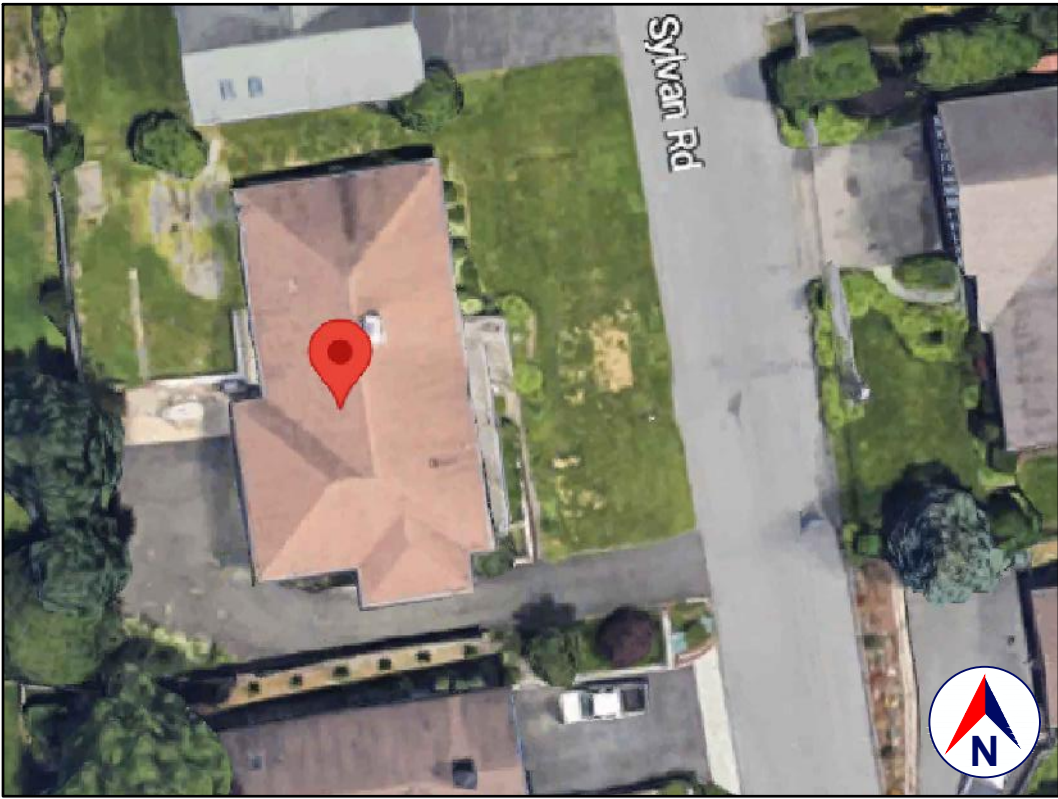
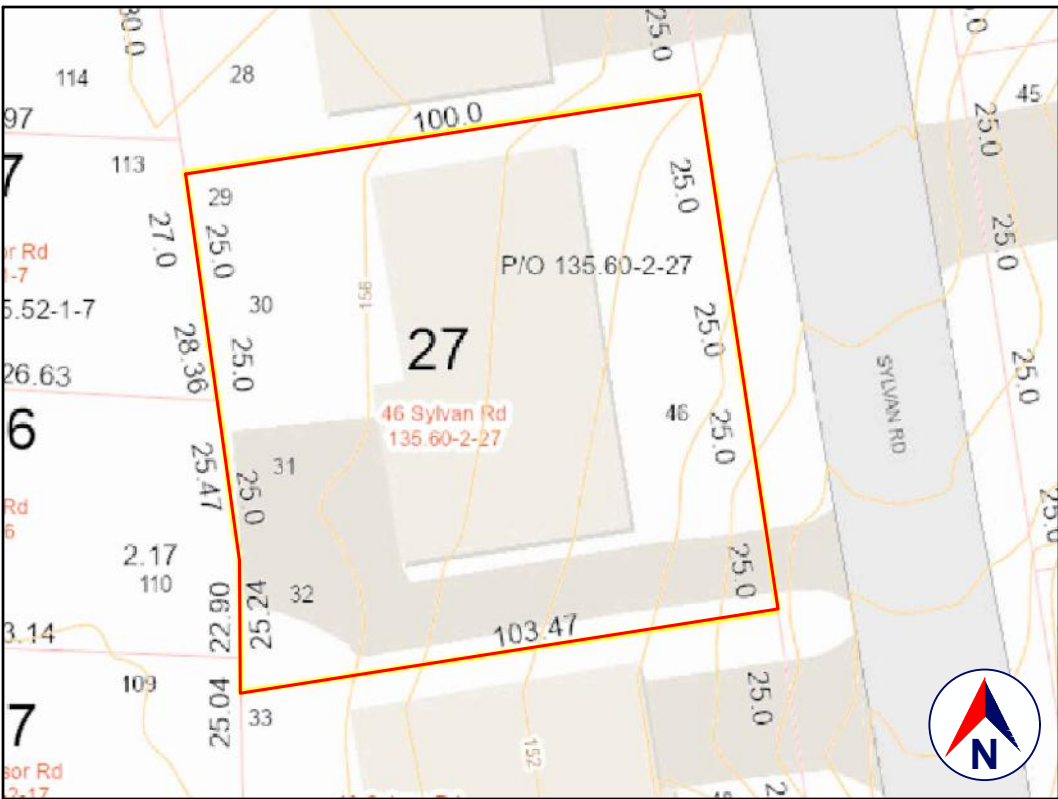


LOCATION
GOOGLE MAPS



SATELLITE VIEW
GOOGLE EARTH



TAX MAP AND TOPO
WESCHESER COUNTY GIS



FRONT VIEW
GOOGLE STREET VIEW

1.0 GENERAL REQUIREMENTS:

1.1 DESIGN INTENT:

IT IS THE INTENT OF THESE DRAWINGS TO CALL FOR COMPLETE AND FINISHED WORK, IN COMPLIANCE WITH THE NOTED CODES, AND TESTED AND GUARANTEED AND READY FOR OPERATION.

