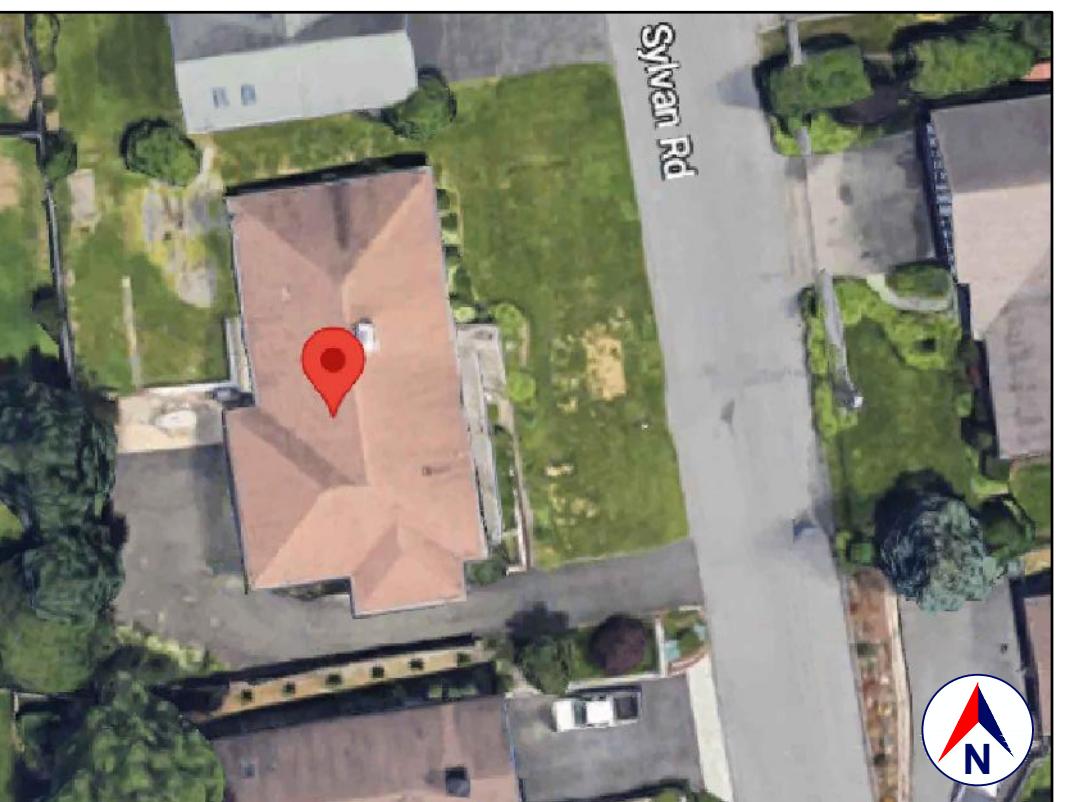
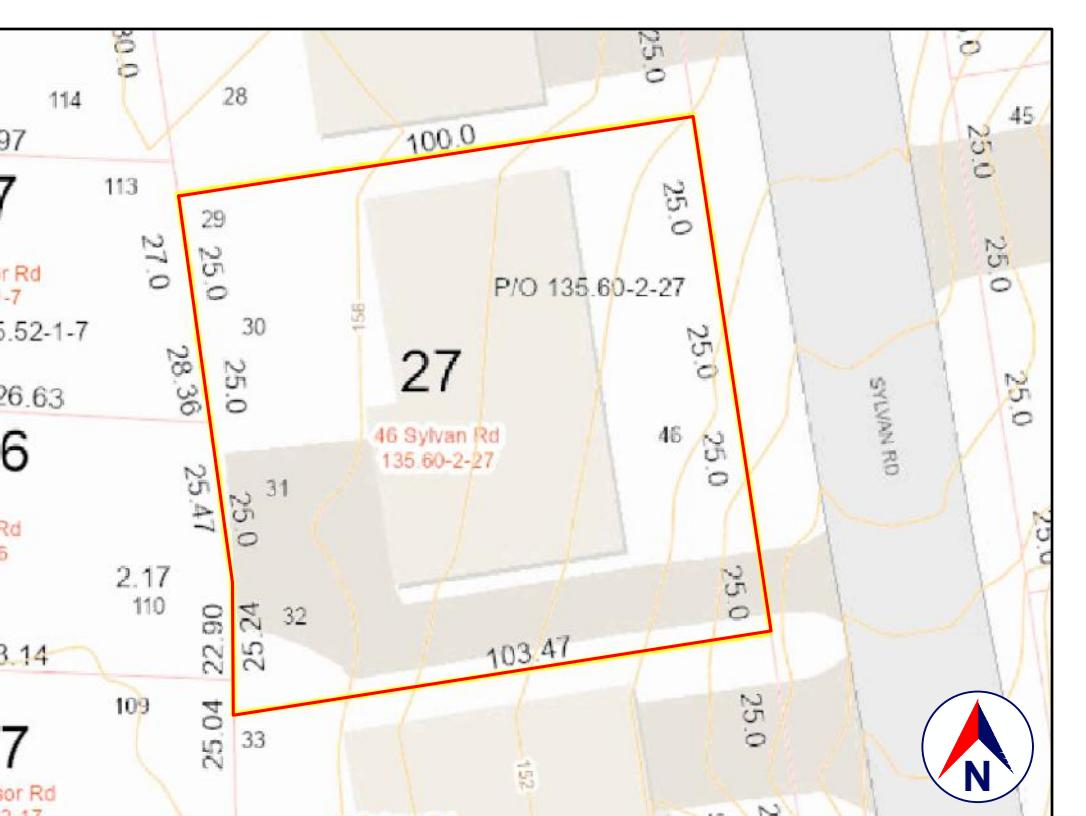


**LOCATION**  
GOOGLE MAPS



**SATELLITE VIEW**  
GOOGLE EARTH



**TAX MAP AND TOPO**  
WESTCHESTER COUNTY GIS



**FRONT VIEW**  
GOOGLE STREET VIEW

**1.0 GENERAL REQUIREMENTS:**

**1.1 DESIGN INTENT:**

IT IS THE INTENT OF THESE DRAWINGS TO CALL FOR COMPLETE AND FINISHED WORK, IN COMPLIANCE WITH THE NOTED CODES, AND TESTED AND GUARANTEED AND READY FOR OPERATION.

THE ENGINEER HAS NOT BEEN ENGAGED TO SUPERVISE ANY WORK AND DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

**1.2 SCOPE AND CLASSIFICATION:**

THE PROPOSED WORK IS OUTSIDE OF THE EXISTING BUILDING ENVELOPE; THE CODES REFERENCED BELOW APPLY TO ALL PROPOSED WORK.

**CONSTRUCTION TYPE:** TYPE V-B, AS DEFINED IN TABLE 601

**YEAR BUILT:** 1959 (PER ZILLOW)

**ZONING:** R7

**OCCUPANCY CLASSIFICATION:** ONE-FAMILY

**1.3 COMPLIANCE:**

ALL WORK SHALL BE IN COMPLIANCE WITH:

- 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS)
- EXISTING BUILDING CODE OF NEW YORK STATE (INTERNATIONAL EXISTING BUILDING CODE 2018 WITH AMENDMENTS)
- CHAPTER 151, BUILDING CODE ADMINISTRATION AND ENFORCEMENT OF THE CODE OF THE VILLAGE OF PORT CHESTER
- ALL OTHER REFERENCED CODES AND ALL OTHER CODES AND REGULATIONS, LOCAL, STATE AND FEDERAL, THAT APPLY.

**1.4 AUTHORITY HAVING JURISDICTION:**

THE AUTHORITY HAVING JURISDICTION, AS DEFINED IN [\*\*] 103.1 OF THE BUILDING CODE, AND WHICH SHALL PROVIDE FOR ADMINISTRATION AND ENFORCEMENT OF THE UNIFORM CODE AND ENERGY CODE BY LOCAL LAW, ORDINANCE, OTHER APPROPRIATE REGULATION, OR COMBINATION THEREOF, IS THE VILLAGE OF PORT CHESTER.

THE DULY APPOINTED BUILDING OFFICIAL OF THE VILLAGE OF PORT CHESTER IS AUTHORIZED TO ENFORCE THE PROVISIONS OF THE CODE.

THE BUILDING OFFICIAL MAY ADOPT POLICIES AND PROCEDURES IN ORDER TO CLARIFY THE APPLICATION OF THE PROVISIONS OF THE CODE. SUCH POLICIES AND PROCEDURES SHALL BE IN COMPLIANCE WITH THE INTENT AND PURPOSE OF THE CODE.

