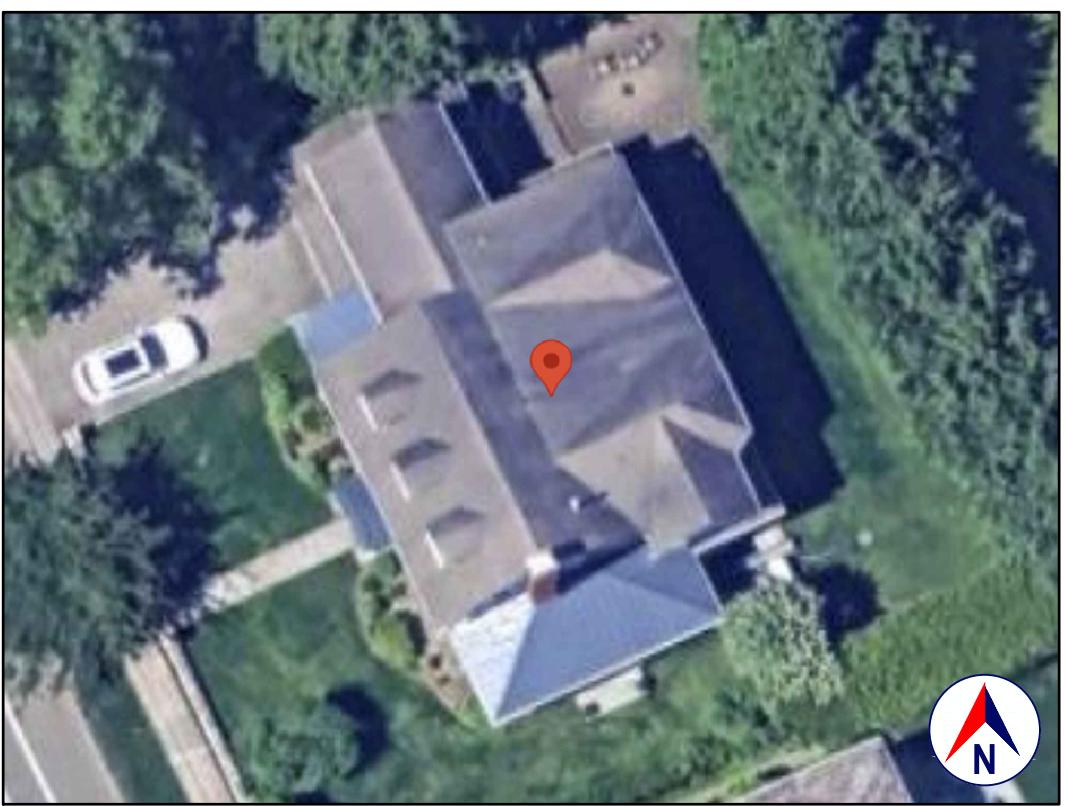
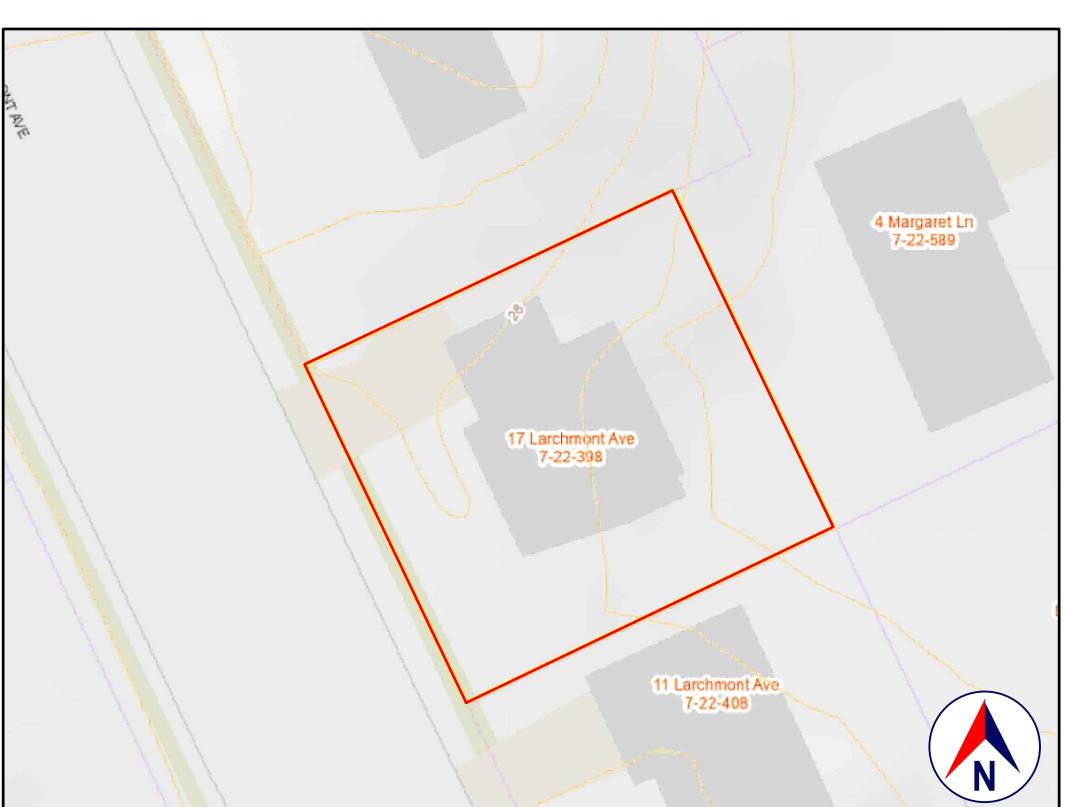


