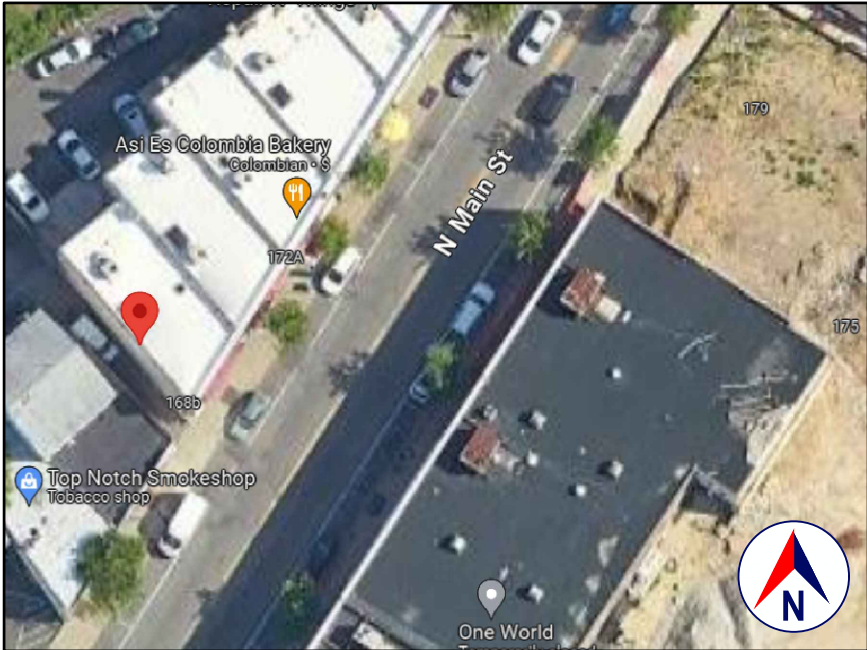


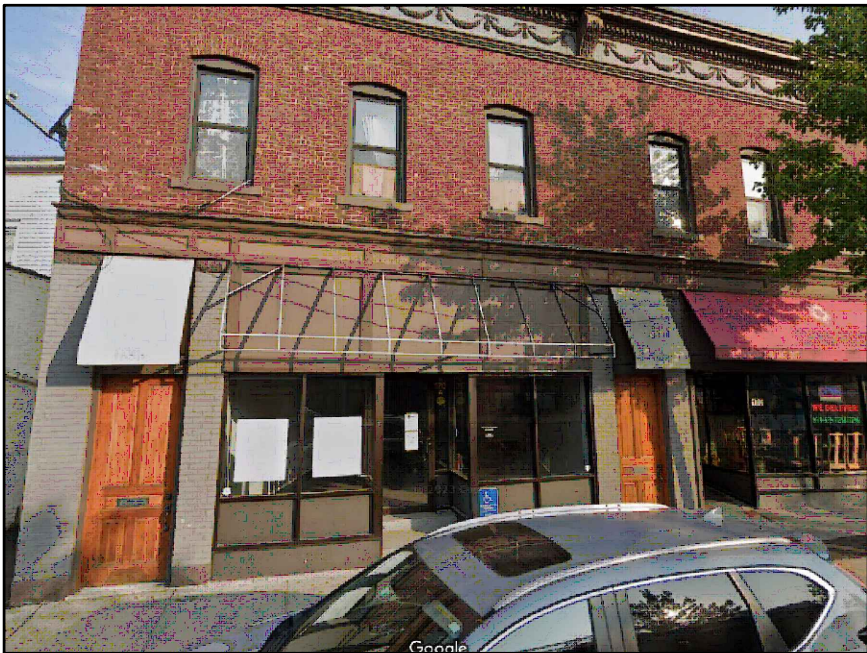
LOCATION
GOOGLE MAPS



SATELLITE VIEW
GOOGLE EARTH



TAX MAP & TOPO.
WESTCHESTER COUNTY GIS



FRONT VIEW
GOOGLE STREET VIEW

THIS DRAWING IS AS A SAMPLE ONLY
*** PERSONAL (CLIENT) INFORMATION WITHHELD

1.0 GENERAL REQUIREMENTS:

1.1 DESIGN INTENT:

IT IS THE INTENT OF THESE DRAWINGS TO CALL FOR COMPLETE AND FINISHED WORK, IN COMPLIANCE WITH THE NOTED CODES, AND TESTED AND GUARANTEED AND READY FOR OPERATION.