**2.0 LOADING:**

**2.1 DEAD LOAD:**

PER 301.4, THE ACTUAL WEIGHTS OF MATERIALS AND CONSTRUCTION SHALL BE USED FOR DETERMINING DEAD LOAD; THE FOLLOWING APPROXIMATIONS (IN PSF) ARE USED FOR THIS PROJECT:

USE	PSF
WALL ASSEMBLY	10
ROOF/CEILING ASSEMBLY:	20
FLOOR ASSEMBLY:	15
EXTERIOR DECK:	0

ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

**2.2 LIVE LOAD:**

UNIFORMLY DISTRIBUTED LIVE LOADS SHALL BE PER TABLE R301.5 AND AS FOLLOWS\* (IN PSF):

STRUCTURAL MEMBER	SF OTHER
UNINHABITABLE SPACE WITHOUT STORAGE:	10 (-42H, 24W)
UNINHABITABLE ATTICS WITH/STORAGE:	20
HABITABLE ATTICS & ATTICS W/FIXED STAIRS:	30
EXTERIOR BALCONIES & DECKS:	40
FIRE ESCAPES:	40
GUARDS & HANDRAILS:	200 (CONCENTRATED)
GUARD IN-FILL COMPONENTS:	50 (HORIZONTAL)
PASSENGER VEHICLE GARAGE:	50 (32,000LB/20S)
ROOMS OTHER THAN SLEEPING ROOMS:	40
SLEEPING ROOMS:	40
STAIRS:	40 (& 300LB/4S)
ROOF, PER 301.6 (INC. SNOW):	30

\*SOME OF THE LOADS LISTED ABOVE MAY BE HIGHER THAN THOSE REQUIRED PER CODE.

ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

**2.3 WIND LOAD:**

WIND LOADS SHALL BE BASED ON THE ULTIMATE DESIGN WIND SPEED LISTED IN TABLE 301.2(1) AND ADJUSTED FOR HEIGHT AND EXPOSURE:

120 MPH. WIND LOADS WILL BE ALLOWED FOR IN THE DESIGN LOAD REQUIREMENTS FOR WALL COVERINGS, ROOF COVERINGS, WINDOWS, SKYLIGHTS AND DOORS.

COMPONENT AND CLADDING LOADS WILL BE PER TABLE R301.2(2)

**2.4 ALLOWABLE LIVE LOAD DEFLECTION:**

THE ALLOWABLE LIVE LOAD DEFLECTION OF ALL STRUCTURAL MEMBERS, SHALL BE PER TABLE R301.7 AS FOLLOWS:

STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
RAFTERS HAVING SLOPES GREATER THAN 3:12 WHIT FINISHED CEILING NOT ATTACHED TO RAFTERS	L/180
INTERIOR WALLS AND PARTITIONS	H/180
FLOORS	L/360
CEILING WITH BRITTLE FINISHES (INCLUDING PLASTER AND STUCCO)	L/240
CEILING WITH FLEXIBLE FINISHES (INCLUDING GYPSUM BOARD)	L/240
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS-WIND LOAD WITH PLASTER OR STUCCO FINISHES	H/240
EXTERIOR WALLS-WIND LOAD WITH OTHER BRITTLE FINISHES	H/120
LINTELS SUPPORTING MASONRY VENEER WALLS	L/600

AFTER INSPECTION, THE WORK OR A PORTION THEREOF SHALL BE NOTED AS SATISFACTORY AS COMPLETED, OR THE BUILDING PERMIT HOLDER SHALL BE NOTIFIED AS TO THE MANNER IN WHICH THE WORK FAILS TO COMPLY WITH APPLICABLE CODES, INCLUDING A CITATION OF THE SPECIFIC CODE PROVISION OR PROVISIONS THAT HAVE NOT BEEN MET.

IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO ASCERTAIN THE RESULTS OF REQUIRED INSPECTIONS.

CONSTRUCTION WORK NOT IN COMPLIANCE WITH APPLICABLE CODES SHALL BE REQUIRED TO REMAIN EXPOSED UNTIL IT HAS BEEN BROUGHT INTO COMPLIANCE WITH THE CODES, RE-INSPECTED, AND FOUND SATISFACTORY AS COMPLETED.

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA									
LOCATION: VILLAGE OF PORT CHESTER ZIP CODE: ***									
PER 2020 RESIDENTIAL CODE OF NEW YORK STATE, TABLE 301.2(1)		WIND LOAD, WIND SPEED, TOPOGRAPHY		WIND EXPOSURE CATEGORY, B		SUBJECT TO HURRICANE		CLIMATE ZONE, 4A	
ORIGIN	WIND SPEED	SPECIAL WIND REGION	DESIGN WIND SPEED	EXPOSURE	CATEGORY	WIND SPEED	TEMP	WINTER	REDFREZ
10 MPH	115-140	NO	NO	NO	SEVERE	3/4" WOOD/REVERSE	15	YES	MINIMAL

**3.0 CONTRACTOR'S RESPONSIBILITIES:**

**THE CONTRACTOR SHALL:**

- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR A COMPLETE AND FINISHED JOB.
- PROVIDE ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.
- OBTAIN AND PAY FOR ALL REQUIRED PERMITS - UNLESS OTHERWISE STIPULATED.
- PRIOR TO THE SUBMISSION OF ANY BID AND BEFORE PROCEEDING WITH ANY WORK, VISIT THE SITE AND VERIFY AND FAMILIARIZE HIMSELF WITH ALL SITE DIMENSIONS AND CONDITIONS, WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION, METHODS AND ROUTES OF ACCESS, AND THE EXISTENCE AND EXTENT OF ANY OTHER RESTRICTIONS, AND BE RESPONSIBLE FOR THE VERIFICATION OF ALL SUCH CONDITIONS AND DIMENSIONS WHICH PERTAIN TO THE PROJECT.
- BRING ALL DISCREPANCIES IN CONDITIONS AND DIMENSIONS, BETWEEN THE APPROVED DRAWINGS AND ACTUAL FIELD CONDITIONS, TO THE IMMEDIATE ATTENTION OF THE OWNER, AND RECEIVE DIRECTION IN WRITING, BEFORE PROCEEDING WITH THE AFFECTED WORK.
- VERIFY THE AVAILABILITY, LOCATION, LAYOUT AND CONDITION OF UTILITIES, INCLUDING SEWER, WATER, GAS AND ELECTRIC LINES, PRIOR TO THE SUBMISSION OF ANY BID.
- HAVE CONTROL OVER AND SUPERVISE AND DIRECT THE WORK, INCLUDING THAT OF ITS SUBCONTRACTORS, AND BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR JOBSITE SAFETY, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.

**EXCAVATION - LOCATING UTILITIES - CALL 811:**

NEW YORK STATE LAW (16 NYCCR PART 753) REQUIRES ALL EXCAVATORS TO PLACE A LOCATION REQUEST WITH DIG SAFELY NEW YORK AT LEAST TWO (2) FULL WORKING DAYS, BUT NO MORE THAN 10 WORKING DAYS BEFORE BEGINNING AN EXCAVATION PROJECT IN ORDER TO ENSURE ALL UNDERGROUND UTILITY LINES ARE PROPERLY MARKED BY THEIR OWNERS.

A LOCATION REQUEST MAY BE PLACED, AND THE PROCESS OF MARKING UNDERGROUND UTILITIES MAY BE TRACKED, BY USING THE ONLINE LOCATION REQUEST PROGRAM, EXACTIX, OR THE EXCAVATOR MAY CALL 811 TO PLACE THE LOCATION REQUEST.

- NOTIFY: NOTIFY 811 ONLINE WITH EXACTIX OR BY CALLING 811.
- WAIT: AT LEAST TWO DAYS FOR UTILITIES TO RESPOND (NOT INC. THE DAY YOU CALL).
- CONFIRM: CHECK ALL UTILITIES HAVE RESPONDED.
- RESPECT: ADHERE TO UTILITY MARKS AND FLAGS.

DIG WITH CAUTION: DIG CAREFULLY AROUND BURIED UTILITIES.

**SITE WORK**

**EXCAVATION SAFETY:**

THE CONTRACTOR SHALL COMPLY WITH THE TRENCHING AND EXCAVATION REQUIREMENTS OF 29 CFR 1926.651 AND 1926.652 OR COMPARABLE OSHA-APPROVED STATE PLAN REQUIREMENTS. TRENCHES 5 FEET DEEP OR GREATER REQUIRE A PROTECTIVE SYSTEM UNLESS THE EXCAVATION IS MADE ENTIRELY IN STABLE ROCK.

THE CONTRACTOR SHALL HAVE A COMPETENT PERSON INSPECT EXCAVATIONS DAILY AND AS CONDITIONS CHANGE TO ENSURE ELIMINATION OF EXCAVATION HAZARDS.

A COMPETENT PERSON IS AN INDIVIDUAL WHO IS CAPABLE OF IDENTIFYING EXISTING AND PREDICTABLE HAZARDS OR WORKING CONDITIONS THAT ARE DANGEROUS, UNSANITARY, OR DANGEROUS TO WORKERS, SOIL TYPES AND PROTECTIVE SYSTEMS REQUIRED, AND WHO IS AUTHORIZED TO TAKE PROMPT CORRECTIVE MEASURES TO ELIMINATE THESE HAZARDS AND CONDITIONS.

**EXCAVATION - LOCATING UTILITIES - CALL 811:**

NEW YORK STATE LAW (16 NYCCR PART 753) REQUIRES ALL EXCAVATORS TO PLACE A LOCATION REQUEST WITH DIG SAFELY NEW YORK AT LEAST TWO (2) FULL WORKING DAYS, BUT NO MORE THAN 10 WORKING DAYS BEFORE BEGINNING AN EXCAVATION PROJECT IN ORDER TO ENSURE ALL UNDERGROUND UTILITY LINES ARE PROPERLY MARKED BY THEIR OWNERS.