THE ENGINEER HAS NOT BEEN ENGAGED TO SUPERVISE ANY WORK AND DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

1.2 SCOPE AND CLASSIFICATION:

THE PROPOSED WORK IS OUTSIDE OF THE EXISTING BUILDING ENVELOPE; THE CODES REFERENCED BELOW APPLY TO ALL PROPOSED WORK.

CONSTRUCTION TYPE: TYPE V-B, AS DEFINED IN TABLE 601
YEAR BUILT: 1959 (PER ZILLLOW)
ZONING: R7
OCCUPANCY CLASSIFICATION: ONE-FAMILY

1.3 COMPLIANCE:

ALL WORK SHALL BE IN COMPLIANCE WITH:

- 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS)
- EXISTING BUILDING CODE OF NEW YORK STATE (INTERNATIONAL EXISTING BUILDING CODE 2018 WITH AMENDMENTS)
- CHAPTER 151, BUILDING CODE ADMINISTRATION AND ENFORCEMENT OF THE CODE OF THE VILLAGE OF PORT CHESTER.
- ALL OTHER REFERENCED CODES AND ALL OTHER CODES AND REGULATIONS, LOCAL, STATE AND FEDERAL, THAT APPLY.

1.4 AUTHORITY HAVING JURISDICTION:

THE AUTHORITY HAVING JURISDICTION, AS DEFINED IN [***] 103.1 OF THE BUILDING CODE, AND WHICH SHALL PROVIDE FOR ADMINISTRATION AND ENFORCEMENT OF THE UNIFORM CODE AND ENERGY CODE BY LOCAL LAW, ORDINANCE, OTHER APPROPRIATE REGULATION, OR COMBINATION THEREOF, IS THE VILLAGE OF PORT CHESTER.

THE DULY APPOINTED BUILDING OFFICIAL OF THE VILLAGE OF PORT CHESTER IS AUTHORIZED TO ENFORCE THE PROVISIONS OF THE CODE.

THE BUILDING OFFICIAL MAY ADOPT POLICIES AND PROCEDURES IN ORDER TO CLARIFY THE APPLICATION OF THE PROVISIONS OF THE CODE. SUCH POLICIES AND PROCEDURES SHALL BE IN COMPLIANCE WITH THE INTENT AND PURPOSE OF THE CODE.

2.0 LOADING:

2.1 DEAD LOAD:

PER 301.4, THE ACTUAL WEIGHTS OF MATERIALS AND CONSTRUCTION SHALL BE USED FOR DETERMINING DEAD LOAD; THE FOLLOWING APPROXIMATIONS (IN PSF) ARE USED FOR THIS PROJECT:

USE:	PSF
WALL ASSEMBLY:	10
ROOF/CEILING ASSEMBLY:	20
FLOOR ASSEMBLY:	15
EXTERIOR DECK:	0

ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.2 LIVE LOAD:

UNIFORMLY DISTRIBUTED LIVE LOADS SHALL BE PER TABLE R301.5 AND AS FOLLOWS* (IN PSF):

STRUCTURAL MEMBER	SF	OTHER
UNINHABITABLE SPACE WITHOUT STORAGE:	10	(42"H, 24"W)
UNINHABITABLE ATTICS W/LIMITED STORAGE:	20	
HABITABLE ATTICS & ATTICS W/FIXED STAIRS:	40	
EXTERIOR BALCONIES & DECKS:	40	
FIRE ESCAPES:	40	
GUARDS & HANDRAILS:	200	(CONCENTRATED)
GUARD IN-FILL COMPONENTS:	50	(HORIZONTAL)
PASSENGER VEHICLE GARAGE:	50	(82,000LB/20SI)
ROOMS OTHER THAN SLEEPING ROOMS:	40	
SLEEPING ROOMS:	40	(8,300LB/4SI)
STAIRS:	40	
ROOF, PER 301.6 (INC. SNOW):	30	

*SOME OF THE LOADS LISTED ABOVE MAY BE HIGHER THAN THOSE REQUIRED PER CODE.

ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.3 WIND LOAD:

WIND LOADS SHALL BE BASED ON THE ULTIMATE DESIGN WIND SPEED LISTED IN TABLE 301.2(1) AND ADJUSTED FOR HEIGHT AND EXPOSURE):
120 MPH. WIND LOADS WILL BE ALLOWED FOR IN THE DESIGN LOAD PERFORMANCE REQUIREMENTS FOR WALL COVERINGS, ROOF COVERINGS, WINDOWS, SKYLIGHTS AND DOORS.

COMPONENT AND CLADDING LOADS WILL BE PER TABLE R301.2(2)

2.4 ALLOWABLE LIVE LOAD DEFLECTION:

THE ALLOWABLE LIVE LOAD DEFLECTION OF ALL STRUCTURAL MEMBERS, SHALL BE PER TABLE R301.7 AND AS FOLLOWS:

STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
RAFTERS HAVING SLOPES GRATER THAN 3:12 WHIT FINISHED	L/180
CEILING NOT ATTACHED TO RAFTERS	H/180
INTERIOR WALLS AND PARTITIONS	L/360
FLOORS	L/360
CEILING WITH BRITTLE FINISHES (INCLUDING PLASTER AND STUCCO)	L/240
CEILING WITH FLEXIBLE FINISHES (INCLUDING GYPSUM BOARD)	L/360
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS-WIND LOAD WITH PLASTER OR STUCCO FINISHES	L/360
EXTERIOR WALLS-WIND LOAD WITH OTHER BRITTLE FINISHES	H/240
EXTERIOR WALLS-WIND LOADS WITH FLEXIBLE FINISHES	H/120
LINTELS SUPPORTING MASONRY VENEER WALLS	L/600

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA									
LOCATION: VILLAGE OF PORT CHESTER					ZIP CODE: ***				
PER 2020 RESIDENTIAL CODE OF NEW YORK STATE, TABLE 301.2(1)					(WIND) EXPOSURE CATEGORY: B				
CLIMATE ZONE: 4A									
GROUND WIND LOAD	WIND SPEED	TEMPERATURE	PRECIPITATION	WIND DIRECTION	DESIGN CATEGORY	SUBJECT TO DAMAGE FROM	WINTER WIND TEMP	ICE BARRELS REQUIRED	FLOOD HAZARD INDEX
30 PSF	110-120	NO	NO	NO	C	SEVERE	2-40°	NO OVERHANG	15
								YES	MINIMAL
									015
									01.7