THE ENGINEER HAS NOT BEEN ENGAGED TO SUPERVISE ANY WORK AND DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

1.2 SCOPE:

THIS IS A PROPOSED ALTERATION LEVEL 2 AS DEFINED IN SECTION 603 ALTERATIONS - LEVEL 2, AND AS FOLLOWS: INSTALL CABINET(S) AND PLUMBING FIXTURE(S). ALL PROPOSED WORK IS INSIDE THE EXISTING BUILDING ENVELOPE.

CONSTRUCTION TYPE: TYPE V-B, AS DEFINED IN TABLE 601
YEAR BUILT: UNKNOWN (PER ZILLOW)
OCCUPANCY CLASSIFICATION: RETAIL BUSINESS (NO PROPOSED CHANGE)

ARCHITECTURAL REVIEW:

THE PROPOSED ALTERATION WILL NOT CHANGE SUBSTANTIALLY THE EXTERIOR CHARACTER AND APPEARANCE OF THE BUILDING OR STRUCTURE

1.3 COMPLIANCE:

ALL WORK SHALL BE IN COMPLIANCE WITH:

- THE 2020 BUILDING CODE OF NEW YORK STATE (2018 IBC WITH AMENDMENTS) AND ALL OTHER CODES REFERENCED THEREIN; PER 101.1, THIS CODE IS PART OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE (THE "UNIFORM CODE")
- THE 2020 EXISTING BUILDING CODE OF NEW YORK STATE (2018 IBC WITH AMENDMENTS)
- THE NEW YORK STATE PLUMBING CODE 2020 (IPC 2018 WITH AMENDMENTS)
- CHAPTER 132, BUILDING CONSTRUCTION AND FIRE PREVENTION, OF THE CODE OF THE VILLAGE OF PORT CHESTER.
- ALL OTHER REFERENCED CODES AND ALL OTHER CODES AND REGULATIONS, LOCAL, STATE AND FEDERAL, THAT APPLY.

1.4 AUTHORITY HAVING JURISDICTION:

THE AUTHORITY HAVING JURISDICTION, AS DEFINED IN [NY] 103.1 OF THE BUILDING CODE, AND WHICH SHALL PROVIDE FOR ADMINISTRATION AND ENFORCEMENT OF THE UNIFORM CODE AND ENERGY CODE BY LOCAL LAW, ORDINANCE, OTHER APPROPRIATE REGULATION, OR COMBINATION THEREOF, IS THE VILLAGE OF PORT CHESTER.

THE DULY APPOINTED BUILDING OFFICIAL OF THE VILLAGE OF PORT CHESTER IS AUTHORIZED TO ENFORCE THE PROVISIONS OF THE CODE.

THE BUILDING OFFICIAL MAY ADOPT POLICIES AND PROCEDURES IN ORDER TO CLARIFY THE APPLICATION OF THE PROVISIONS OF THE CODE. SUCH POLICIES AND PROCEDURES SHALL BE IN COMPLIANCE WITH THE INTENT AND PURPOSE OF THE CODE.

2. CONTRACTOR'S RESPONSIBILITIES:

THE CONTRACTOR SHALL:

- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR A COMPLETE AND FINISHED JOB.
- PROVIDE ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.
- OBTAIN AND PAY FOR ALL REQUIRED PERMITS - UNLESS OTHERWISE STIPULATED.
- PRIOR TO THE SUBMISSION OF ANY BID, AND BEFORE PROCEEDING WITH ANY WORK, VISIT THE SITE AND VERIFY AND FAMILIARIZE HIM/HERSELF WITH ALL SITE DIMENSIONS AND CONDITIONS, WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION, METHODS AND ROUTES OF ACCESS, AND THE EXISTENCE AND EXTENT OF ANY OTHER RESTRICTIONS, AND BE RESPONSIBLE FOR THE VERIFICATION OF ALL SUCH CONDITIONS AND DIMENSIONS WHICH PERTAIN TO THE PROJECT.
- BRING ALL DISCREPANCIES IN CONDITIONS AND DIMENSIONS, BETWEEN THE APPROVED DRAWINGS AND ACTUAL FIELD CONDITIONS, TO THE IMMEDIATE ATTENTION OF THE OWNER, AND RECEIVE DIRECTION IN WRITING, BEFORE PROCEEDING WITH THE AFFECTED WORK.
- VERIFY THE AVAILABILITY, LOCATION LAYOUT AND CONDITION OF UTILITIES, INCLUDING SEWER, WATER, GAS AND ELECTRIC LINES, PRIOR TO THE SUBMISSION OF ANY BID.
- HAVE CONTROL OVER AND SUPERVISE AND DIRECT THE WORK, INCLUDING THAT OF ITS SUBCONTRACTORS, AND BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR JOBSITE SAFETY, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, VERIFY THE CONDITION OF ALL ADJOINING STRUCTURES WHICH MAY BE AFFECTED, AND PROVIDE ADEQUATE PROTECTION TO ANY STRUCTURE THAT MIGHT BE OTHERWISE AFFECTED.
- IN THE EVENT THAT DAMAGE IS CAUSED TO ANY STRUCTURE, FINISH, OR OTHER ELEMENT, RESTORE SUCH ELEMENTS TO THEIR ORIGINAL CONDITION.
- HAVE CONTROL OVER AND SUPERVISE, COORDINATE AND DIRECT THE WORK, INCLUDING THAT OF HIS SUBCONTRACTORS, AND SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR JOBSITE SAFETY.
- IF APPLICABLE, PROVIDE WEATHER PROTECTION, IN AN EFFECTIVE AND TIMELY

MANNER, TO PROTECT THE PREMISES, PERSONNEL, MATERIALS AND INSTALLED WORK.

- BE A HOME IMPROVEMENT CONTRACTOR WITH A CURRENT LICENSE ISSUED BY THE WESTCHESTER COUNTY DEPARTMENT OF CONSUMER AFFAIRS.
- BE CERTIFIED AS A LEAD SAFE FIRM BY THE EPA PER 40 CFR 745.226.
- CARRY LIABILITY INSURANCE TO THE LIMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION AND ISSUE CERTIFICATE(S) OF INSURANCE AS REQUIRED BY THE HOMEOWNER AND/OR THAT AUTHORITY.
- CARRY WORKMAN'S COMPENSATION AND DISABILITY INSURANCE AS REQUIRED THE LAW AND ISSUE CERTIFICATE(S) AS REQUIRED BY THE HOMEOWNER AND/OR THE AUTHORITY HAVING JURISDICTION.

3. BUILDING PERMIT:

NO PERSON OR ENTITY SHALL COMMENCE, PERFORM, OR CONTINUE ANY WORK THAT MUST CONFORM WITH THE UNIFORM CODE AND/OR ENERGY CODE UNLESS:

- SUCH PERSON OR ENTITY HAS APPLIED TO THE VILLAGE OF PORT CHESTER FOR A BUILDING PERMIT,
- THE VILLAGE OF PORT CHESTER HAS ISSUED A BUILDING PERMIT AUTHORIZING SUCH WORK,
- SUCH BUILDING PERMIT HAS NOT BEEN REVOKED OR SUSPENDED, AND
- SUCH BUILDING PERMIT HAS NOT EXPIRED.

THE BUILDING PERMIT IS REQUIRED TO BE VISIBLY DISPLAYED AT THE WORKSITE AND TO REMAIN VISIBLE UNTIL THE PROJECT, AND ALL REQUIRED INSPECTIONS, HAVE BEEN COMPLETED.

THE APPROVED DRAWINGS MUST BE KEPT AT THE WORKSITE AND BE AVAILABLE FOR REVIEW AT THE TIME OF ANY REQUIRED INSPECTIONS.