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- RESPECT: ADHERE TO UTILITY MARKS AND FLAGS.

DIG WITH CAUTION: DIG CAREFULLY AROUND BURIED UTILITIES.

**WOOD FRAMING:**

**FLOOR FRAMING:** STRUCTURAL FLOOR MEMBERS SHALL CONFORM TO THE APPLICABLE PROVISIONS OF SECTION R502.

ALL FLOOR FRAMING, INCLUDING JOISTS, LEDGERS, HEADERS AND BLOCKING, IS TO BE 2X DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2, FB-850 PSI, 1.4E OR BETTER.

FLOOR FRAMING IS TO BE AT 16" (MAXIMUM) ON CENTER, OR AS OTHERWISE NOTED IN THE DRAWINGS.

AVOID NOTCHING (SEE CUTTING AND NOTCHING BELOW), PROVIDE SISTER MEMBERS AS REQUIRED.

FLOOR SHEATHING SHALL BE AVANTECH T&G SUBFLOOR FASTENED WITH 8D COMMON NAILS @ 6" O.C. AND AVANTECH SUBFLOOR ADHESIVE PER MANUFACTURERS INSTRUCTIONS AND SHALL CONFORM OF SECTION 502 OF THE RESIDENTIAL CODE.

**WALL FRAMING:** LOAD BEARING WALLS SHALL CONFORM TO THE APPLICABLE PROVISIONS OF SECTION R602.

ALL LOAD BEARING WOOD FRAMED PARTITIONS INCLUDING STUDS, TOP AND BOTTOM PLATE AND BLOCKING, IS TO BE 2X DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2, FB-850 PSI, 1.4E OR BETTER.

WALL FRAMING IS TO BE AT 16" (MAXIMUM) ON CENTER, OR AS OTHERWISE NOTED IN THE DRAWINGS.

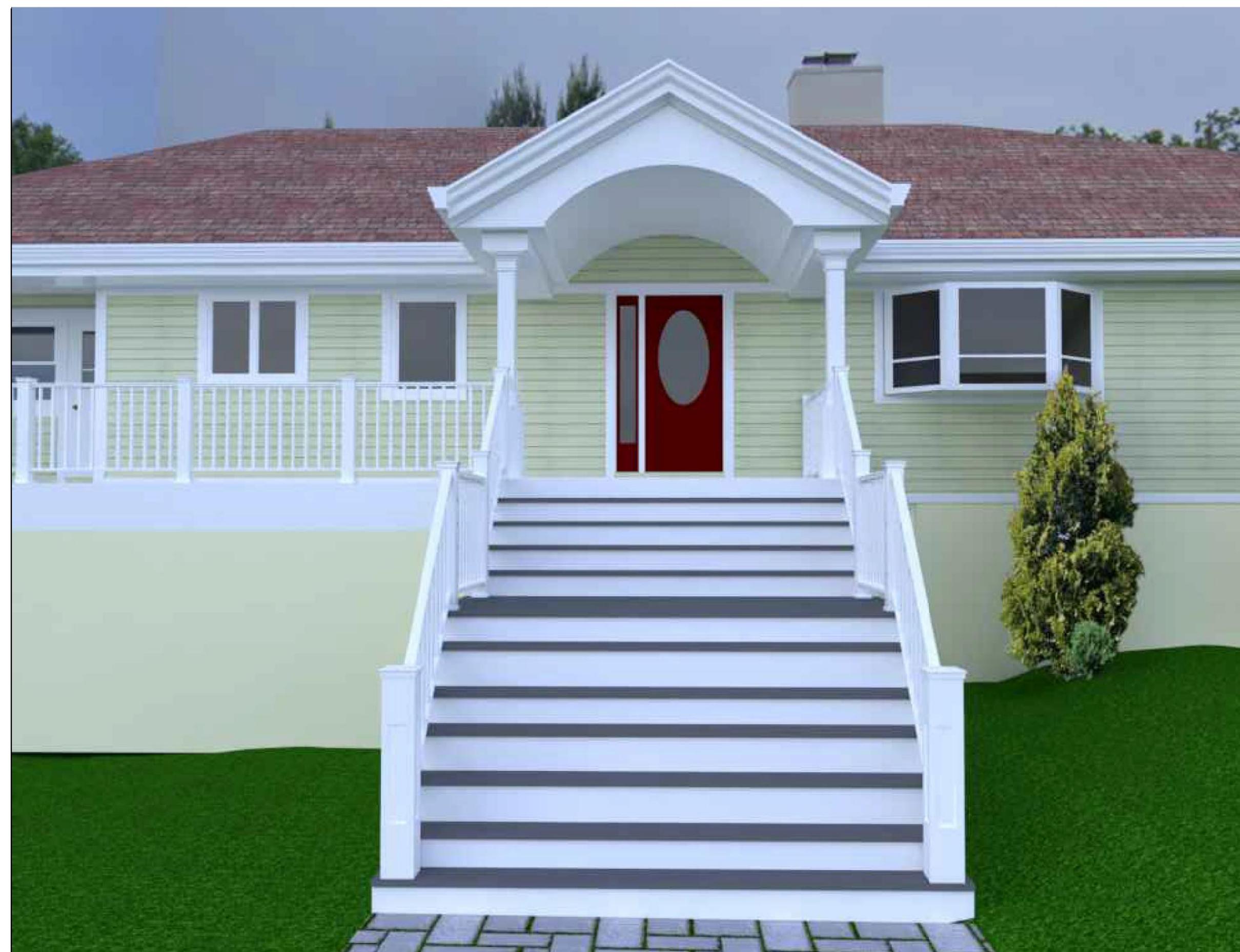
AVOID NOTCHING (SEE CUTTING AND NOTCHING BELOW), PROVIDE SISTER STUDS AS REQUIRED.



**EXISTING**  
RIGHT



**PROPOSED**  
LEFT



**PROPOSED**  
CENTER



**PROPOSED**  
RIGHT

THIS DRAWING IS AS A SAMPLE ONLY  
\*\* PERSONAL (CLIENT) INFORMATION WITHHELD

**Oliver Engineering, P.C.**  
Design - Permit Applications - Legalizations  
Code Compliance - Project Supervision  
163 North Main Street, #207 Port Chester, NY 10573  
(914) 774-9878 www.proeng.nyc vc@proeng.nyc



PROPERTY ADDRESS:  
\*\*\*  
\*\*\* \*\*\*  
(VILLAGE OF PORT CHESTER)