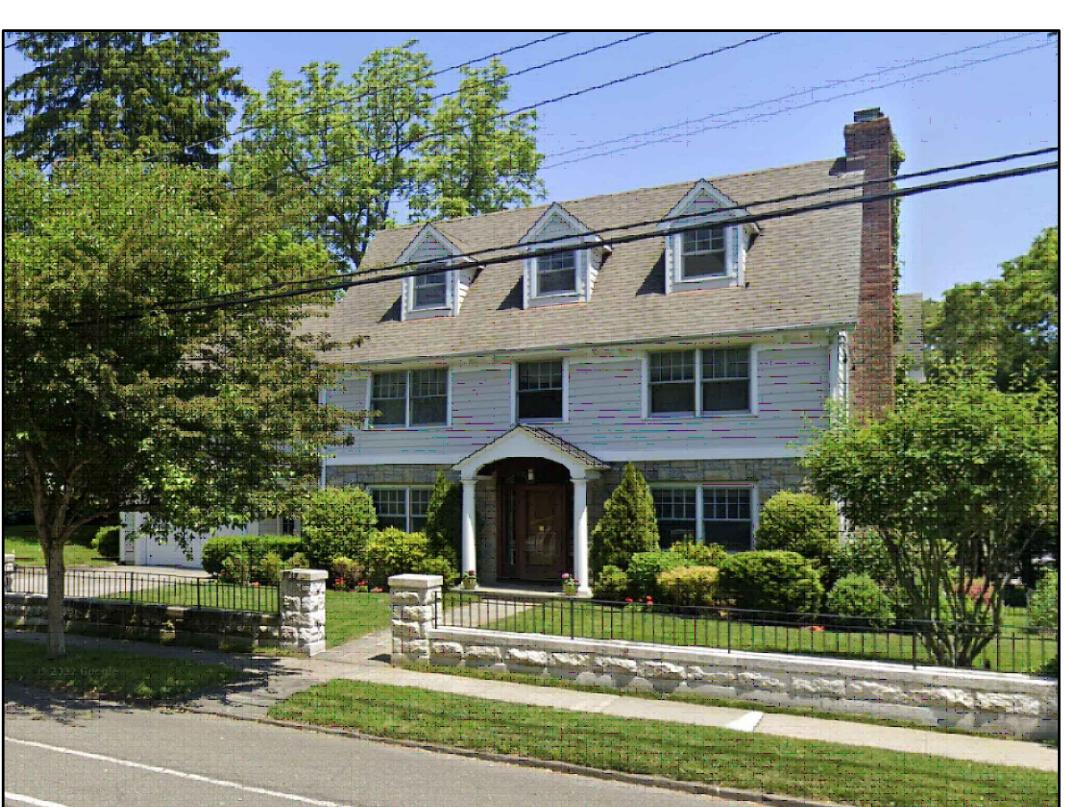
LOCATION
GOOGLE MAPS



SATELLITE VIEW
GOOGLE EARTH



TAX MAP AND TOPO
WESTCHESTER COUNTY GIS



FRONT VIEW
GOOGLE STREET VIEW

1.0 GENERAL REQUIREMENTS:

1.1 PROJECT SCOPE:

ALTER FLOOR PLAN; STRUCTURAL ALTERATION.

1.2 DESIGN INTENT:

THE INVOLVEMENT OF OLIVER ENGINEERING IN THIS PROJECT IS: PROVIDE STRUCTURAL DESIGN AND DRAWINGS.

