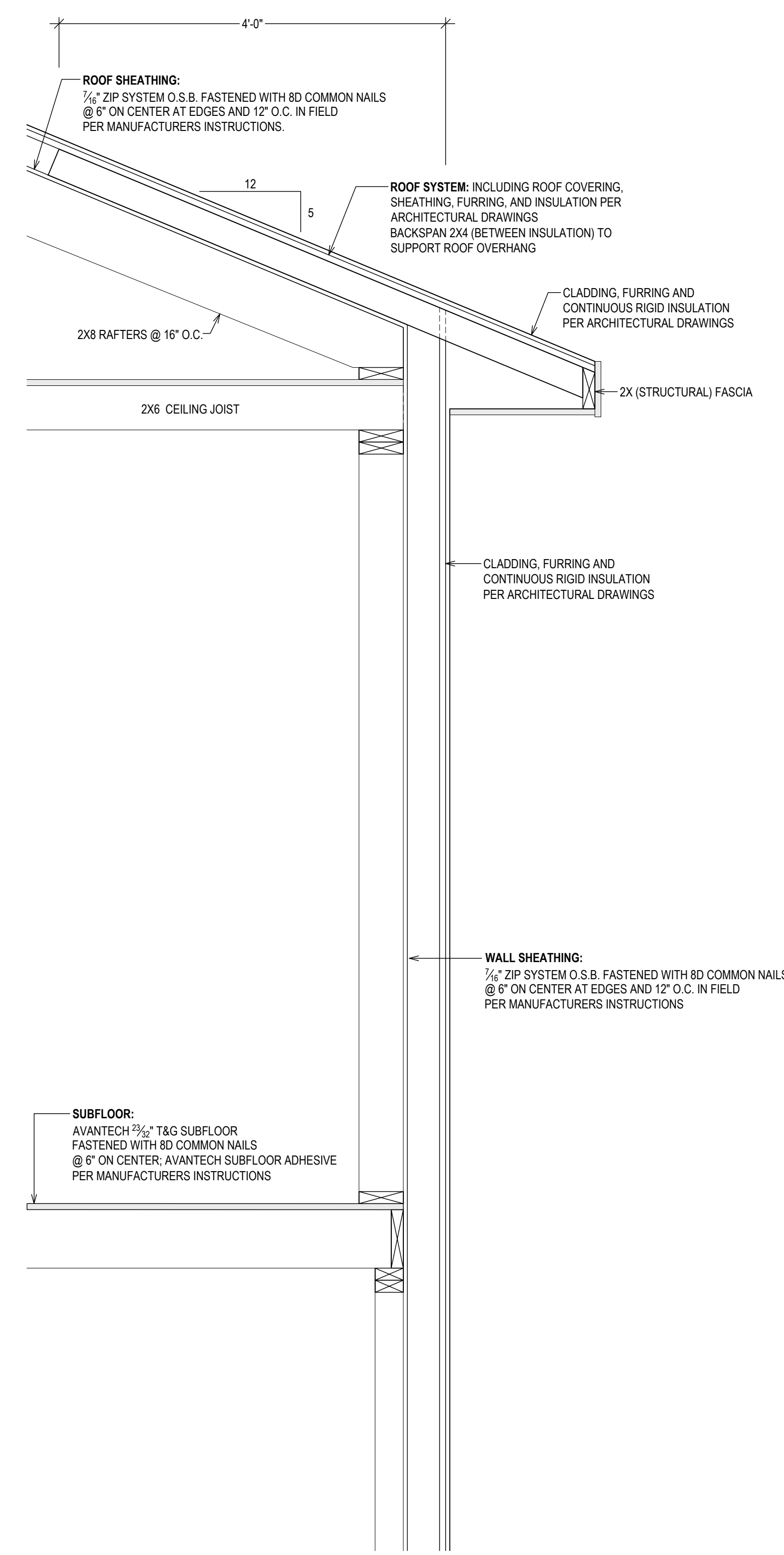
SCALE:  
 AS NOTED

NOTE:  
 THIS DRAWING IS VALID FOR  
 CONSTRUCTION IF (AND ONLY IF) A  
 PERMIT IS ISSUED, BASED ON THIS  
 DRAWING, BY THE CITY OF  
 STAMFORD.