S-B-L:  
135.60-2-27

CLIENT:  
\*\*\*  
TEL: \*\*\*  
EMAIL:\*\*\*

DATE: 03.22.2023 ISSUE:  
03.12.2024 FOR REVIEW  
05.24.2024 FOR REVIEW  
07.09.2024 FOR PERMIT

PROJECT NAME:  
RECONSTRUCTION FRONT  
PORCH

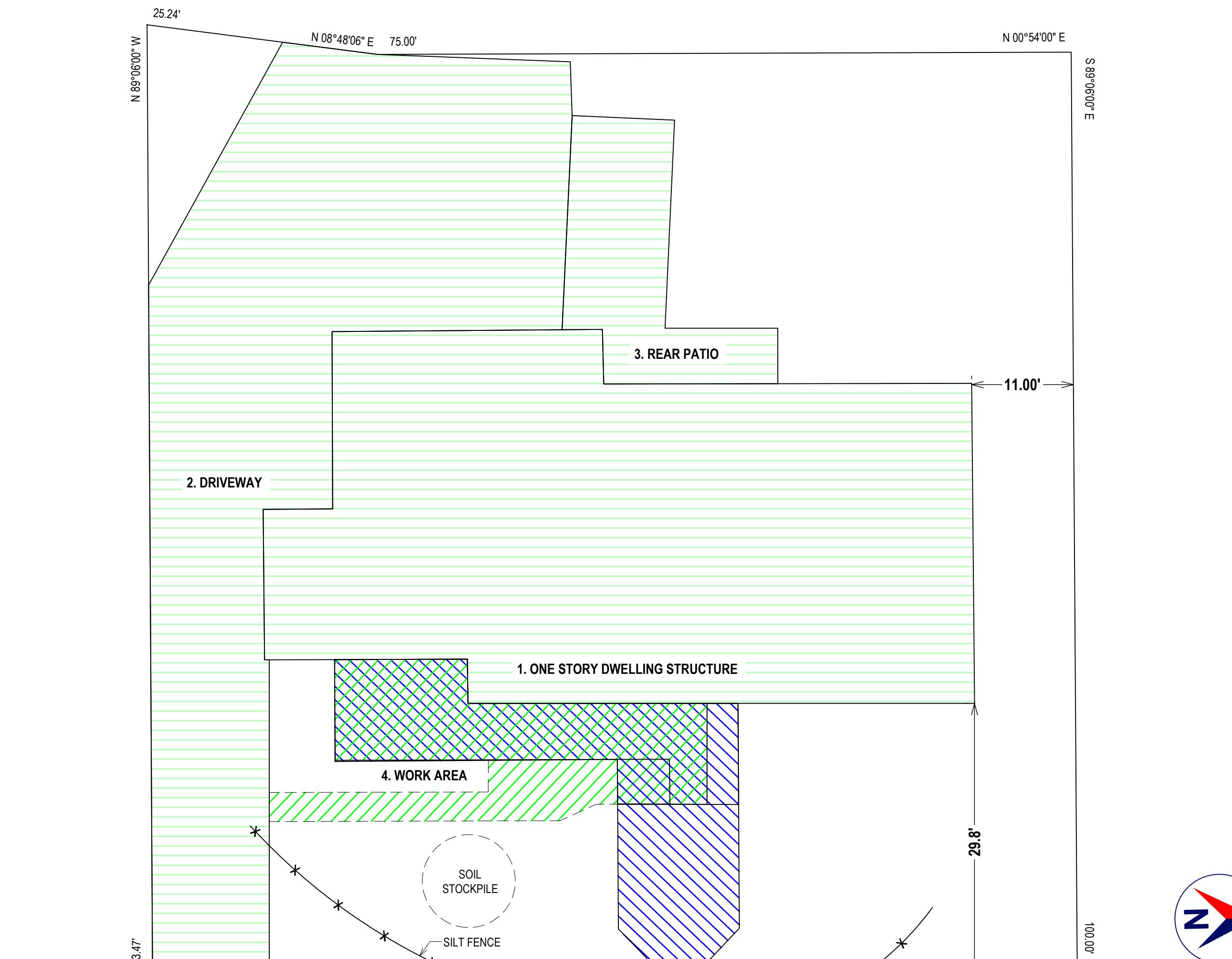
DRAWING NAME:  
PROPOSED PORCH

DRAWING NUMBER:  
C-02

DATE:  
03.22.2023