3.0 CONTRACTOR'S RESPONSIBILITIES:

THE CONTRACTOR SHALL:

- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR A COMPLETE AND FINISHED JOB.
- PROVIDE ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.
- OBTAIN AND PAY FOR ALL REQUIRED PERMITS - UNLESS OTHERWISE STIPULATED.
- PRIOR TO THE SUBMISSION OF ANY BID, AND BEFORE PROCEEDING WITH ANY WORK, VISIT THE SITE AND VERIFY AND FAMILIARIZE HIM/HERSELF WITH ALL SITE DIMENSIONS AND CONDITIONS, WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION, METHODS AND ROUTES OF ACCESS, AND THE EXISTENCE AND EXTENT OF ANY OTHER RESTRICTIONS, AND BE RESPONSIBLE FOR THE VERIFICATION OF ALL SUCH CONDITIONS AND DIMENSIONS WHICH PERTAIN TO THE PROJECT.
- BRING ALL DISCREPANCIES IN CONDITIONS AND DIMENSIONS, BETWEEN THE APPROVED DRAWINGS AND ACTUAL FIELD CONDITIONS, TO THE IMMEDIATE ATTENTION OF THE OWNER, AND RECEIVE DIRECTION IN WRITING, BEFORE PROCEEDING WITH THE AFFECTED WORK.
- VERIFY THE AVAILABILITY, LOCATION LAYOUT AND CONDITION OF UTILITIES, INCLUDING SEWER, WATER, GAS AND ELECTRIC LINES, PRIOR TO THE SUBMISSION OF ANY BID.
- HAVE CONTROL OVER AND SUPERVISE AND DIRECT THE WORK, INCLUDING THAT OF ITS SUBCONTRACTORS, AND BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR JOBSITE SAFETY, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, VERIFY THE CONDITION OF ALL ADJOINING STRUCTURES WHICH MAY BE AFFECTED, AND PROVIDE ADEQUATE PROTECTION TO ANY STRUCTURE THAT MIGHT BE OTHERWISE AFFECTED.
- IN THE EVENT THAT DAMAGE IS CAUSED TO ANY STRUCTURE, FINISH, OR OTHER ELEMENT, RESTORE SUCH ELEMENTS TO THEIR ORIGINAL CONDITION.
- IF APPLICABLE, PROVIDE WEATHER PROTECTION, IN AN EFFECTIVE AND TIMELY MANNER, TO PROTECT THE PREMISES, PERSONNEL, MATERIALS AND INSTALLED WORK.
- BE A HOME IMPROVEMENT CONTRACTOR WITH A CURRENT LICENSE ISSUED BY THE WESTCHESTER COUNTY DEPARTMENT OF CONSUMER AFFAIRS.
- BE CERTIFIED AS A LEAD SAFE FIRM BY THE EPA PER 40 CFR 745.226.
- CARRY LIABILITY INSURANCE TO THE LIMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION AND ISSUE CERTIFICATE(S) OF INSURANCE AS REQUIRED BY THE HOMEOWNER AND/OR THAT AUTHORITY.
- CARRY WORKMAN'S COMPENSATION AND DISABILITY INSURANCE AS REQUIRED THE LAW AND ISSUE CERTIFICATE(S) AS REQUIRED BY THE HOMEOWNER AND/OR THE AUTHORITY HAVING JURISDICTION.

4.0 BUILDING PERMIT:

NO PERSON OR ENTITY SHALL COMMENCE, PERFORM, OR CONTINUE ANY WORK THAT MUST CONFORM WITH THE UNIFORM CODE AND/OR ENERGY CODE UNLESS:

- SUCH PERSON OR ENTITY HAS APPLIED TO THE VILLAGE OF PORT CHESTER FOR A BUILDING PERMIT.
- THE VILLAGE OF PORT CHESTER HAS ISSUED A BUILDING PERMIT AUTHORIZING SUCH WORK.
- SUCH BUILDING PERMIT HAS NOT BEEN REVOKED OR SUSPENDED, AND
- SUCH BUILDING PERMIT HAS NOT EXPIRED.

THE BUILDING PERMIT IS REQUIRED TO BE VISIBLY DISPLAYED AT THE WORKSITE AND TO REMAIN VISIBLE UNTIL THE PROJECT, AND ALL REQUIRED INSPECTIONS, HAVE BEEN COMPLETED.

THE APPROVED DRAWINGS MUST BE KEPT AT THE WORKSITE AND BE AVAILABLE FOR REVIEW AT THE TIME OF ANY REQUIRED INSPECTIONS.

5.0 CONSTRUCTION INSPECTIONS:

IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING PERMIT, OR THEIR DULY AUTHORIZED AGENT, TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION:

BUILDING DEPARTMENT OF THE VILLAGE OF PORT CHESTER

222 GRACE CHURCH STREET

PORT CHESTER, NY 10573

TEL: (914) 939-5203

EMAIL: unknown

WEB SITE: www.portchesterny.gov/158/building-department

ANY PERSON OR ENTITY PERFORMING WORK FOR WHICH A BUILDING PERMIT HAS BEEN ISSUED SHALL KEEP SUCH WORK ACCESSIBLE AND EXPOSED UNTIL THE WORK HAS BEEN INSPECTED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION, OR ITS AUTHORIZED AGENT, AT EACH ELEMENT OF THE CONSTRUCTION PROCESS THAT IS APPLICABLE TO THE WORK.

BUILDING PERMIT HOLDERS SHALL BE REQUIRED TO NOTIFY THE BUILDING OFFICIAL OF THE VILLAGE OF PORT CHESTER WHEN CONSTRUCTION WORK IS READY FOR INSPECTION.

THE BUILDING OFFICIAL SHALL MAKE THE REQUIRED INSPECTIONS OR SHALL HAVE THE AUTHORITY TO ACCEPT WRITTEN REPORTS OF INSPECTION BY APPROVED AGENCIES OR INDIVIDUALS.