4. CONSTRUCTION INSPECTIONS:

IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING PERMIT, OR THEIR DULY AUTHORIZED AGENT, TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION:

BUILDING DEPARTMENT, VILLAGE OF PORT CHESTER
VILLAGE HALL
222 GRACE CHURCH STREET
PORT CHESTER, NY 10573
(914) 939-5203

ANY PERSON OR ENTITY PERFORMING WORK FOR WHICH A BUILDING PERMIT HAS BEEN ISSUED SHALL KEEP SUCH WORK ACCESSIBLE AND EXPOSED UNTIL THE WORK HAS BEEN INSPECTED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION, OR ITS AUTHORIZED AGENT, AT EACH ELEMENT OF THE CONSTRUCTION PROCESS THAT IS APPLICABLE TO THE WORK.

BUILDING PERMIT HOLDERS SHALL BE REQUIRED TO NOTIFY THE BUILDING OFFICIAL OF THE VILLAGE OF PORT CHESTER WHEN CONSTRUCTION WORK IS

READY FOR INSPECTION.

THE BUILDING OFFICIAL SHALL MAKE THE REQUIRED INSPECTIONS OR SHALL HAVE THE AUTHORITY TO ACCEPT WRITTEN REPORTS OF INSPECTION BY APPROVED AGENCIES OR INDIVIDUALS.

REQUIRED INSPECTIONS FOR THIS PROJECT MAY INCLUDE THE FOLLOWING, AS APPLICABLE, OR AS SPECIFIED IN THE CODE ENFORCEMENT PROGRAM OF THE VILLAGE OF PORT CHESTER:

- WORKSITE PRIOR TO THE ISSUANCE OF A PERMIT
- PLUMBING*
- ELECTRICAL*
- MECHANICAL
- FRAMING (SUBSEQUENT TO THE INSPECTION & APPROVAL OF PLUMBING, ELECTRICAL & MECHANICAL)
- FIRE RESISTANT CONSTRUCTION
- FIRE RESISTANT PENETRATIONS
- ENERGY CODE COMPLIANCE
- A FINAL INSPECTION AFTER ALL WORK AUTHORIZED BY THE BUILDING PERMIT HAS BEEN COMPLETED
- ANY OTHER INSPECTIONS AS REQUIRED BY THE VILLAGE OF PORT CHESTER.

A SCHEDULE OF REQUIRED INSPECTIONS IS AVAILABLE FROM THE BUILDING DEPARTMENT OF THE VILLAGE OF PORT CHESTER.

*THE WORK APPLICABLE TO SOME OF THE ABOVE INSPECTIONS (FOR INSTANCE PLUMBING AND ELECTRICAL) SHALL BE COMPLETED UNDER A SEPARATE PERMIT, FILED BY THE RELEVANT LICENSED CONTRACTORS.

AFTER INSPECTION, THE WORK OR A PORTION THEREOF SHALL BE NOTED AS SATISFACTORY AS COMPLETED, OR THE BUILDING PERMIT HOLDER SHALL BE NOTIFIED AS TO THE MANNER IN WHICH THE WORK FAILS TO COMPLY WITH APPLICABLE CODES, INCLUDING A CITATION OF THE SPECIFIC CODE PROVISION OR PROVISIONS THAT HAVE NOT BEEN MET.

IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO ASCERTAIN THE RESULTS OF REQUIRED INSPECTIONS.

CONSTRUCTION WORK NOT IN COMPLIANCE WITH APPLICABLE CODES SHALL BE REQUIRED TO REMAIN EXPOSED UNTIL IT HAS BEEN BROUGHT INTO COMPLIANCE WITH THE CODES, RE-INSPECTED, AND FOUND SATISFACTORY AS COMPLETED.

5. STATEMENT OF DESIGN PROFESSIONAL:

- THESE PLANS HAVE BEEN PREPARED IN CONFORMANCE WITH THE 2020 BUILDING CODE OF NEW YORK STATE.
- TO THE BEST OF MY KNOWLEDGE AND PROFESSIONAL JUDGEMENT, THESE PLANS ARE IN CONFORMANCE WITH THE 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE.

VINCENT COAKLEY, P.E.
(STAMP AFFIXED AND SIGNED)

SAMPLE ONLY
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OR UNAUTHORIZED USE

**GISMONDI
ARCHITECTS**

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(914) 494-8943 MGISM0646@AOL.COM

Oliver Engineering, P.C.