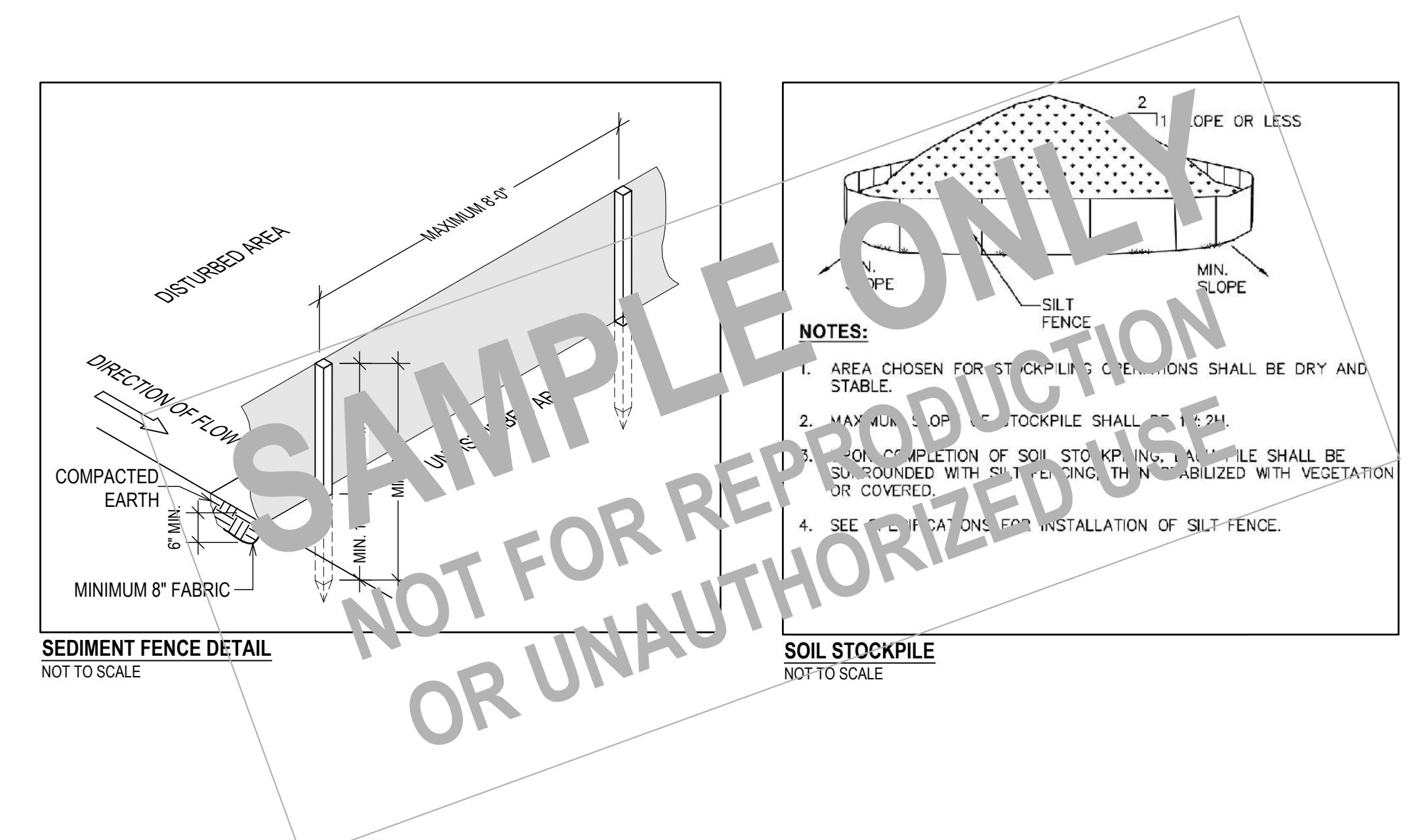
SCALE:  
AS NOTED

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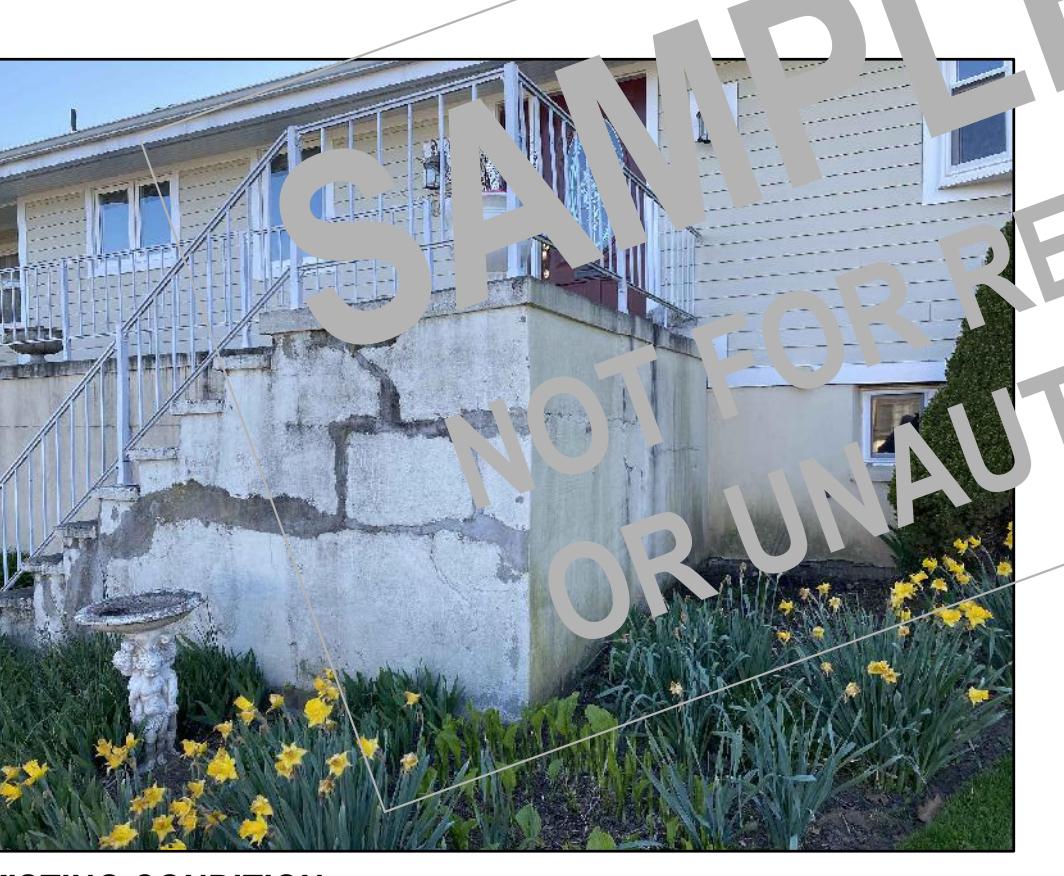
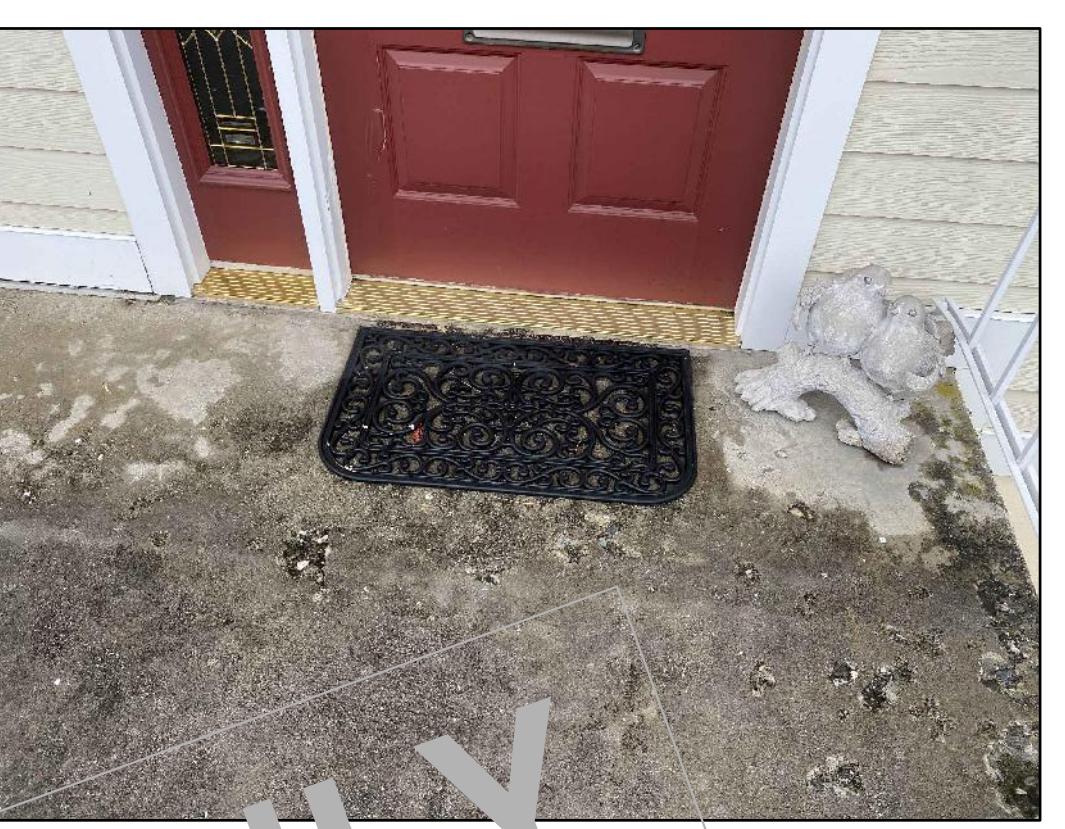
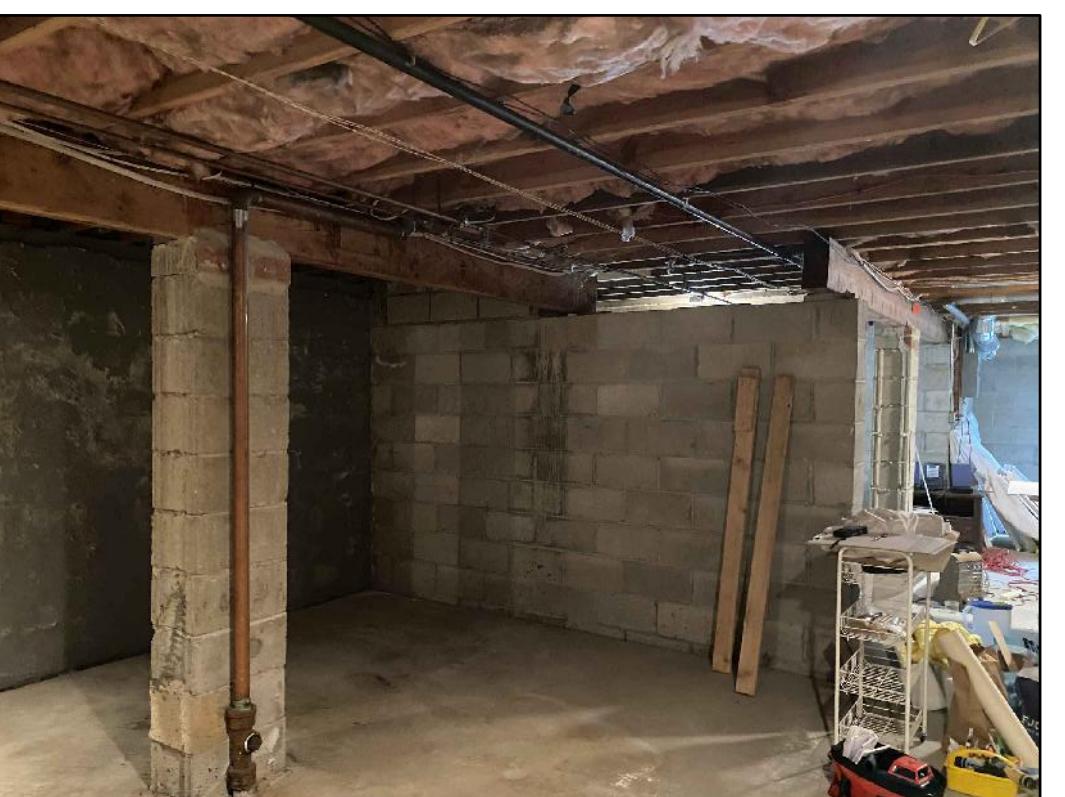
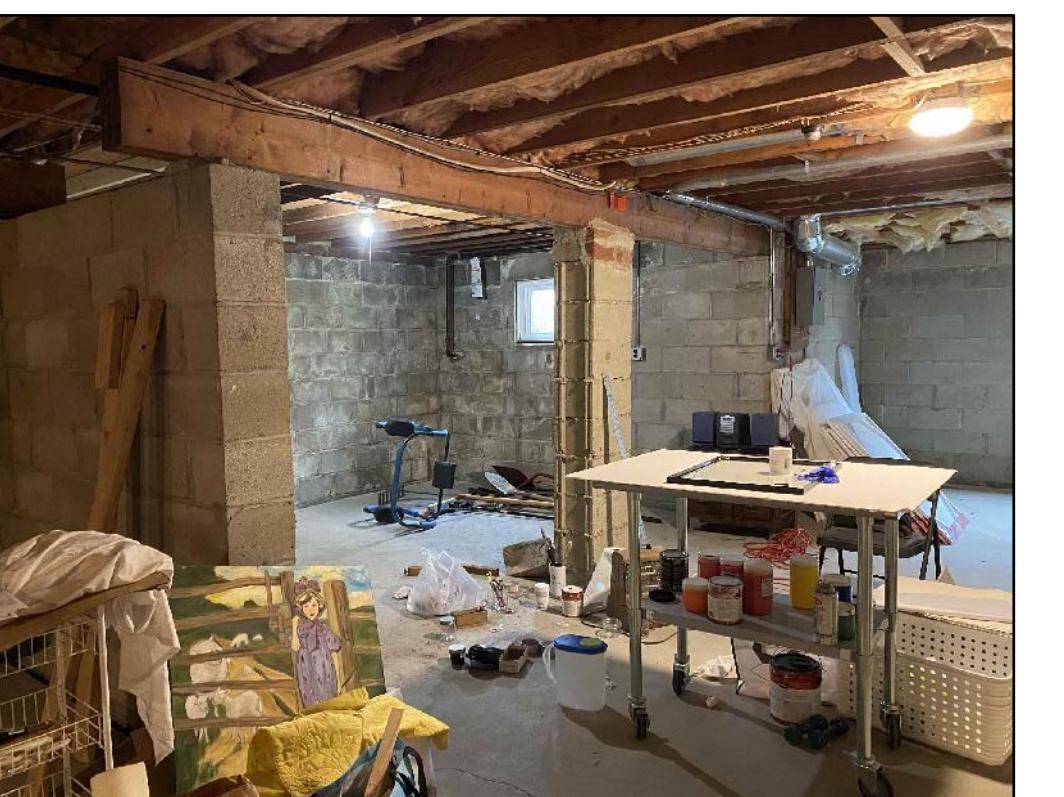
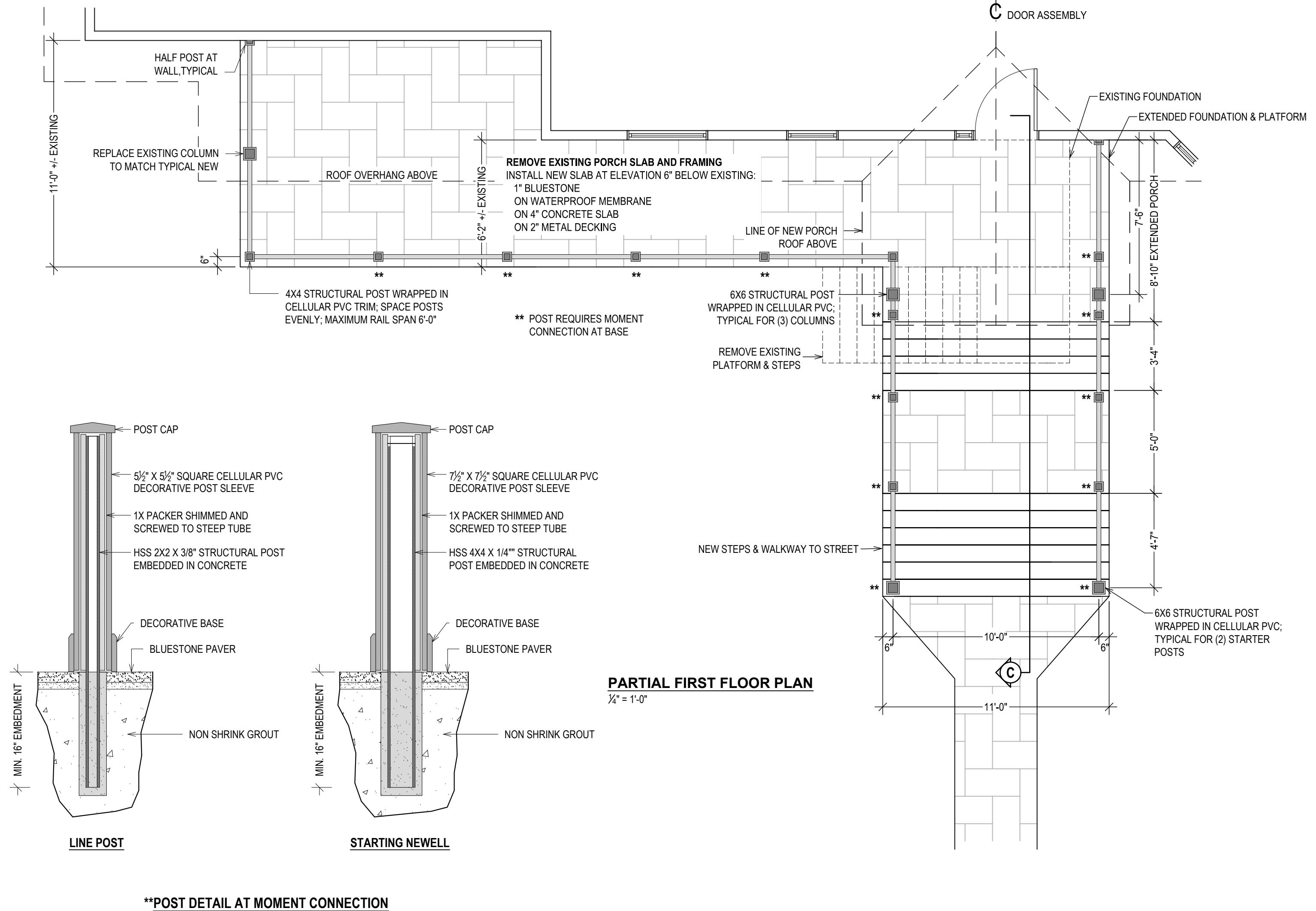