REQUIRED INSPECTIONS FOR THIS PROJECT MAY INCLUDE THE FOLLOWING, AS APPLICABLE, OR AS SPECIFIED IN THE CODE ENFORCEMENT PROGRAM OF THE VILLAGE OF PORT CHESTER:

- WORKSITE PRIOR TO THE ISSUANCE OF A PERMIT
- PLUMBING*
- ELECTRICAL*
- MECHANICAL
- FRAMING (SUBSEQUENT TO THE INSPECTION & APPROVAL OF PLUMBING, ELECTRICAL & MECHANICAL)
- FIRE RESISTANT CONSTRUCTION
- FIRE RESISTANT PENETRATIONS
- ENERGY CODE COMPLIANCE
- A FINAL INSPECTION AFTER ALL WORK AUTHORIZED BY THE BUILDING PERMIT HAS BEEN COMPLETED
- ANY OTHER INSPECTIONS AS REQUIRED BY THE VILLAGE OF PORT CHESTER.

A SCHEDULE OF REQUIRED INSPECTIONS IS AVAILABLE FROM THE BUILDING DEPARTMENT OF THE VILLAGE OF PORT CHESTER.

*THE WORK APPLICABLE TO SOME OF THE ABOVE INSPECTIONS (FOR INSTANCE PLUMBING AND ELECTRICAL) SHALL BE COMPLETED UNDER A SEPARATE PERMIT, FILED BY THE RELEVANT LICENSED CONTRACTORS.

AFTER INSPECTION, THE WORK OR A PORTION THEREOF SHALL BE NOTED AS SATISFACTORY AS COMPLETED, OR THE BUILDING PERMIT HOLDER SHALL BE NOTIFIED AS TO THE MANNER IN WHICH THE WORK FAILS TO COMPLY WITH APPLICABLE CODES, INCLUDING A CITATION OF THE SPECIFIC CODE PROVISION OR PROVISIONS THAT HAVE NOT BEEN MET.

IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO ASCERTAIN THE RESULTS OF REQUIRED INSPECTIONS.

CONSTRUCTION WORK NOT IN COMPLIANCE WITH APPLICABLE CODES SHALL BE REQUIRED TO REMAIN EXPOSED UNTIL IT HAS BEEN BROUGHT INTO COMPLIANCE WITH THE CODES, RE-INSPECTED, AND FOUND SATISFACTORY AS COMPLETED.

SITE WORK

EXCAVATION SAFETY:

THE CONTRACTOR SHALL COMPLY WITH THE TRENCHING AND EXCAVATION REQUIREMENTS OF 29 CFR 1926.651 AND 1926.652 OR COMPARABLE OSHA-APPROVED STATE PLAN REQUIREMENTS.

TRENCHES 5 FEET DEEP OR GREATER REQUIRE A PROTECTIVE SYSTEM UNLESS THE EXCAVATION IS MADE ENTIRELY IN STABLE ROCK.

THE CONTRACTOR SHALL HAVE A COMPETENT PERSON INSPECT EXCAVATIONS DAILY AND AS CONDITIONS CHANGE TO ENSURE ELIMINATION OF EXCAVATION HAZARDS.

A COMPETENT PERSON IS AN INDIVIDUAL WHO IS CAPABLE OF IDENTIFYING EXISTING AND PREDICTABLE HAZARDS OR WORKING CONDITIONS THAT ARE HAZARDOUS, UNSANITARY, OR DANGEROUS TO WORKERS, SOIL TYPES AND PROTECTIVE SYSTEMS REQUIRED, AND WHO IS AUTHORIZED TO TAKE PROMPT CORRECTIVE MEASURES TO ELIMINATE THESE HAZARDS AND CONDITIONS.

EXCAVATION - LOCATING UTILITIES - CALL 811:

NEW YORK STATE LAW (16 NYCRR PART 753) REQUIRES ALL EXCAVATORS TO PLACE A LOCATION REQUEST WITH DIG SAFELY NEW YORK AT LEAST TWO (2) FULL WORKING DAYS, BUT NO MORE THAN 10 WORKING DAYS BEFORE BEGINNING AN EXCAVATION PROJECT IN ORDER TO ENSURE ALL UNDERGROUND UTILITY LINES ARE PROPERLY MARKED BY THEIR OWNERS.

A LOCATION REQUEST MAY BE PLACED, AND THE PROCESS OF MARKING UNDERGROUND UTILITIES MAY BE TRACKED, BY USING THE ONLINE LOCATION REQUEST PROGRAM, EXACTIX. OR, THE EXCAVATOR MAY CALL 811 TO PLACE THE LOCATION REQUEST.

- NOTIFY: NOTIFY 811 ONLINE WITH EXACTIX OR BY CALLING 811.
 - WAIT: AT LEAST TWO DAYS FOR UTILITIES TO RESPOND (NOT INC. THE DAY YOU CALL).
 - CONFIRM: CHECK ALL UTILITIES HAVE RESPONDED.
 - RESPECT: ADHERE TO UTILITY MARKS AND FLAGS.
- DIG WITH CAUTION: DIG CAREFULLY AROUND BURIED UTILITIES.

DEMOLITION

THE CONTRACTOR SHALL:

DEMOLISH AND REMOVE ALL ELEMENTS NOTED IN THE DRAWINGS FOR DEMOLITION, AND AS REQUIRED FOR THE COMPLETION OF ALL WORK SHOWN ON THESE DRAWINGS.

ALLOW NO DEBRIS TO ACCUMULATE; Haul AWAY FROM SITE ALL DEBRIS AT CONTRACTOR'S EXPENSE; REMOVE ALL DEBRIS ON A REGULAR BASIS AND MAINTAIN JOBSITE IN A CLEAN AND TIDY CONDITION.

FULLY PROTECT ALL STRUCTURES, BUILDING ELEMENTS, EQUIPMENT, APPLIANCES AND FINISHES THAT ARE TO REMAIN FROM DAMAGE CAUSED BY ANY OF THE CONTRACTOR'S ACTIVITIES.

PROTECT ALL ADJACENT AREAS, AND ALL NEIGHBORING PROPERTY, FROM DAMAGE, INJURY AND DISCOMFORT CAUSED BY DUST.