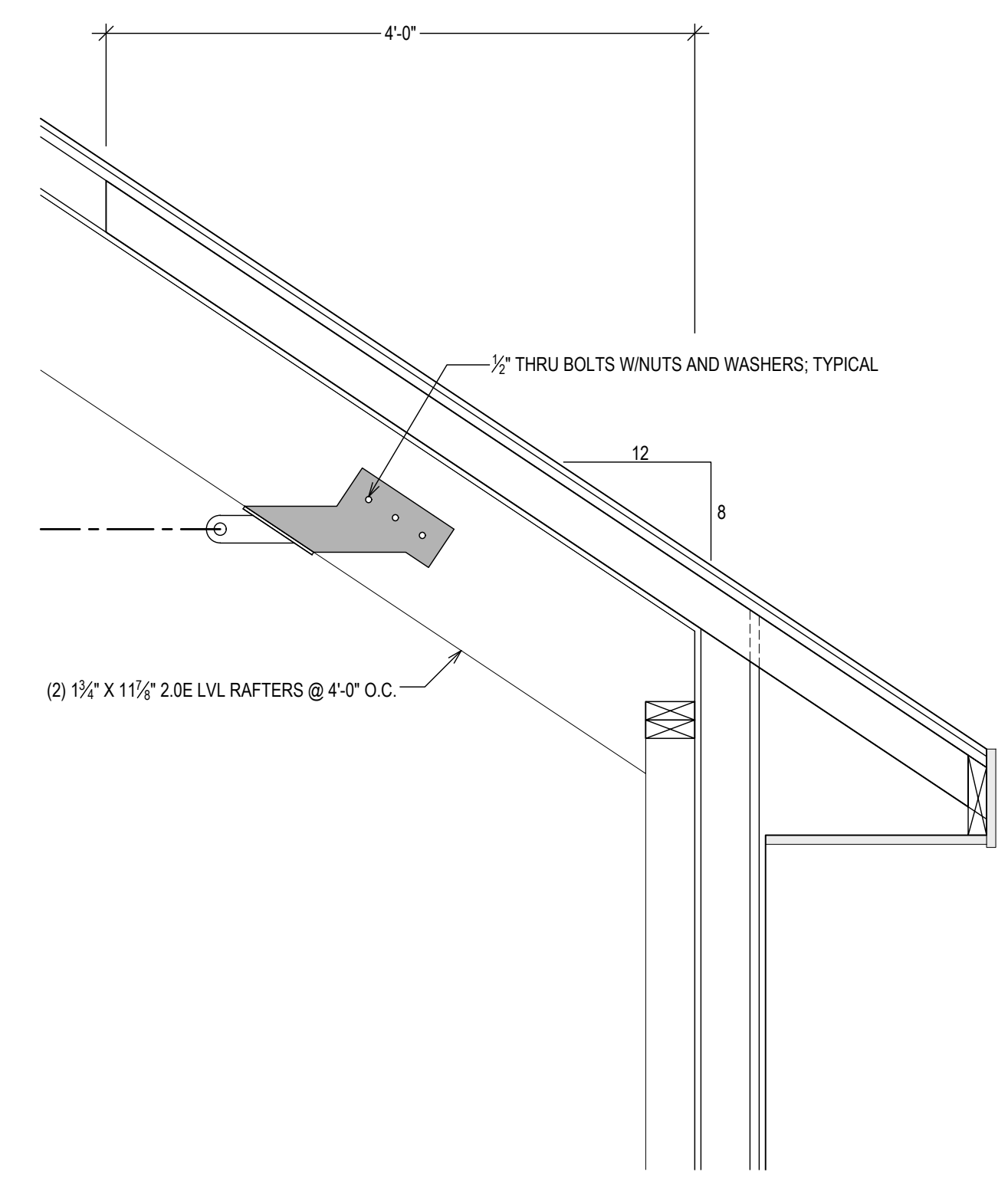


**TYPICAL STEEL POST AND FOOTING**  
 1" = 1'-0"

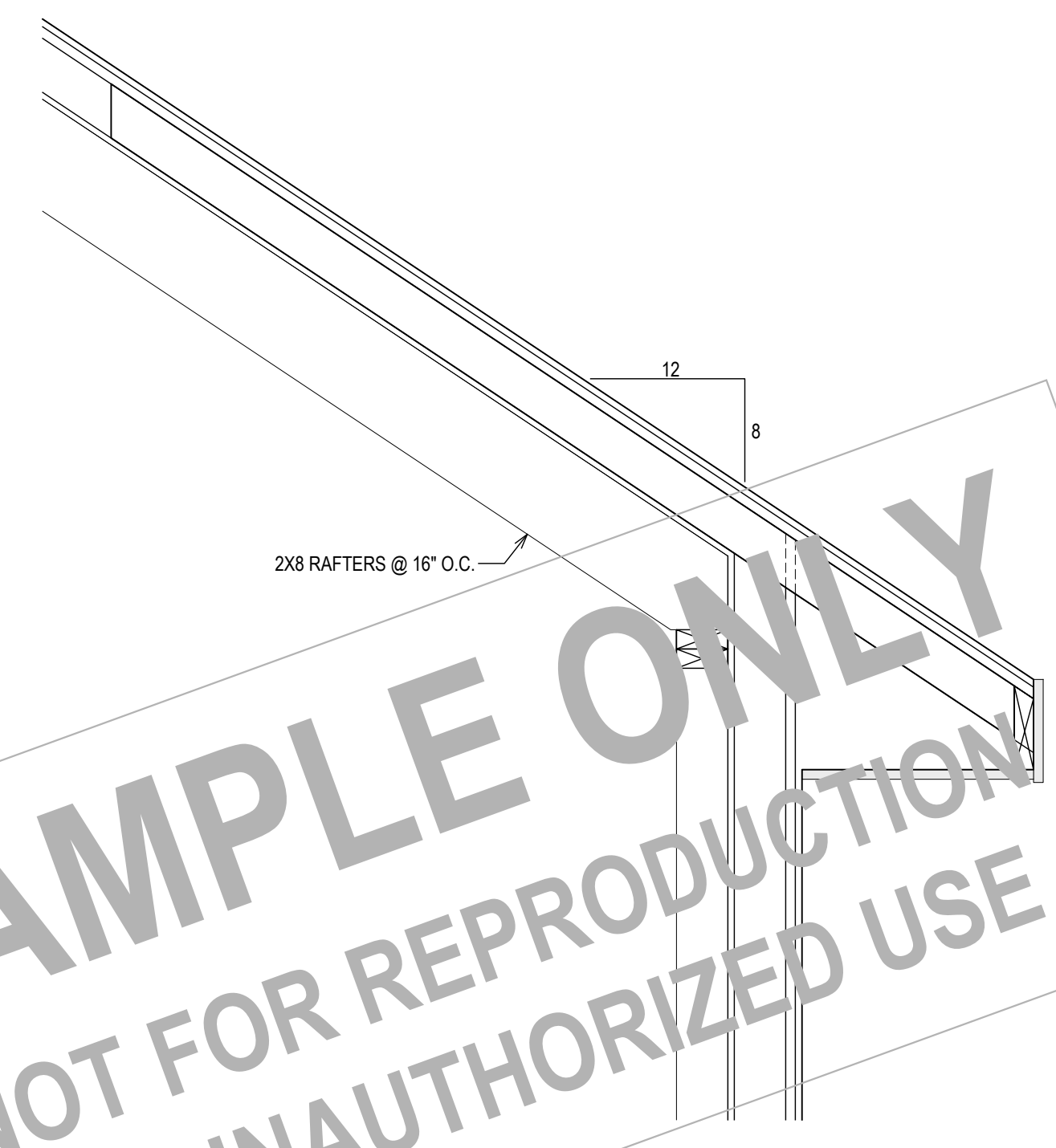
MATERIAL SPECIFICATION		
<b>FOOTING</b>		
CONCRETE	4,000 PSI @ 28 DAYS	PER ACI 318
REBAR	#5 DEFORMED BAR	ASTM A615 GRADE 60
<b>POST</b>		
STEEL POSTS	HSS 4X4X3/8 POST	ASTM A53
BASE PLATE	1/2" X 8" X 8"	ASTM A36
ANCHOR BOLTS	3/8" X 6"	STB2-62500 OR EQUAL
TOP PLATE	1/2" X 8" X 8"	ASTM A36
ANCHOR BOLTS	3/8" X 6"	STB2-62500 OR EQUAL
<b>BEAM</b>		
ALL BEAMS	W8X35	ASTM A992