ZONING COMPLIANCE			
ADDRESS:	ZONE R7	MUNICIPALITY: VILLAGE OF PORT CHESTER	TAX ID: 135.60-2-27
	REQUIRED	EXISTING	PROPOSED
LOT INFORMATION			
LOT AREA (SF)	7,500	10,057	NO CHANGE
LOT FRONTAGE (FT)	70	100	NO CHANGE
YARD SETBACKS (FT):			
FRONT YARD	30	29.8	NO CHANGE
REAR YARD	30	NO CHANGE	NO CHANGE
FIRST SIDE YARD	10	11	NO CHANGE
SECOND SIDE YARD	10	NO CHANGE	NO CHANGE
SIDE YARD ADJOINING STREET	NOT APPLICABLE		
PRINCIPAL BUILDING INFORMATION			
GROSS FLOOR AREA (SF)			NO CHANGE
BUILDING HEIGHT			NO CHANGE
STORIES			NO CHANGE
HEIGHT TO PRINCIPAL EAVE (FT)			NO CHANGE
HEIGHT TO HIGHEST ROOF RIDGE (FT)			NO CHANGE
BUILDING COVERAGE			NO CHANGE
PRINCIPAL BUILDING COVERAGE (SF)			NO CHANGE
PRINCIPAL BUILDING COVERAGE (%)			NO CHANGE
ACCESSORY BUILDING COVERAGE (SF)			NO CHANGE
ACCESSORY BUILDING COVERAGE (%)			NO CHANGE
ACCESSORY STRUCTURES			
Detached Garage	NOT APPLICABLE		
SETBACKS	"		
TO PRINCIPAL BUILDING (FT)	"		
TO SIDE LOT LINE (FT)	"		
TO REAR LOT LINE (FT)	"		
BUILDING HEIGHT			
HEIGHT TO PRINCIPAL EAVE (FT)	"		
HEIGHT TO HIGHEST ROOF RIDGE (FT)	"		
IMPERVIOUS SURFACE COVERAGE			
IMPERVIOUS SURFACE COVERAGE (SF)	NOT REGULATED	5,705	5,857
IMPERVIOUS SURFACE COVERAGE (BOTH %)	NOT REGULATED	NORREGULATED	NOT REGULATED

<b>FRONT YARD SETBACK REQUIREMENTS:</b> PER CD-3.R7 TABLE 345.405.A-3 DISTRICT STANDARDS: ONE FAMILY RESIDENCE CHARACTER DISTRICT:
<b>ENCROACHMENTS:</b> STEPS TO BUILDING ENTRANCE: NO REGULATION IN FRONT YARD REQUIRED SETBACK OPEN PORCHES, INCLUDING STEPS: NO REGULATION IN FRONT YARD REQUIRED SETBACK



<b>PROPERTY ADDRESS:</b> *** *** *** (VILLAGE OF PORT CHESTER)
<b>S-P-L:</b> 135.60-2-27
<b>CLIENT:</b> *** <b>TEL:</b> *** <b>EMAIL:</b> ***
<b>DATE:</b> 03.22.2023 03.12.2024 05.24.2024 07.09.2024 <b>ISSUE:</b> FOR REVIEW FOR REVIEW FOR PERMIT
<b>PROJECT NAME:</b> RECONSTRUCTION FRONT PORCH
<b>DRAWING NAME:</b> SITE PLAN
<b>DRAWING NUMBER:</b> S-01
<b>DATE:</b> 03.22.2023 <b>SCALE:</b> AS NOTED
<b>NOTE:</b> THIS DRAWING IS VALID FOR CONSTRUCTION IF (AND ONLY IF) A PERMIT IS ISSUED, BASED ON THIS DRAWING, BY THE VILLAGE OF PORT CHESTER.



PROPERTY ADDRESS:  
 \*\*\*  
 \*\*\* \*\*\*  
 (VILLAGE OF PORT CHESTER)

S-B-L:  
 135.60-2-27

CLIENT:  
 \*\*\*  
 TEL: \*\*\*  
 EMAIL:\*\*\*

DATE: 03.22.2023  
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 ISSUE: FOR REVIEW  
 FOR REVIEW  
 FOR PERMIT

PROJECT NAME:  
 RECONSTRUCTION FRONT  
 PORCH

DRAWING NAME:  
 PLANS

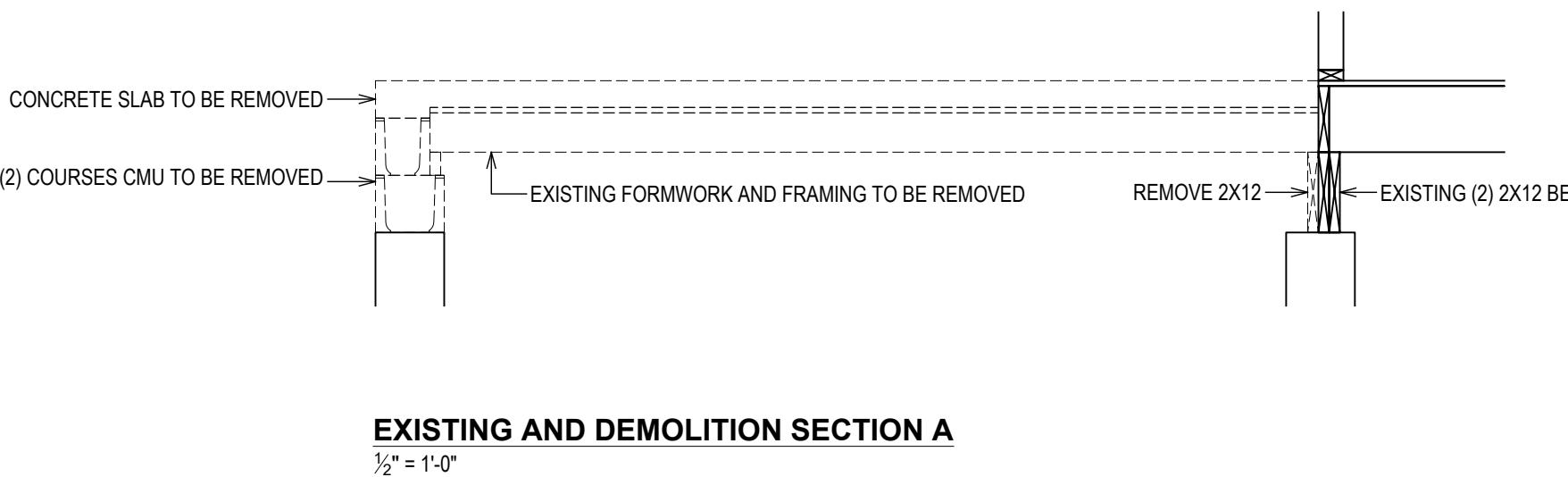
DRAWING NUMBER:  
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DATE:  
 03.22.2023