PROTECT ALL PUBLIC PROPERTIES AND PREMISES FROM DAMAGE AND PREVENT ANY ACCUMULATION OF DEBRIS, DUST OR RUBBISH IN ANY PUBLIC AREA.

ASSUME FULL RESPONSIBILITY FOR ANY DAMAGE CAUSED TO EXISTING ELEMENTS AND MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.

CONDUCT ALL DEMOLITION OPERATIONS IN SUCH A MANNER AS TO PREVENT UNAUTHORIZED ENTRY OF ANY PERSONS AT ANY TIME; POST APPROPRIATE SIGNAGE AS REQUIRED.

LOCATE ALL UTILITY AND DRAINAGE LINES PRIOR TO COMMENCEMENT OF DEMOLITION AND PROTECT ALL ACTIVE LINES AS REQUIRED. IDENTIFY CLEARLY ANY WORK THAT MAY RESULT IN THE INTERRUPTION OF ANY SERVICES WITHIN THE AREA OF WORK OR IN ANY ADJACENT SPACE OR PROPERTY AND COORDINATE SUCH INTERRUPTIONS WITH ALL INVOLVED PARTIES.

NOTIFY THE OWNER, UTILITY COMPANIES, FIRE DEPARTMENT, ALARM COMPANIES, ETC.... OF ANY WORK AFFECTING THEIR SYSTEMS AS REQUIRED BY ALL APPLICABLE CODES, RULES, AND REGULATIONS.

CONCRETE:

STRUCTURAL CONCRETE AND CONCRETING PRACTICES SHALL CONFORM WITH THE LATEST EDITION OF ACI 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, ISSUED AND MAINTAINED BY THE AMERICAN CONCRETE INSTITUTE, AND AS NOTED BELOW.

ALL ACI REQUIREMENTS FOR HOT AND COLD WEATHERING CONCRETE MUST BE ADHERED TO.

STRENGTH:

CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS AS FOLLOWS UNLESS OTHERWISE NOTED ON THE DRAWINGS:

FOUNDATION WALLS, BUTTRESSES, SLAB ON GRADE:	4000 PSI, NORMAL WEIGHT
FOOTINGS AND PIERS:	4000 PSI, NORMAL WEIGHT
CONCRETE ON METAL DECK:	4000 PSI, NORMAL WEIGHT
ALL OTHER CONCRETE:	4000 PSI, NORMAL WEIGHT

ALL EXPOSED CONCRETE SHALL HAVE AN AIR ENTRAINING AGENT.

COVER:

MINIMUM CONCRETE COVER SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE ON THE DRAWINGS:

SLABS:	3/4"
WALLS:	1"
COLUMNS:	1 1/2"
ALL CONCRETE EXPOSED TO WEATHER OR EARTH:	2"
ALL CONCRETE PLACED AGAINST EARTH:	3"

REINFORCING STEEL:

DETAILS SHALL BE IN ACCORDANCE WITH ACI-315, DETAILS AND DETAILING OF CONCRETE REINFORCEMENT UNLESS OTHERWISE NOTED ON THE DRAWINGS.

ALL REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60 UNLESS REQUIRED TO BE WELDED AS SHOWN ON PLANS.

ALL REINFORCING BARS REQUIRED TO BE WELDED SHALL CONFORM TO ASTM A706, GRADE 50.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185, GRADE 60 UNLESS OTHERWISE NOTED ON THE DRAWINGS.

SUPPORT WIRE FABRIC WITH CHAIRS OR LUTS DURING PLACEMENT TO INSURE PROPER POSITION IN SLAB.

ALL REINFORCEMENT SHALL BE SECURED TO THE PLACEMENT OF CONCRETE. IF REQUIRED, ADDITIONAL BARS OR STIRRUPS SHALL BE USED TO SECURE THE CONTRACTOR TO FURNISH SUPPORT FOR ALL BARS. REINFORCEMENT SHALL BE SECURED BY THE PROPER LOCATION IN THE FORM, WITH THE WIRE OR OTHER BAR SUPPORT IN PLACE TO PREVENT DISPLACEMENT DURING THE CONCRETE PLACEMENT OPERATION.

WHERE NOT SPECIFICALLY INDICATED ON THE DRAWINGS, SPLICING OF REINFORCEMENT SHALL BE IN ACCORDANCE TABLE R608.5.4(1) LAP SPLICE AND WELDING ON DEVELOPMENT LENGTHS.

WOOD FRAMING:

FLOOR FRAMING:

STRUCTURAL FLOOR MEMBERS SHALL CONFORM TO THE APPLICABLE PROVISIONS OF SECTION R502.

ALL FLOOR FRAMING, INCLUDING JOISTS, LEDGERS, HEADERS AND BLOCKING, IS TO BE 2X DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2, FB-850 PSI, 1.4E OR BETTER.

FLOOR FRAMING IS TO BE AT 16" (MAXIMUM) ON CENTER, OR AS OTHERWISE NOTED IN THE DRAWINGS.

AVOID NOTCHING (SEE CUTTING AND NOTCHING BELOW), PROVIDE SISTER MEMBERS AS REQUIRED.

FLOOR SHEATHING SHALL BE AVANTECH T&G SUBFLOOR FASTENED WITH 8D COMMON NAILS @ 6" O.C. AND AVANTECH SUBFLOOR ADHESIVE PER MANUFACTURERS INSTRUCTIONS AND SHALL CONFORM OF SECTION 502 OF THE RESIDENTIAL CODE.

WALL FRAMING:

LOAD BEARING WALLS SHALL CONFORM TO THE APPLICABLE PROVISIONS OF SECTION R602.

ALL LOAD BEARING WOOD FRAMED PARTITIONS INCLUDING STUDS, TOP AND BOTTOM PLATE AND BLOCKING, IS TO BE 2X DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2, FB-850 PSI, 1.4E OR BETTER.

WALL FRAMING IS TO BE AT 16" (MAXIMUM) ON CENTER, OR AS OTHERWISE NOTED IN THE DRAWINGS.

AVOID NOTCHING (SEE CUTTING AND NOTCHING BELOW), PROVIDE SISTER STUDS AS REQUIRED.