THESE (STRUCTURAL) DRAWINGS ADDRESS ONLY THE STRUCTURAL INTEGRITY, BASED ON THE STATED LOADS, OF THE PROPOSED CONSTRUCTION. THESE DRAWINGS SHOULD ONLY BE USED IN CONJUNCTION WITH THE ARCHITECTURAL AND OTHER DRAWINGS. IT IS THE OVERALL INTENT OF (ALL OF) THE DRAWINGS TO CALL FOR COMPLETE AND FINISHED WORK, IN COMPLIANCE WITH THE NOTED CODES, AND TESTED AND GUARANTEED AND READY FOR OPERATION.

THESE (STRUCTURAL) DRAWINGS ARE NOT INTENDED TO ADDRESS: BUILDING PLANNING; DIMENSIONAL COORDINATION; THERMAL OR MOISTURE PROTECTION; EGRESS; FIRE PROTECTION; MECHANICAL; HEAT, LIGHT AND VENTILATION; GENERAL BUILDING; OR ANY OTHER OTHER NON-STRUCTURAL ISSUES. REFER TO THE KATHERINE MARTIN DRAWINGS FOR ALL SUCH ISSUES.

THE ENGINEER HAS NOT BEEN ENGAGED TO SUPERVISE ANY WORK AND DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

1.3 EXISTING CONSTRUCTION TYPE:

THE EXISTING BUILDING, PER THE BUILDING CODE OF NEW YORK STATE, TABLE 601 IS CONSTRUCTION TYPE VB - CONSTRUCTION WHERE THE PRIMARY ELEMENTS ARE NOT REQUIRED TO BE FIRE RATED.

1.4 CLASSIFICATION OF PROPOSED WORK:

THIS IS A PROPOSED ALTERATION LEVEL 2, AS DEFINED IN THE EXISTING BUILDING CODE, SECTION 603.1 (MAY INCLUDE THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT), AND SHALL COMPLY WITH THE PROVISIONS OF CHAPTERS 7 AND 8 OF THAT CODE.

1.5 ZONING, OCCUPANCY AND USE:

INSIDE: INSIDE
YEAR BUILT: 1948 (PER ZILLOW)
ZONING: R-15 ONE-FAMILY RESIDENCE
OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-3*
EXISTING USE: SINGLE FAMILY
PROPOSED USE: SINGLE FAMILY (NO CHANGE)

* WHERE THE OCCUPANTS ARE PRIMARILY PERMANENT IN NATURE AND NOT CLASSIFIED AS OCCUPANCY GROUP R-1, R-2, R-4 OR I, INCLUDING BUILDINGS THAT DO NOT CONTAIN MORE THAN TWO DWELLING UNITS.

1.6 COMPLIANCE:

ALL WORK SHALL BE IN COMPLIANCE WITH THE FOLLOWING CODES:
• GENERAL: 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS)
• EXISTING: EXISTING BUILDING CODE OF NEW YORK STATE (INTERNATIONAL EXISTING BUILDING CODE 2018 WITH AMENDMENTS)
• ENERGY: NOT APPLICABLE TO THESE DRAWINGS.
• PLUMBING: NOT APPLICABLE TO THESE DRAWINGS.
• ELECTRICAL: NOT APPLICABLE TO THESE DRAWINGS.
• DRAINAGE: NOT APPLICABLE TO THESE DRAWINGS.
• MUNICIPAL: CODE OF THE VILLAGE OF LARCHMONT.
• OTHER: ALL REFERENCED CODES, OTHER CODES AND REGULATIONS, FEDERAL, STATE AND LOCAL, THAT MAY APPLY.

1.7 AUTHORITY HAVING JURISDICTION:

THE AUTHORITY HAVING JURISDICTION, AS DEFINED IN SECTION 103.1 OF THE RESIDENTIAL CODE, AND WHICH SHALL BE USED FOR ADMINISTRATION AND ENFORCEMENT OF THE UNIFORM CODE AND ENERGY CODE BY LOCAL LAW, ORDINANCE, OTHER APPROPRIATE REGULATION, OR COMBINATION THEREOF, IS THE VILLAGE OF LARCHMONT. THE DULY APPOINTED BUILDING OFFICIAL OF THE VILLAGE OF LARCHMONT IS AUTHORIZED TO ENFORCE THE PROVISIONS OF THE CODE.