SCALE:  
 AS NOTED

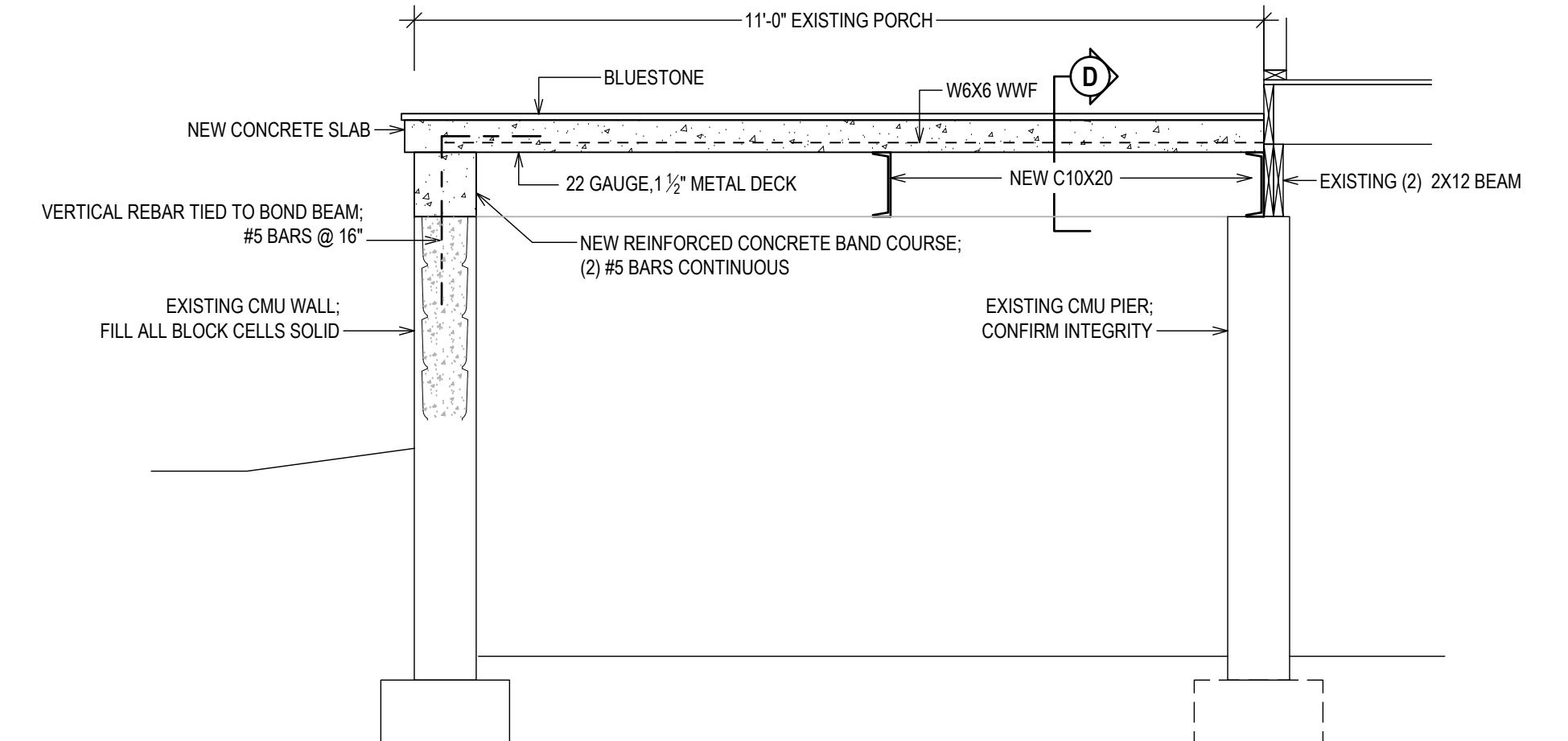
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EXISTING AND DEMOLITION SECTION A

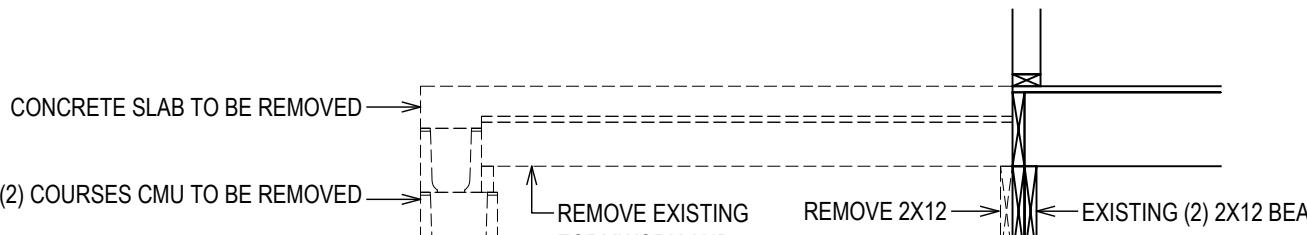
$\frac{1}{2}'' = 1'-0''$



PROPOSED SECTION A

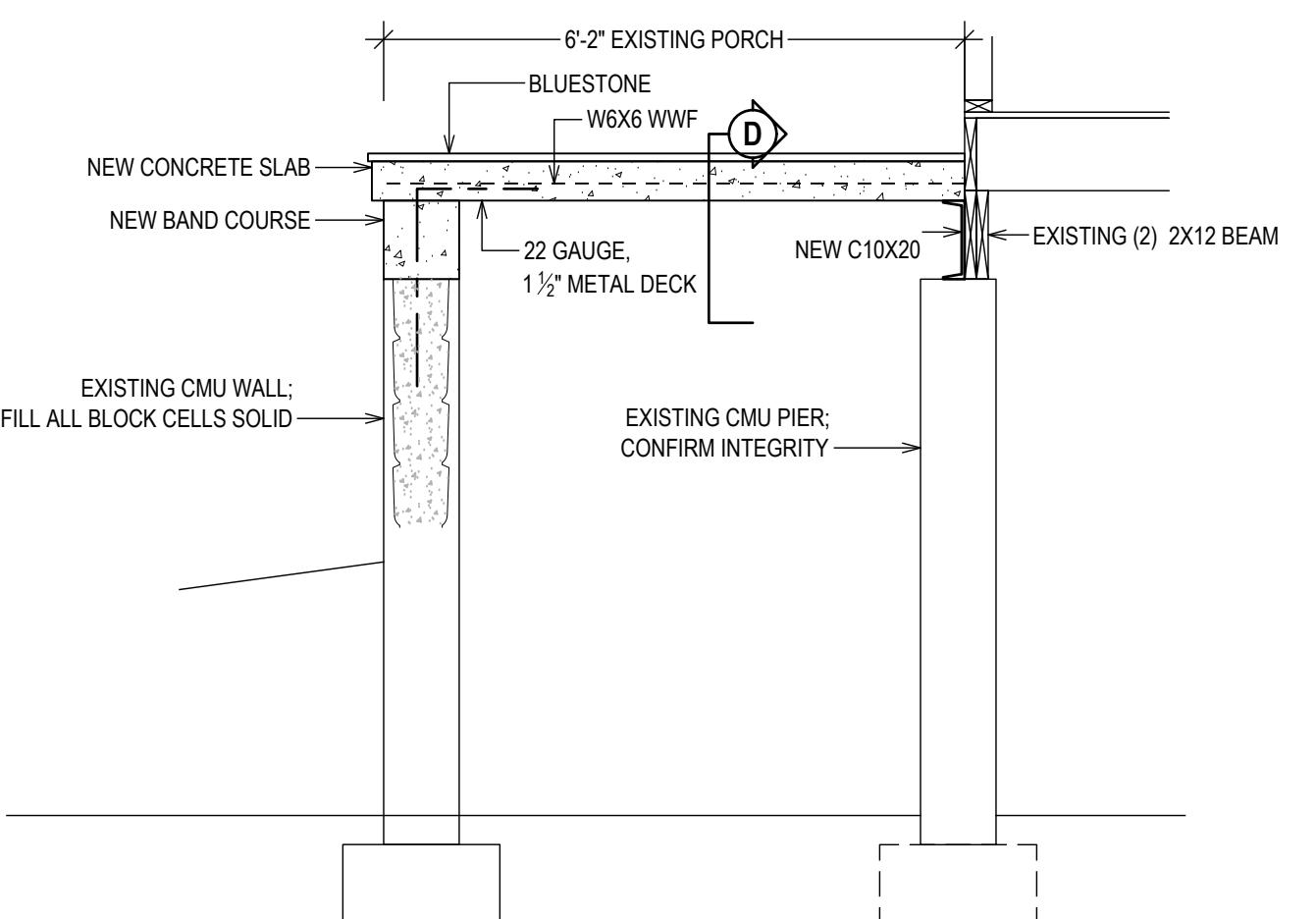
SECTION D

$\frac{1}{2}'' = 1'-0''$



EXISTING AND DEMOLITION SECTION B

$\frac{1}{2}'' = 1'-0''$



PROPOSED SECTION B

**\*GUARD RAILS:**  
ALL GUARD RAILS SHALL COMPLY WITH SECTION R312 OF THE CODE AND BE AS FOLLOWS:

**HEIGHT:**

GUARDS AT OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, PORCHES, BALCONIES OR LANDINGS, SHALL BE NOT LESS THAN 36" IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE OR THE LINE CONNECTING THE NOSINGS.