EXCEPTION: BEARING STUDS NOT SUPPORTING FLOORS AND NONBEARING STUDS SHALL BE PERMITTED TO BE UTILITY GRADE LUMBER, PROVIDED THAT THE STUDS ARE SPACED AT 16" O.C. MINIMUM.

BOTTOM (SOLE) PLATE: STUDS SHALL HAVE FULL BEARING ON A NOMINAL 2-BY (51 MM) OR LARGER PLATE OR SILL HAVING A WIDTH NOT LESS THAN TO THE WIDTH OF THE STUDS.

TOP PLATE: WOOD STUD WALLS SHALL BE CAPPED WITH A DOUBLE TOP PLATE INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND INTERSECTIONS WITH BEARING PARTITIONS. END JOINTS IN TOP PLATES SHALL BE OFFSET NOT LESS THAN 24 INCHES (610 MM). JOINTS IN PLATES NEED NOT OCCUR OVER STUDS. PLATES SHALL BE NOT LESS THAN 2-INCHES (51 MM) NOMINAL THICKNESS AND HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE STUDS.

AVOID NOTCHING (SEE CUTTING AND NOTCHING BELOW), PROVIDE SISTER MEMBERS AS REQUIRED.

WALL SHEATHING SHALL BE MINIMUM 1/2" WOOD STRUCTURAL PANEL, ZIP SYSTEM, PER MANUFACTURERS INSTRUCTIONS HARDIE PLANK LAP SIDING AND SHALL CONFORM OF SECTION 602 OF THE RESIDENTIAL CODE.

ROOF-CEILING CONSTRUCTION:

ROOF FRAMING SHALL CONFORM TO THE APPLICABLE PROVISIONS OF SECTION R802.

ALL ROOF FRAMING, INCLUDING RAFTERS, COLLAR TIES, RAFTER TIES AND CEILING JOISTS, IS TO BE 2X, DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2, FB-850 PSI, 1.4E, OR BETTER.

ROOF FRAMING IS TO BE AT 16" (MAXIMUM) ON CENTER, OR AS OTHERWISE NOTED IN THE DRAWINGS.

AVOID NOTCHING (SEE CUTTING AND NOTCHING BELOW), PROVIDE SISTER MEMBERS AS REQUIRED.

ROOF SHEATHING SHALL BE ZIP SYSTEM 5/8" SHEATHING AND SHALL CONFORM PER SECTION 803 OF THE RESIDENTIAL CODE.

CUTTING, DRILLING AND NOTCHING FOR WIRES AND PIPES:

WOOD-FRAMED STRUCTURAL MEMBERS SHALL NOT BE DRILLED, NOTCHED OR ALTERED IN ANY MANNER EXCEPT AS PROVIDED IN SECTIONS R502.8, R602.6, R802.7 AND R802.7.1 OF THE RESIDENTIAL CODE.

STRUCTURAL STEEL:

STRUCTURAL STEEL MEMBERS:

STRUCTURAL STEEL SHAPES SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:

1. W-SHAPES:	ASTM A992 (F _y = 50-65 KSI, F _u = 65 KSI)
2. M-, S- & HP-SHAPES:	ASTM A36 (F _y = 36 KSI, F _u = 58-80 KSI)
3. CHANNELS (C & MC):	ASTM A36 (F _y = 36 KSI, F _u = 58-80 KSI)
4. ANGLES (L):	ASTM A36 (F _y = 36 KSI, F _u = 58-80 KSI)
5. STRUCTURAL TEES:	SAME AS (THEIR) M-, S- & W-SHAPES
6. RECTANGULAR & SQUARE HSS:	ASTM A500 GRADE B (F _y = 46 KSI, F _u = 58 KSI)
7. ROUND HSS:	ASTM A500 GRADE B (F _y = 42 KSI, F _u = 58 KSI)
8. STEEL PIPE:	ASTM A53 GRADE B (F _y = 35 KSI, F _u = 60 KSI)
9. PLATES & BARS (UP TO 8"):	ASTM A36 (F _y = 36 KSI, F _u = 58-80 KSI)
10. PLATES & BARS (> 8"):	ASTM A36 (F _y = 32 KSI, F _u = 58 KSI)

FASTENING PRODUCTS:

FASTENING PRODUCTS SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:

1. H.S. A325 BOLTS: >1"-1 1/2" INC.:	ASTM A325 (F _y = 120 KSI)
H.S. A325 BOLTS: 1/2" - 1" INC.:	ASTM A325 (F _y = 105 KSI)
2. H.S. A490 BOLTS: 1/2" - 1 1/2" INC.:	ASTM A490 (F _y = 150 KSI)
3. HEAVY-DUTY HEX NUTS: 1/2" - 1 1/2" INC.:	ASTM A563
4. HARDENED WASHERS: 1/2" - 1 1/2" INC.:	ASTM F436
5. H.S. A490 BOLTS: 1/2" - 1 1/2" INC.:	ASTM A490 (F _y =



EXISTING
RIGHT



PROPOSED
LEFT



PROPOSED
CENTER



PROPOSED
RIGHT

THIS DRAWING IS AS A SAMPLE ONLY
*** PERSONAL (CLIENT) INFORMATION WITHHELD

Oliver Engineering, P.C.
Design - Permit Applications - Legalizations
Code Compliance - Project Supervision
163 North Main Street, #207 Port Chester, NY 10573
(914) 774-9878 www.proeng.nyc vc@proeng.nyc



PROPERTY ADDRESS:

(VILLAGE OF PORT CHESTER)

S-B-L:
135.60-2-27

CLIENT:

TEL: ***
EMAIL: ***

DATE: 03.22.2023
03.12.2024
05.24.2024
07.09.2024
ISSUE:
FOR REVIEW
FOR REVIEW
FOR PERMIT

PROJECT NAME:
**RECONSTRUCTION FRONT
PORCH**

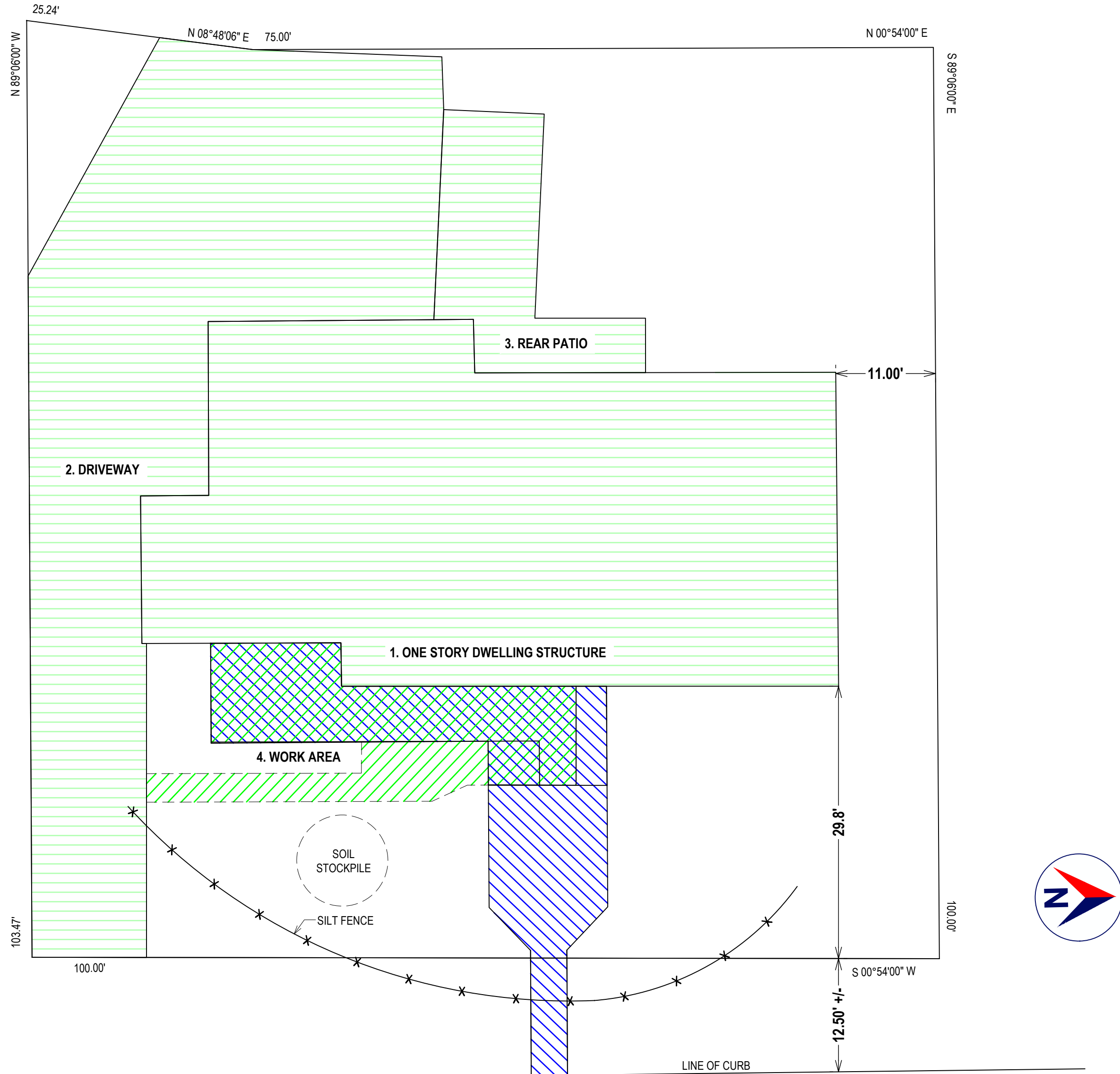
DRAWING NAME:
PROPOSED PORCH

DRAWING NUMBER:
C-02

DATE:
03.22.2023

SCALE:
AS NOTED

NOTE:
THIS DRAWING IS VALID FOR
CONSTRUCTION IF (AND ONLY IF) A
PERMIT IS ISSUED, BASED ON THIS
DRAWING, BY THE VILLAGE OF PORT
CHESTER.



EXISTING IMPERMEABLE:
(NO WORK IN THIS AREA)