2.0 DESIGN CRITERIA:

2.1 DEAD LOAD:

PER 301.4, THE ACTUAL WEIGHTS OF MATERIALS AND CONSTRUCTION SHALL BE USED FOR DETERMINING DEAD LOAD; THE FOLLOWING APPROXIMATIONS (IN PSF) ARE USED FOR THIS PROJECT:

USE	PSF
FRAMED WALL ASSEMBLY:	10
ROOF/CEILING ASSEMBLY:	20
FLOOR ASSEMBLY:	15

ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.2 LIVE LOAD:

UNIFORMLY DISTRIBUTED LIVE LOADS SHALL BE PER TABLE R301.5 AND AS FOLLOWS* (IN PSF): USE PSF OTHER

UNINHABITABLE SPACE WITHOUT STORAGE:	10	(42'H, 24'W)
UNINHABITABLE ATTICS WITHIN STORAGE:	20	
HABITABLE ATTICS & ATTICS WITHIN STAIRS:	30	

EXTERIOR BALCONIES & DECKS: 40

FIRE ESCAPES: GUARDS & HANDRAILS: 200 (CONCENTRATED) (HORIZONTAL)

PASSENGER VEHICLE GARAGE: 50 (82,000LB/205)

ROOMS OTHER THAN SLEEPING ROOMS: 40

SLEEPING ROOMS: STAIRS: 40

ROOF: PER 301.6 (INC. SNOW): 30

*SOME OF THE LOADS LISTED ABOVE MAY BE HIGHER THAN THOSE REQUIRED PER CODE.

ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.3 WIND LOAD:

WIND LOADS SHALL BE BASED ON THE ULTIMATE DESIGN WIND SPEED LISTED IN TABLE 301.2(1) AND ADJUSTED FOR HEIGHT AND EXPOSURE).

120 MPH WIND LOADS WILL BE ALLOWED FOR IN: THE DESIGN LOAD PERFORMANCE REQUIREMENTS FOR WALL COVERINGS, ROOF COVERINGS, WINDOWS, SKYLIGHTS AND DOORS. COMPONENT AND CLADDING LOADS WILL BE PER TABLE R301.2(2).

2.4 ALLOWABLE LIVE LOAD DEFLECTION:

THE ALLOWABLE LIVE LOAD DEFLECTION OF ALL STRUCTURAL MEMBERS, SHALL BE PER TABLE R301.7 AND AS FOLLOWS:

STRUCTURAL MEMBER ALLOWABLE DEFLECTION

RAFTERS HAVING SLOPES GREATER THAN 3:12 WITH FINISHED CEILING NOT ATTACHED TO RAFTERS L/180 H/180

INTERIOR WALLS AND PARTITIONS L/180 H/180

CEILINGS WITH BRITTLE FINISHES (INCLUDING PLASTER AND STUCCO) CEILINGS WITH FLEXIBLE FINISHES (INCLUDING GYPSUM BOARD) L/360 L/240

ALL OTHER STRUCTURAL MEMBERS L/240 L/360

EXTERIOR WALLS-WIND LOAD WITH PLASTER OR STUCCO FINISHES EXTERIOR WALLS-WIND LOAD WITH OTHER BRITTLE FINISHES H/240 H/120