Design - Permit Applications - Legalizations
Code Compliance - Project Supervision

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(914) 774-9878 | www.proeng.nyc | vc@proeng.nyc

STAMP:

PROPERTY ADDRESS:

PORT CHESTER, NY 10573
(VILLAGE OF PORT CHESTER BUILDING DEPARTMENT)

S-B-L:

CLIENT:
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| DATE: | ISSUE: |
| 09.29.2023 | FOR REVIEW |
| 10.06.2023 | FOR PERMIT |
| 10.25.2023 | PER BLD.DEPT. |
| 10.31.2023 | PER BLD.DEPT. |

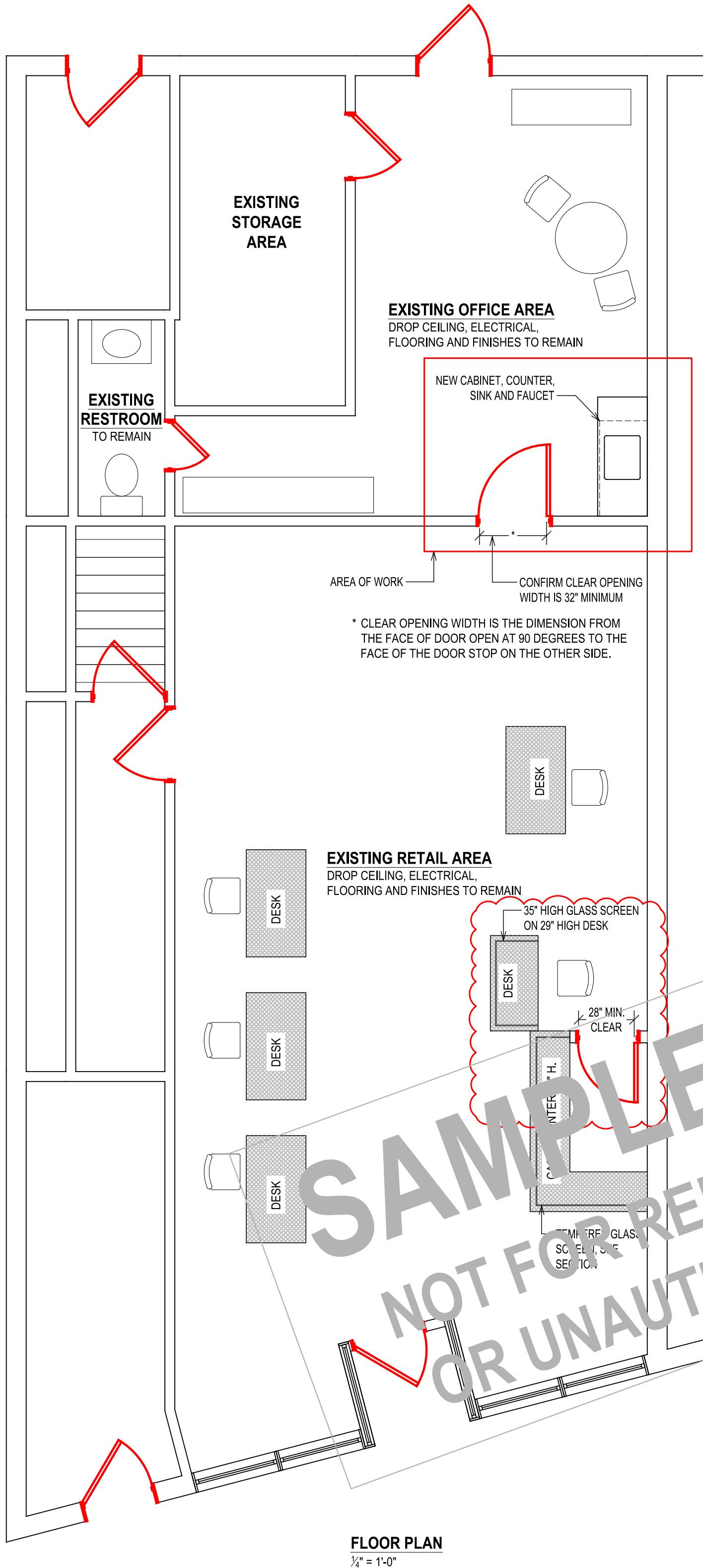
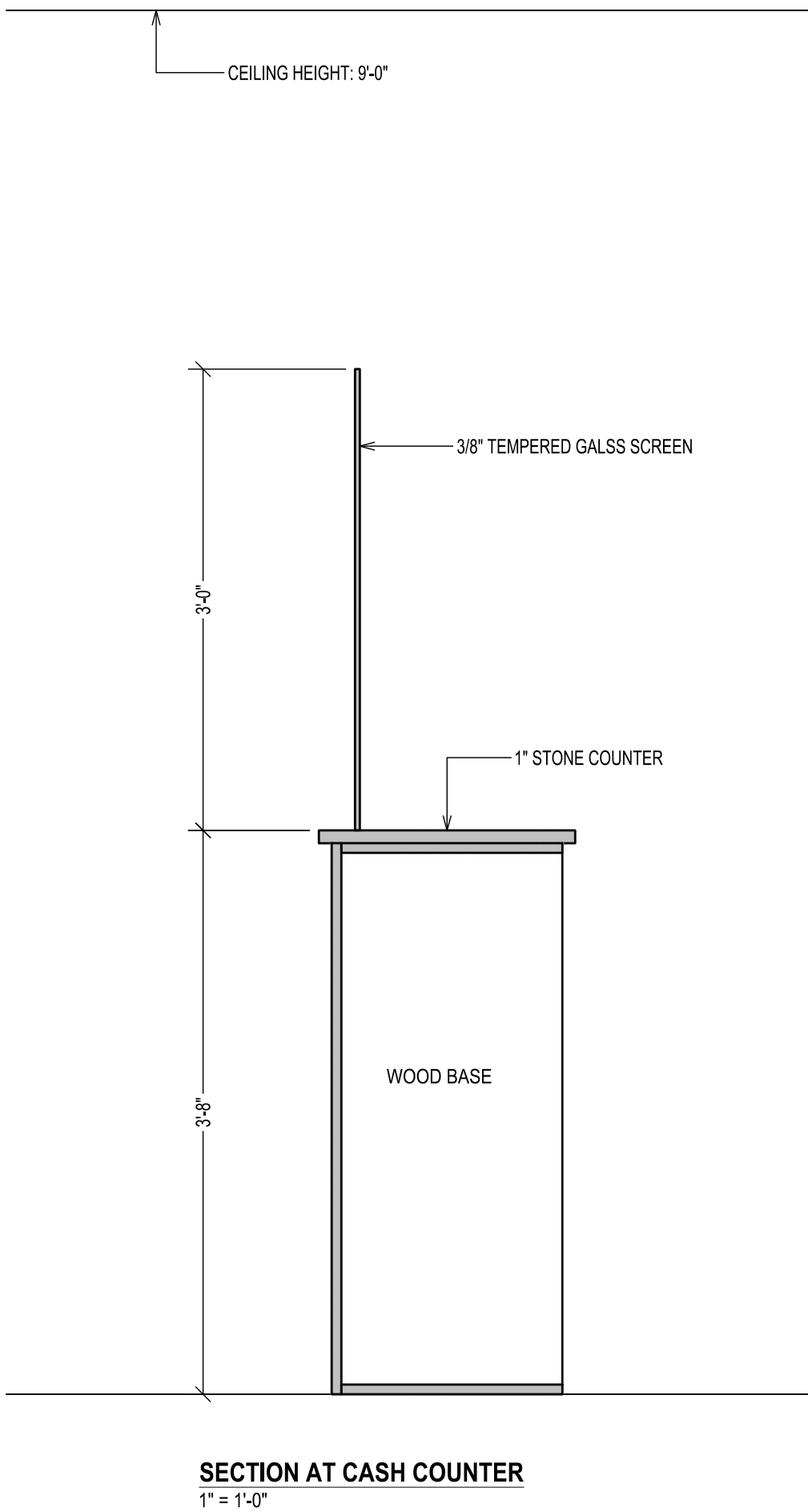
PROJECT NAME:
CHANGE OF USE

DRAWING NAME:
COVER SHEET

DRAWING NUMBER:
C.01

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| SCALE: | DATE: |
| AS NOTED | 09.29.2023 |

NOTE:
THIS DRAWING IS VALID FOR CONSTRUCTION IF (AND ONLY IF) A PERMIT IS ISSUED, BASED ON THIS DRAWING, BY THE VILLAGE OF PORT CHESTER.