**SECTION A, B & C - DETAILS**  
 1" = 1'-0"



**SECTION E - DETAILS (LVL RAFTERS)**  
 1" = 1'-0"



**SECTION E - DETAILS (2X8 RAFTERS)**  
 1" = 1'-0"

**SAMPLE ONLY**  
 NOT FOR REPRODUCTION  
 OR UNAUTHORIZED USE



PROPERTY ADDRESS:  
 \*\*\*  
**STAMFORD, CT 06902**  
**(CITY OF STAMFORD**  
**BUILDING DEPARTMENT)**

TAX ID:  
 \*\*\*

CLIENT:  
 \*\*\* \*\*

TEL: \*\*\*  
 EMAIL: \*\*\*

DATE: 02.07.2025 ISSUE: PRELIMINARY  
 04.10.2025 FOR REVIEW  
 04.25.2025 FOR PERMIT

PROJECT NAME:  
**SECOND FLOOR ADDITION**

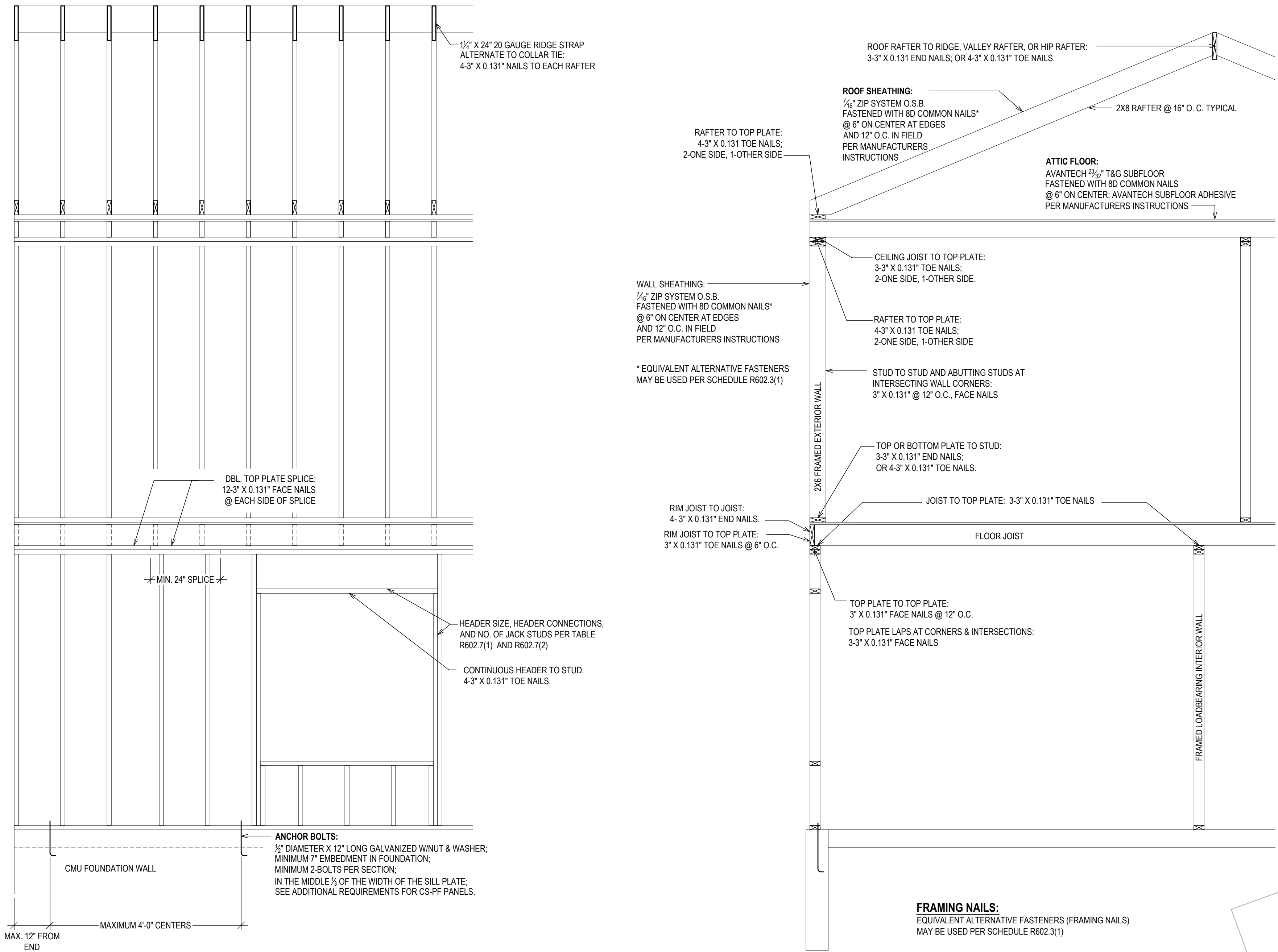