EXTERIOR WALLS-WIND LOADS WITH FLEXIBLE FINISHES L/120 L/600

LINTELS SUPPORTING MASONRY VENEER WALLS L/600

2.5 CLIMATIC AND GEOGRAPHIC CRITERIA:

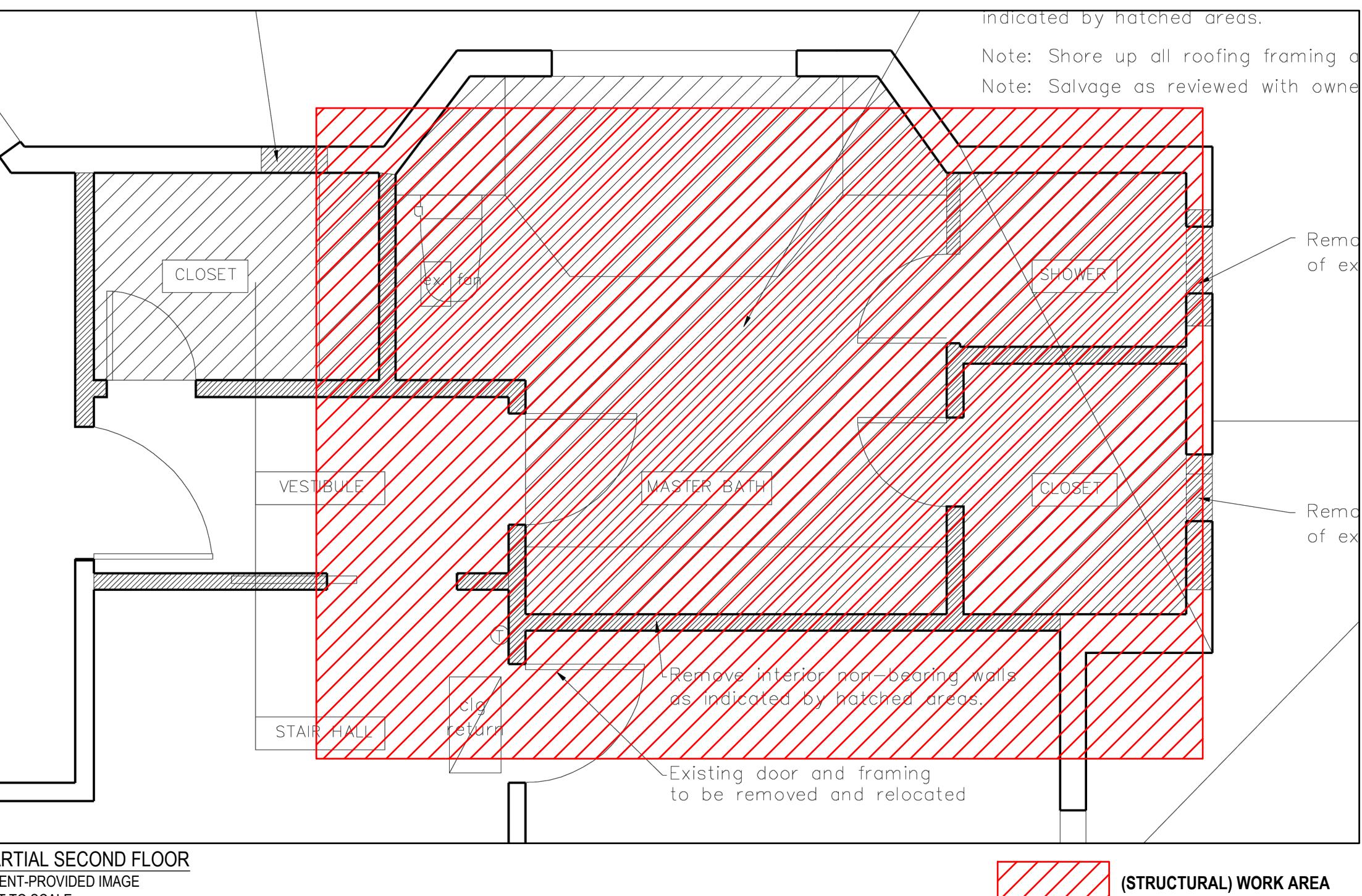
CLIMATIC AND DESIGN CRITERIA FOR THE VILLAGE OF LARCHMONT ARE PER TABLE R301.2(1) BELOW:

PER 2020 RESIDENTIAL CODE OF NEW YORK STATE, TABLE 301.2(1)				(WIND) EXPOSURE CATEGORY: B				CLIMATE ZONE: 4A			
GROUND SNOW LOAD	WIND DESIGN			SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	WIND SPEED MPH	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WINDBORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE			
30 PSF	115-120	NO	NO	NO	C	SEVERE	3'-6"	MOD/SEVERE	15	YES	MINIMAL
											61° 52.5°

3.0 CONTRACTOR'S RESPONSIBILITIES:

THE CONTRACTOR SHALL:

- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR A COMPLETE AND FINISHED JOB.
- PROVIDE ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.
- OBTAIN AND PAY FOR ALL REQUIRED PERMITS - UNLESS OTHERWISE STIPULATED.
- PRIOR TO THE SUBMISSION OF ANY BID, AND BEFORE PROCEEDING WITH ANY WORK, VISIT THE SITE AND VERIFY AN FAMILIARIZE HIMSELF WITH ALL SITE DIMENSIONS AND CONDITIONS, WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION, METHODS AND ROUTES OF ACCESS, AND THE EXISTENCE AND EXTENT OF ANY OTHER RESTRICTIONS, AND BE RESPONSIBLE FOR THE VERIFICATION OF ALL SUCH CONDITIONS AND DIMENSIONS WHICH PERTAIN TO THE PROJECT.