PLUMBING

ALL PLUMBING WORK IS TO BE:

- PERFORMED BY A PLUMBER LICENSED TO WORK IN WESTCHESTER COUNTY AND IN THE VILLAGE OF PORT CHESTER.
- COMPLETED PER THE 2020 NEW YORK STATE PLUMBING CODE.
- FILED UNDER A SEPARATE PERMIT.
- INSPECTED PER THE REQUIREMENTS OF THE BUILDING DEPARTMENT, AND BUILDING OFFICIAL, OF THE VILLAGE OF PORT CHESTER.

ALL ABANDONED PIPING MUST BE REMOVED TO A POINT OF CONCEALMENT AND PROPERLY CAPPED.

ALL EXPOSED EXISTING AND NEW HOT AND COLD WATER AND HEATING PIPES MUST BE PROPERLY INSULATED.

ALL MATERIALS USED SHALL BE NEW, BEST OF THEIR RESPECTIVE BRANDS AND CONFORM TO THE REQUIREMENTS OF ALL STATE AND LOCAL AUTHORITIES HAVING JURISDICTION.

ADDITIONS, ALTERATIONS OR REPAIRS

ADDITIONS, ALTERATIONS, RENOVATIONS OR REPAIRS TO ANY PLUMBING SYSTEM SHALL CONFORM TO THAT REQUIRED FOR A NEW PLUMBING SYSTEM WITHOUT REQUIRING THE EXISTING PLUMBING SYSTEM TO COMPLY WITH THE REQUIREMENTS OF THIS CODE. ADDITIONS, ALTERATIONS OR REPAIRS SHALL NOT CAUSE AN EXISTING SYSTEM TO BECOME UNSAFE, INSANITARY OR OVERLOADED. MINOR ADDITIONS, ALTERATIONS, RENOVATIONS AND REPAIRS TO EXISTING PLUMBING SYSTEMS SHALL BE PERMITTED IN THE SAME MANNER AND ARRANGEMENT AS IN THE EXISTING SYSTEM, PROVIDED THAT SUCH REPAIRS OR REPLACEMENT ARE NOT HAZARDOUS AND ARE APPROVED.

INSPECTION REQUIRED:

NEW PLUMBING WORK AND PARTS OF EXISTING SYSTEMS AFFECTED BY NEW WORK OR ALTERATIONS SHALL BE INSPECTED BY THE BUILDING OFFICIAL TO ENSURE COMPLIANCE WITH THE REQUIREMENTS OF THE CODE.

A PLUMBING OR DRAINAGE SYSTEM, OR PART THEREOF, SHALL NOT BE COVERED, CONCEALED OR PUT INTO USE UNTIL IT HAS BEEN TESTED, INSPECTED AND APPROVED BY THE BUILDING OFFICIAL. WASTE AND VENT SYSTEMS TESTING

ROUGH-IN AND FINISHED PLUMBING INSTALLATIONS OF DRAIN, WASTE AND VENT SYSTEMS SHALL BE TESTED IN ACCORDANCE WITH SECTIONS P2503.5.1 AND P2503.5.2.P2503.5

DRILLING AND NOTCHING:

WOOD-FRAMED STRUCTURAL MEMBERS SHALL NOT BE DRILLED, NOTCHED OR ALTERED IN ANY MANNER EXCEPT AS PROVIDED IN SECTIONS R502.8, R602.6, R602.7 AND R602.7.1.