**HEIGHT EXCEPTIONS:**

GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT OF NOT LESS THAN 34" MEASURED VERTICALLY FROM A LINE CONNECTING THE NOSINGS, WHERE THE TOP OF THE GUARD SERVES AS A HANDRAIL ON THE OPEN SIDES OF STAIRS, THE TOP OF THE GUARD SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38 INCHES AS MEASURED VERTICALLY FROM A LINE CONNECTING THE NOSINGS.

**OPENINGS:**

GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER.

**EXCEPTIONS:**

THE TRIANGULAR OPENINGS AT THE OPEN SIDE OF STAIR, FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD, SHALL NOT ALLOW PASSAGE OF A SPHERE 6" IN DIAMETER. GUARDS ON THE OPEN SIDE OF STAIRS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4 1/2" IN DIAMETER.

**\*HAND RAILS:**

HANDRAILS SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH FLIGHT OF STAIRS WITH FOUR OR MORE RISERS, SHALL COMPLY WITH SECTION R311 OF THE CODE, AND BE AS FOLLOWS:

**HEIGHT:**

HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38".

**GRIP SIZE:**

REQUIRED HANDRAILS SHALL BE OF ONE OF THE FOLLOWING TYPES (I OR II) OR PROVIDE EQUIVALENT GRASPABILITY.

**TYPE I:**

HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF NOT LESS THAN 1 1/2" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER OF NOT LESS THAN 4" AND NOT GREATER THAN 6" AND A CROSS SECTION OF NOT MORE THAN 2 1/2". EDGES SHALL HAVE A RADIUS OF NOT LESS THAN 0.01".

**TYPE II:**

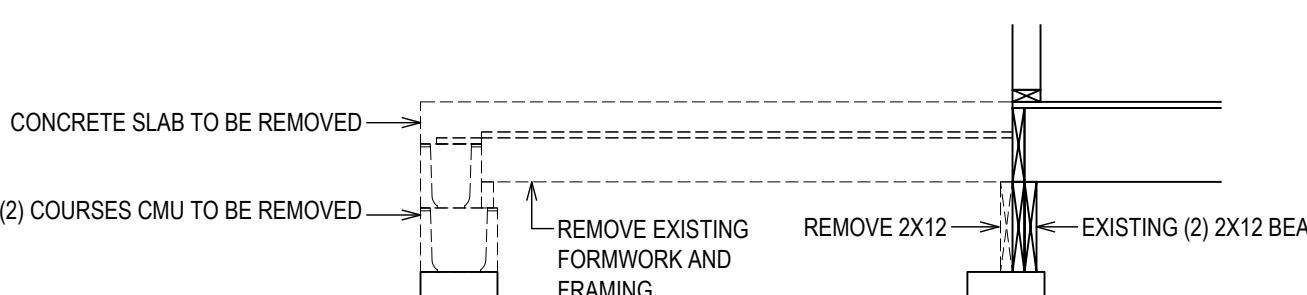
HANDRAILS WITH A PERIMETER GREATER THAN 6 1/2" SHALL HAVE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN 3/4" MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND HAVE A DEPTH OF NOT LESS THAN 3/4" WITHIN 1/2" BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR NOT LESS THAN 1/2" TO A LEVEL THAT IS NOT LESS THAN 1/2" BELOW THE TALLEST PORTION OF THE PROFILE. THE WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE NOT LESS THAN 1/2" AND NOT MORE THAN 2 1/2". EDGES SHALL HAVE A RADIUS OF NOT LESS THAN 0.01".

**CONTINUITY:**

HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.

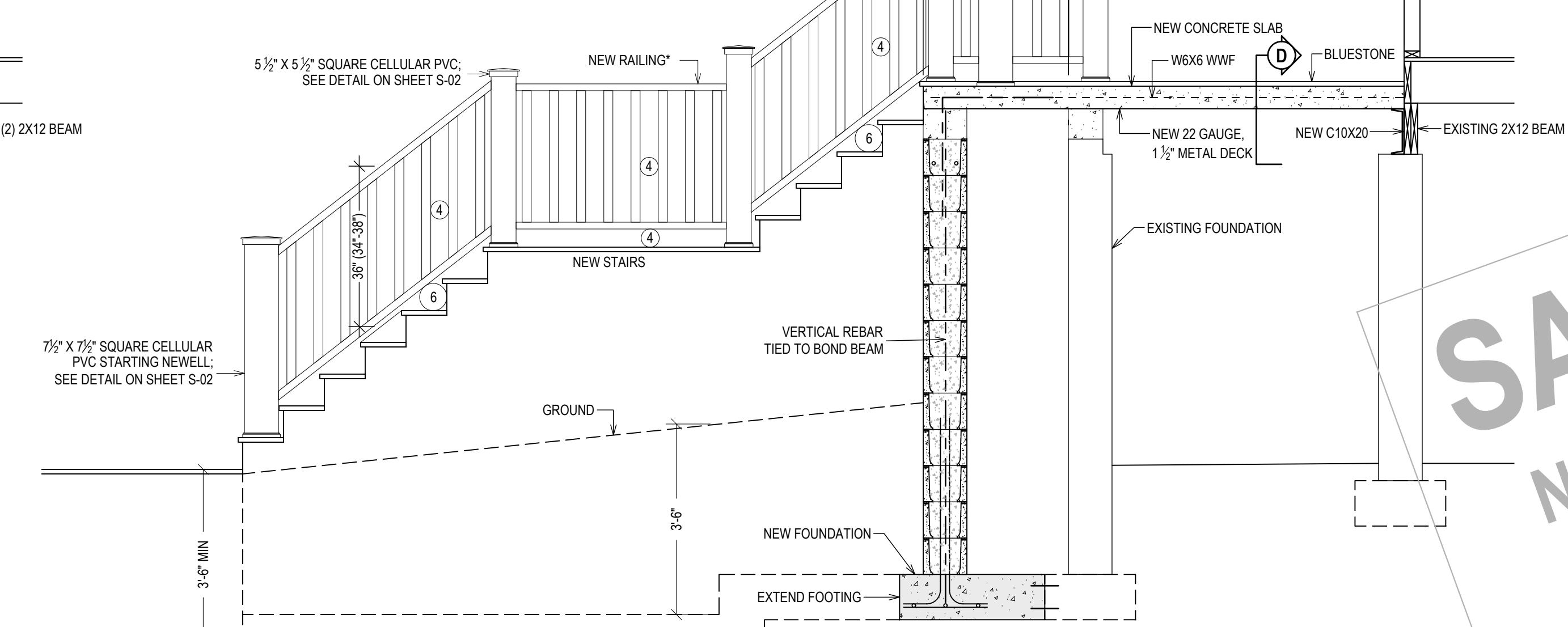
**EXCEPTIONS:**

HANDRAIL CONTINUITY SHALL BE PERMITTED TO BE INTERRUPTED BY A NEWEL POST AT A TURN IN A FLIGHT WITH WINDERS, AT A LANDING, OR OVER THE LOWEST TREAD.



EXISTING AND DEMOLITION SECTION C

$\frac{1}{2}'' = 1'-0''$



PROPOSED SECTION C

**SAMPLE ONLY**  
NOT FOR REPRODUCTION  
OR UNAUTHORIZED USE

**PLASTIC COMPOSITE MATERIALS:**  
COMPLIANCE: PLASTIC COMPOSITE EXTERIOR DECK BOARDS, STAIR TREADS, GUARDS AND HANDRAILS SHALL COMPLY WITH THE REQUIREMENTS OF R507.2.2 OF THE RESIDENTIAL CODE AND OF ASTM D703.

INSTALLATION: PLASTIC COMPOSITE HANDRAILS AND GUARDS, IN THEIR PACKAGING, SHALL BEAR A LABEL THAT INDICATES COMPLIANCE WITH ASME A19.1 AND INCLUDES THE MAXIMUM ALLOWABLE SPAN DETERMINED ACCORDING TO ASTM D703.

OPTIONAL: NEW POSTS (TRIM) AND RAILING TO BE COMPOSITE MATERIAL, COMPLIANT WITH THE ABOVE REQUIREMENTS, TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. RAILING TO BE TIMBER OR CLASSIC COMPOSITE SERIES OR OTHER APPROVED BY OWNER. SEE CONSTRUCTION DETAILS ON SHEET S-03

PROJECT NAME:  
RECONSTRUCTION FRONT  
PORCH

DRAWING NAME:  
SECTIONS

DRAWING NUMBER:  
S-04

DATE:  
03.22.2023

SCALE:  
AS NOTED

NOTE:  
THIS DRAWING IS VALID FOR  
CONSTRUCTION IF (AND ONLY IF) A  
PERMIT IS ISSUED, BASED ON THIS  
DRAWING, BY THE VILLAGE OF PORT  
CHESTER.