- BRING ALL DISCREPANCIES IN CONDITIONS AND DIMENSIONS, BETWEEN THE APPROVED DRAWINGS AND ACTUAL FIELD CONDITIONS, TO THE IMMEDIATE ATTENTION OF THE OWNER, AND RECEIVE DIRECTION IN WRITING, BEFORE PROCEEDING WITH THE AFFECTED WORK.
- VERIFY THE AVAILABILITY, LOCATION, LAYOUT AND CONDITION OF UTILITIES, INCLUDING SEWER, WATER, GAS AND ELECTRIC LINES, PRIOR TO THE SUBMISSION OF ANY BID.
- HAVE CONTROL OVER AND SUPERVISE AND DIRECT THE WORK, INCLUDING THAT OF ITS SUBCONTRACTORS, AND BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR JOBSITE SAFETY, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, VERIFY THE CONDITION OF ALL ADJOINING STRUCTURES WHICH MAY BE AFFECTED, AND PROVIDE ADEQUATE PROTECTION TO ANY STRUCTURE THAT MIGHT BE OTHERWISE AFFECTED.
- IN THE EVENT THAT DAMAGE IS CAUSED TO ANY STRUCTURE, FINISH, OR OTHER ELEMENT, RESTORE SUCH ELEMENTS TO THEIR ORIGINAL CONDITION.
- IF APPLICABLE, PROVIDE WEATHER PROTECTION, IN AN EFFECTIVE AND TIMELY MANNER, TO PROTECT THE PREMISES, PERSONNEL, MATERIALS AND INSTALLED WORK.
- BE A HOME IMPROVEMENT CONTRACTOR WITH A CURRENT LICENSE ISSUED BY THE WESTCHESTER COUNTY DEPARTMENT OF CONSUMER AFFAIRS.
- BE CERTIFIED AS A LEAD SAFE FIRM BY THE EPA PER 40 CFR 745.226.
- CARRY LIABILITY INSURANCE TO THE LIMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION AND ISSUE CERTIFICATE(S) OF INSURANCE AS REQUIRED BY THE HOMEOWNER AND/OR THAT AUTHORITY.
- CARRY WORKMAN'S COMPENSATION AND DISABILITY INSURANCE AS REQUIRED BY THE LAW AND ISSUE CERTIFICATE(S) AS REQUIRED BY THE HOMEOWNER AND/OR THE AUTHORITY HAVING JURISDICTION.