DRAWING NAME:  
**FRAMING FASTENING**

DRAWING NUMBER:  
**S-08**

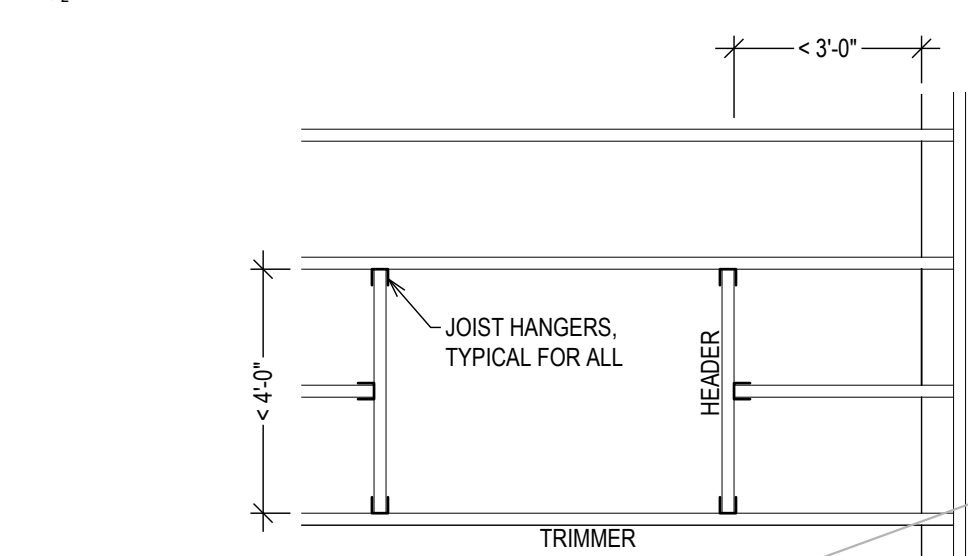
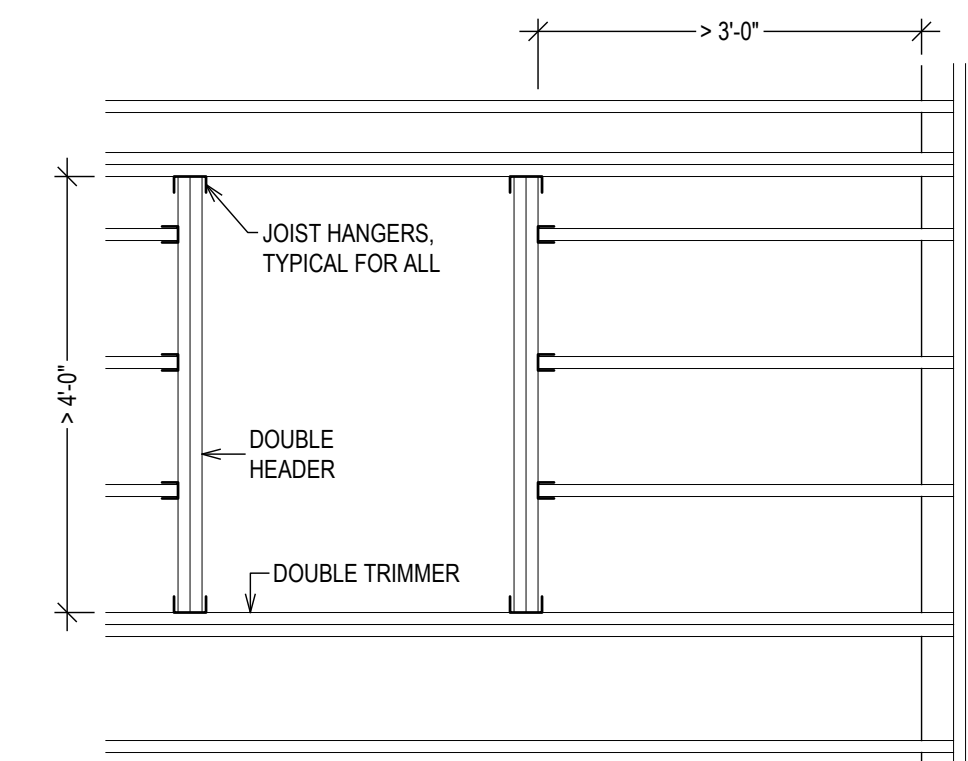
DATE:  
 04.25.2025

SCALE:  
 AS NOTED

NOTE:  
 THIS DRAWING IS VALID FOR  
 CONSTRUCTION IF (AND ONLY IF) A  
 PERMIT IS ISSUED, BASED ON THIS  
 DRAWING, BY THE CITY OF  
 STAMFORD.



**TYPICAL FRAMING DETAILS & FASTENERS**  
 FINISHES NOT SHOWN  
 1/2" = 1'-0"



TYPICAL FRAMING FOR FLOOR AND ROOF OPENINGS

**SAMPLE ONLY**  
 NOT FOR REPRODUCTION  
 OR UNAUTHORIZED USE