DWV TESTING:

DWV SYSTEMS SHALL BE TESTED ON COMPLETION OF THE ROUGH PIPING INSTALLATION BY WATER OR, FOR PIPING SYSTEMS OTHER THAN PLASTIC, BY AIR, WITHOUT EVIDENCE OF LEAKAGE. EITHER TEST SHALL BE APPLIED TO THE DRAINAGE SYSTEM IN ITS ENTIRETY OR IN SECTIONS AFTER ROUGH-IN PIPING HAS BEEN INSTALLED, AS FOLLOWS:

- WATER TEST:**
EACH SECTION SHALL BE FILLED WITH WATER TO A POINT NOT LESS THAN 5 FEET ABOVE THE HIGHEST FITTING CONNECTION IN THAT SECTION, OR TO THE HIGHEST POINT IN THE COMPLETED SYSTEM. WATER SHALL BE HELD IN THE SECTION UNDER TEST FOR A PERIOD OF 15 MINUTES. THE SYSTEM SHALL PROVE LEAK-FREE BY VISUAL INSPECTION.
- AIR TEST:**
THE SECTION UNDER TEST SHALL BE MAINTAINED AT A GAUGE PRESSURE OF 5 POUNDS PER SQUARE INCH (PSI) BY 10 INCHES OF MERCURY COLUMN. THIS PRESSURE SHALL BE HELD WITHOUT INTRODUCTION OF ADDITIONAL AIR FOR A PERIOD OF 15 MINUTES.

WATER-SUPPLY SYSTEM TESTING:

UPON COMPLETION OF THE WATER SUPPLY SYSTEM, A SECTION OF IT, THE SYSTEM OR PORTION COMPLETED SHALL BE TESTED AND PROVED TIGHT UNDER A WATER PRESSURE OF NOT LESS THAN THE WORKING PRESSURE OF THE SYSTEM OR, FOR PIPING SYSTEMS OTHER THAN PLASTIC, 80 PSI. AFTER TEST, IF NOT LESS THAN 50 PSI, THIS PRESSURE SHALL BE HELD FOR NOT LESS THAN 15 MINUTES. THE WATER USED FOR TESTING SHALL BE OBTAINED FROM A POTABLE WATER SUPPLY.

PROTECTION AGAINST PHYSICAL DAMAGE

IN CONCEALED LOCATIONS, WHERE PIPING, OTHER THAN CAST-IRON OR GALVANIZED STEEL IS INSTALLED THROUGH HOLES IN STUDS, JOISTS, RAFTERS OR SIMILAR MEMBERS, THE PIPE SHALL BE PROTECTED BY SHIELD PLATES. THE PIPE SHALL BE PROTECTED BY STEEL SHIELD PLATES. SUCH SHIELD PLATES SHALL HAVE A THICKNESS OF NOT LESS THAN 0.075 INCH (NO. 16 GAGE). SUCH PLATES SHALL COVER THE AREA OF THE PIPE WHERE THE MEMBER IS NOTCHED OR BORED AND SHALL EXTEND NOT LESS THAN 2 INCHES ABOVE SOLE PLATES AND BELOW TOP PLATES.

FIXTURE INSTALLATION:

FLOOR-OUTLET OR FLOOR-MOUNTED FIXTURES SHALL BE SECURED TO THE DRAINAGE CONNECTION AND TO THE FLOOR, WHERE SO DESIGNED, BY SCREWS, BOLTS, WASHERS, NUTS AND SIMILAR FASTENERS OF COPPER, COPPER ALLOY OR OTHER CORROSION RESISTANT MATERIAL.

WALL-HUNG FIXTURES SHALL BE RIGIDLY SUPPORTED SO THAT STRAIN IS NOT TRANSMITTED TO THE PLUMBING SYSTEM. WHERE FIXTURES COME IN CONTACT WITH WALLS AND FLOORS, THE CONTACT AREA SHALL BE WATERTIGHT.

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S-B-L:

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DATE:

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ISSUE:

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10.06.2023

FOR PERMIT

10.25.2023

PER BLD. DEPT.

10.31.2023

PER BLD. DEPT.

PROJECT NAME:

CHANGE OF USE

DRAWING NAME:

FLOOR PLAN

DRAWING NUMBER:

C.02

SCALE:

AS NOTED

DATE:

09.29.2023

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