PARTIAL SECOND FLOOR
CLIENT-PROVIDED IMAGE
NOT TO SCALE

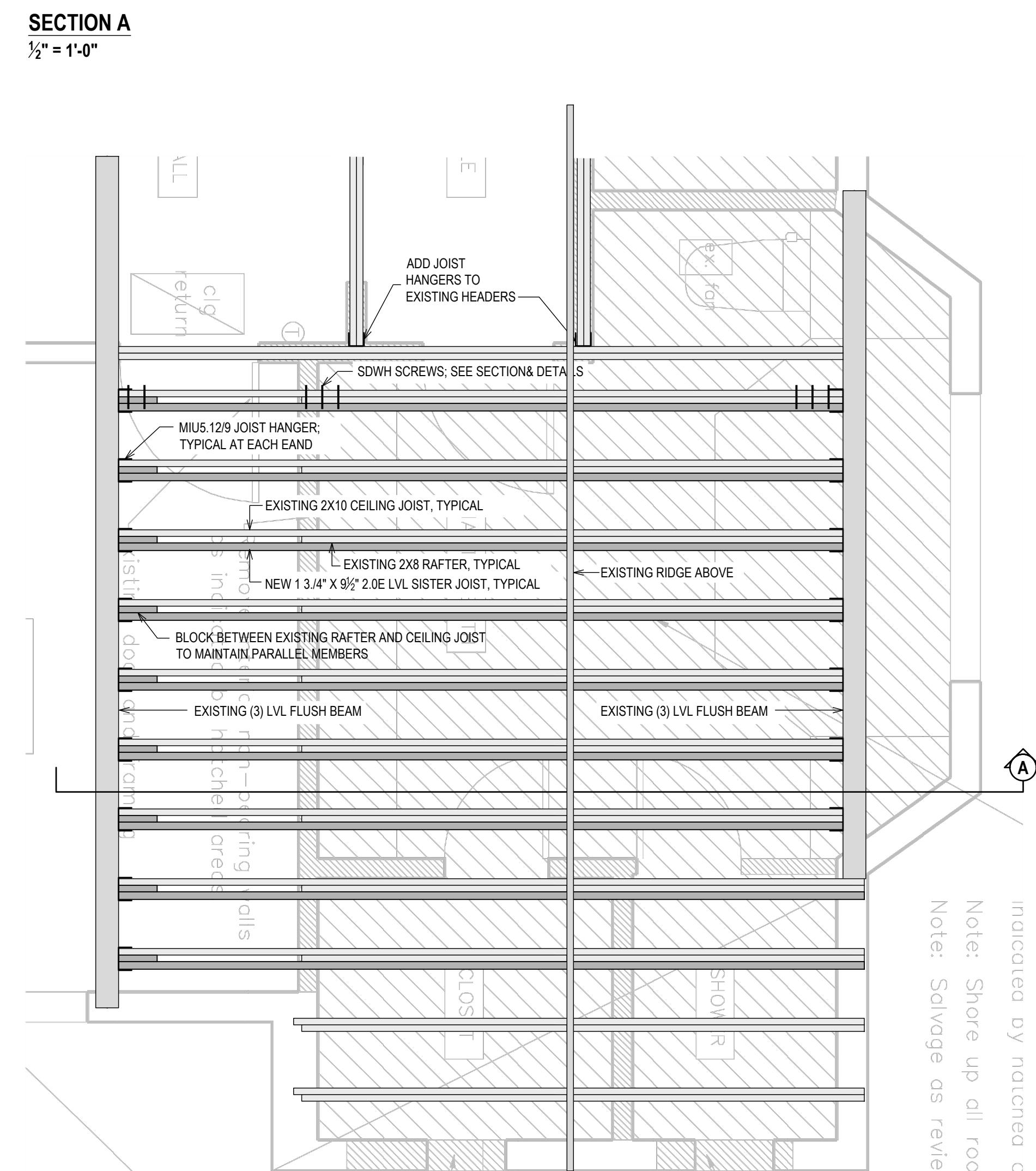
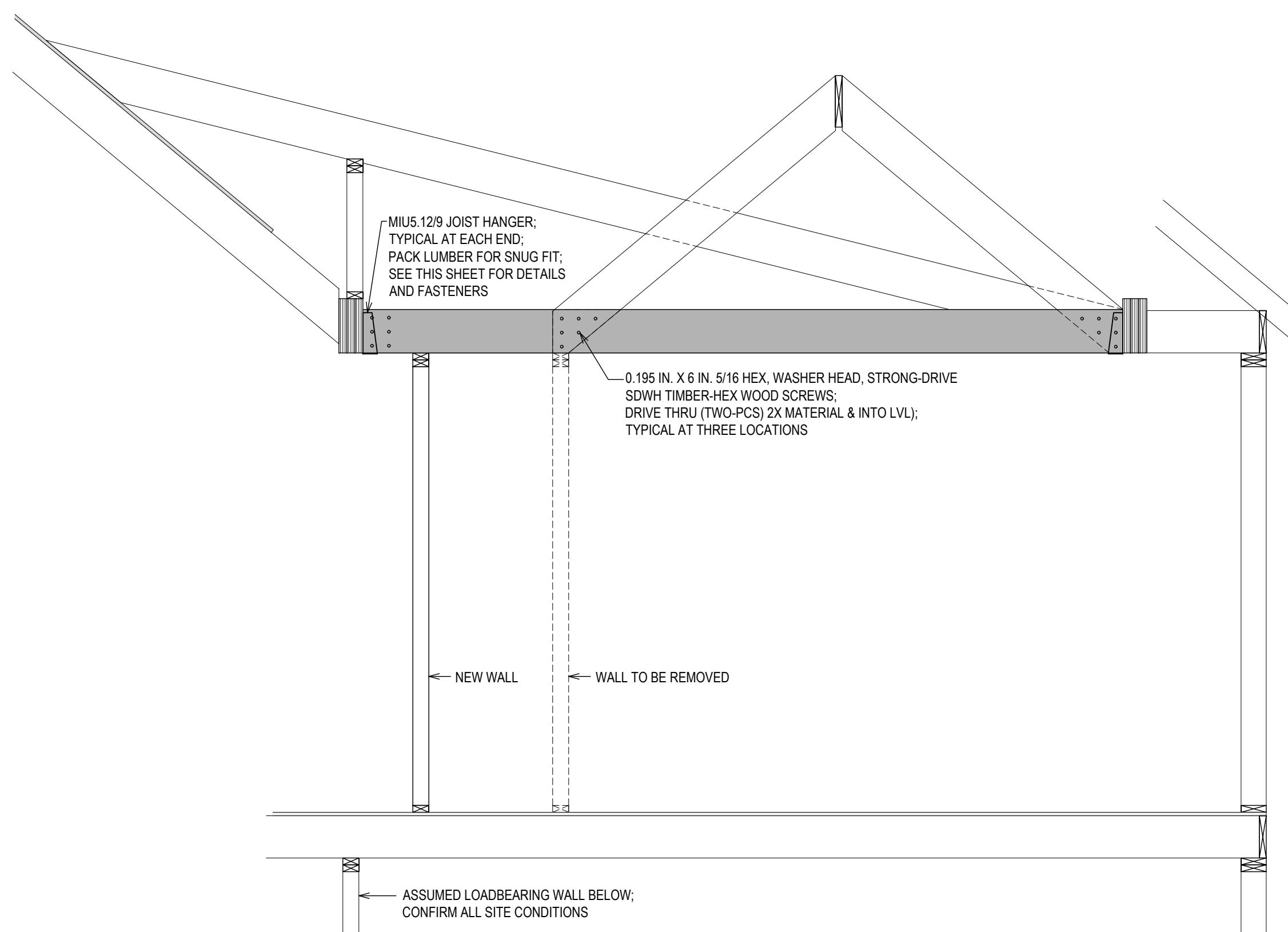
(STRUCTURAL) WORK AREA
(ROOF/CEILING FRAMING)



EXISTING CONSTRUCTION
ENT-PROVIDED IMAGE

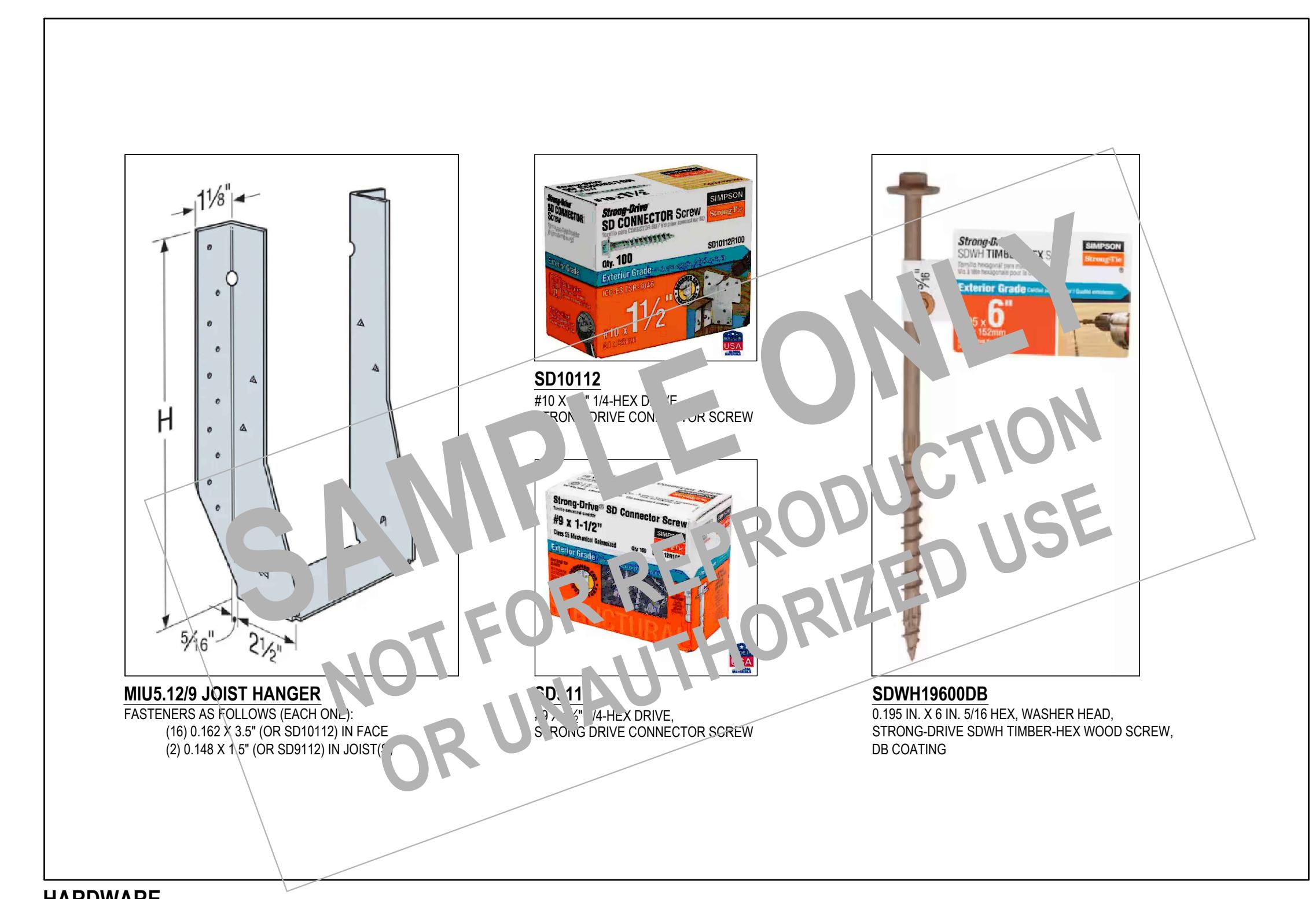
NOT FOR REPRODUCTION
OR UNAUTHORIZED USE

LIST OF DRAWINGS			
Sheet	Drawing Name	Date	Revision
C-01	COVER SHEET	05.06.2025	05.12.2025
S-01	PLAN AND DETAILS	05.06.2025	05.12.2025



SECOND FLOOR ROOF/CEILING FRAMING
OVERLAI ON SECOND FLOOR ARCHITECTURAL FLOOR PLAN
1/2" = 1'-0"

indicated by dashed or
Note: Shore up all roof
Note: Salvage as review



HARDWARE