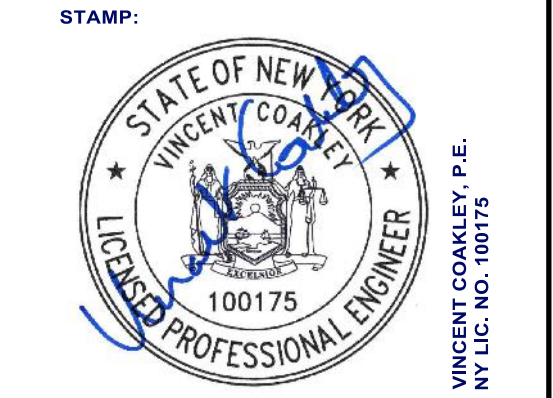
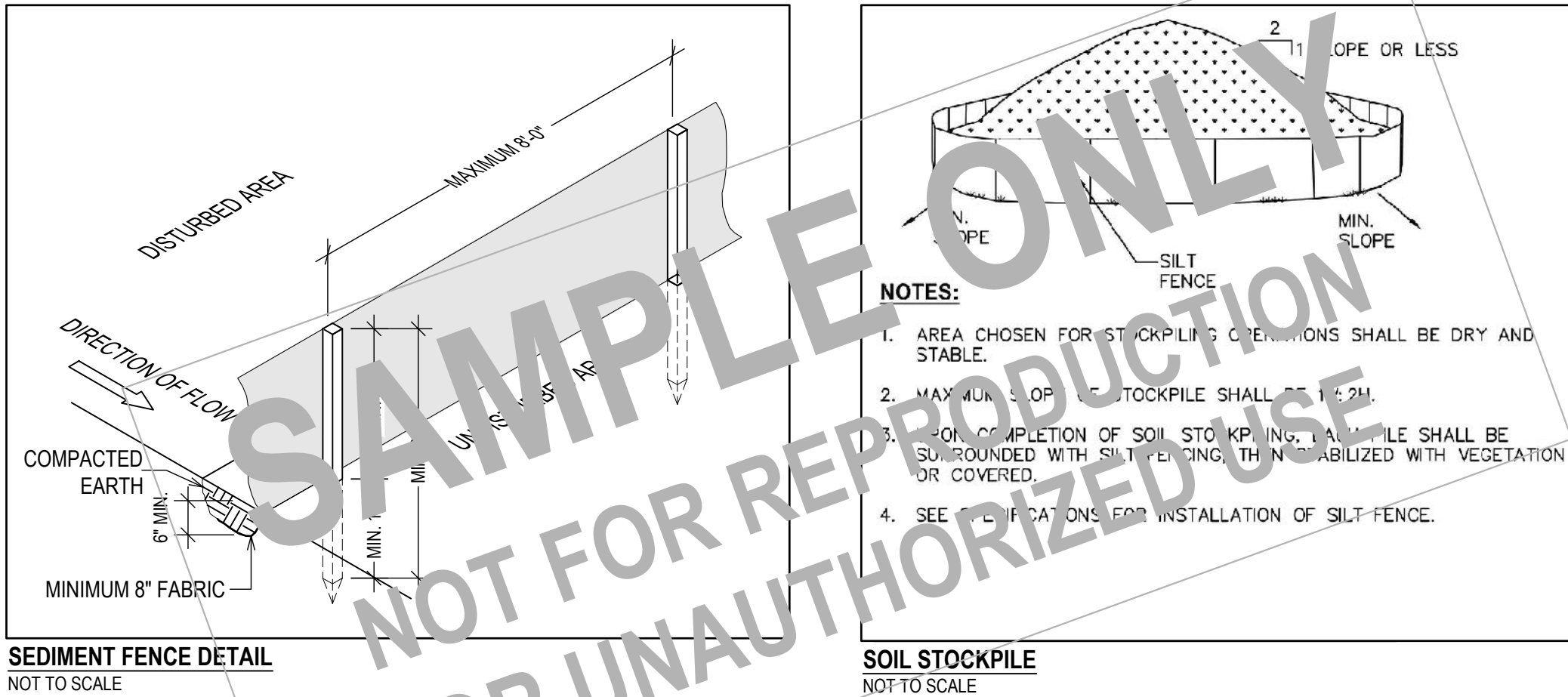
WORK AREA:
EXISTING IMPERMEABLE
AREA TO BE REMOVED
EXISTING IMPERMEABLE
AREA TO REMAIN
NEW IMPERMEABLE AREA

SITE PLAN
1" = 10'-0"
SITE INFORMATION IS FROM SURVEY BY KULHANEK & PLAN LAND SURVEYORS, P.C.
JUNE 22, 2009

IMPERMEABLE AREAS BREAKDOWN			
ELEMENT	EXISTING	PROPOSED	CHANGE
1. ONE STORY DWELLING	2,615 SF	2,615 SF	---
2. DRIVEWAY	2,204 SF	2,204 SF	---
3. REAR PATIO	367 SF	367 SF	---
4. WORK AREA:			
PORCH	333 SF	399 SF	+66 SF
STEPS & WALKWAY	186 SF	272 SF	+86 SF
TOTAL	5,705 SF	5,857 SF	+152 SF

ZONING COMPLIANCE			
ADDRESS:	ZONE: R7	MUNICIPALITY: VILLAGE OF PORT CHESTER	TAX ID: 135.60-2-27
	REQUIRED	EXISTING	PROPOSED
LOT INFORMATION			
LOT AREA (SF)	7,500	10,057	NO CHANGE
LOT FRONTAGE (FT)	70	100	NO CHANGE
YARD SETBACKS (FT)			
FRONT YARD	30	29.8	NO CHANGE
REAR YARD	30		NO CHANGE
FIRST SIDE YARD	10	11	NO CHANGE
SECOND SIDE YARD	10		NO CHANGE
SIDE YARD ADJOINING STREET	NOT APPLICABLE		
PRINCIPAL BUILDING INFORMATION			
GROSS FLOOR AREA (SF)			NO CHANGE
BUILDING HEIGHT			NO CHANGE
STORIES			NO CHANGE
HEIGHT TO PRINCIPAL EAVE (FT)			NO CHANGE
HEIGHT TO HIGHEST ROOF RIDGE (FT)			NO CHANGE
BUILDING COVERAGE			
PRINCIPAL BUILDING COVERAGE (SF)			NO CHANGE
PRINCIPAL BUILDING COVERAGE (%)			NO CHANGE
ACCESSORY BUILDING COVERAGE (SF)			NO CHANGE
ACCESSORY BUILDING COVERAGE (%)			NO CHANGE
ACCESSORY STRUCTURES			
Detached Garage	NOT APPLICABLE		
SETBACKS:			
TO PRINCIPAL BUILDING (FT)	"		
TO SIDE LOT LINE (FT)	"		
TO REAR LOT LINE (FT)	"		
BUILDING HEIGHT:			
HEIGHT TO PRINCIPAL EAVE (FT)	"		
HEIGHT TO HIGHEST ROOF RIDGE (FT)	"		
IMPERVIOUS SURFACE COVERAGE			
IMPERVIOUS SURFACE COVERAGE (SF)	NOT REGULATED	5,705	5,857
IMPERVIOUS SURFACE COVERAGE BOTH (%)	NOT REGULATED	NOR REGULATED	NOT REGULATED

FRONT YARD SETBACK REQUIREMENTS:
PER CD-3 R7 TABLE 345.405.A.3
DISTRICT STANDARDS: ONE FAMILY RESIDENCE CHARACTER DISTRICT:
ENCROACHMENTS: REQUIRED SETBACKS
STEPS TO BUILDING ENTRANCE: NO REGULATION IN FRONT YARD REQUIRED SETBACK
OPEN PORCHES, INCLUDING STEPS: NO REGULATION IN FRONT YARD REQUIRED SETBACK



PROPERTY ADDRESS:

(VILLAGE OF PORT CHESTER)

S-B-L:
135.60-2-27

CLIENT:

TEL: ***
EMAIL: ***

DATE: 03.22.2023
03.12.2024
05.24.2024
07.09.2024
ISSUE:
FOR REVIEW
FOR REVIEW
FOR PERMIT

PROJECT NAME:
RECONSTRUCTION FRONT
PORCH

DRAWING NAME:
SITE PLAN

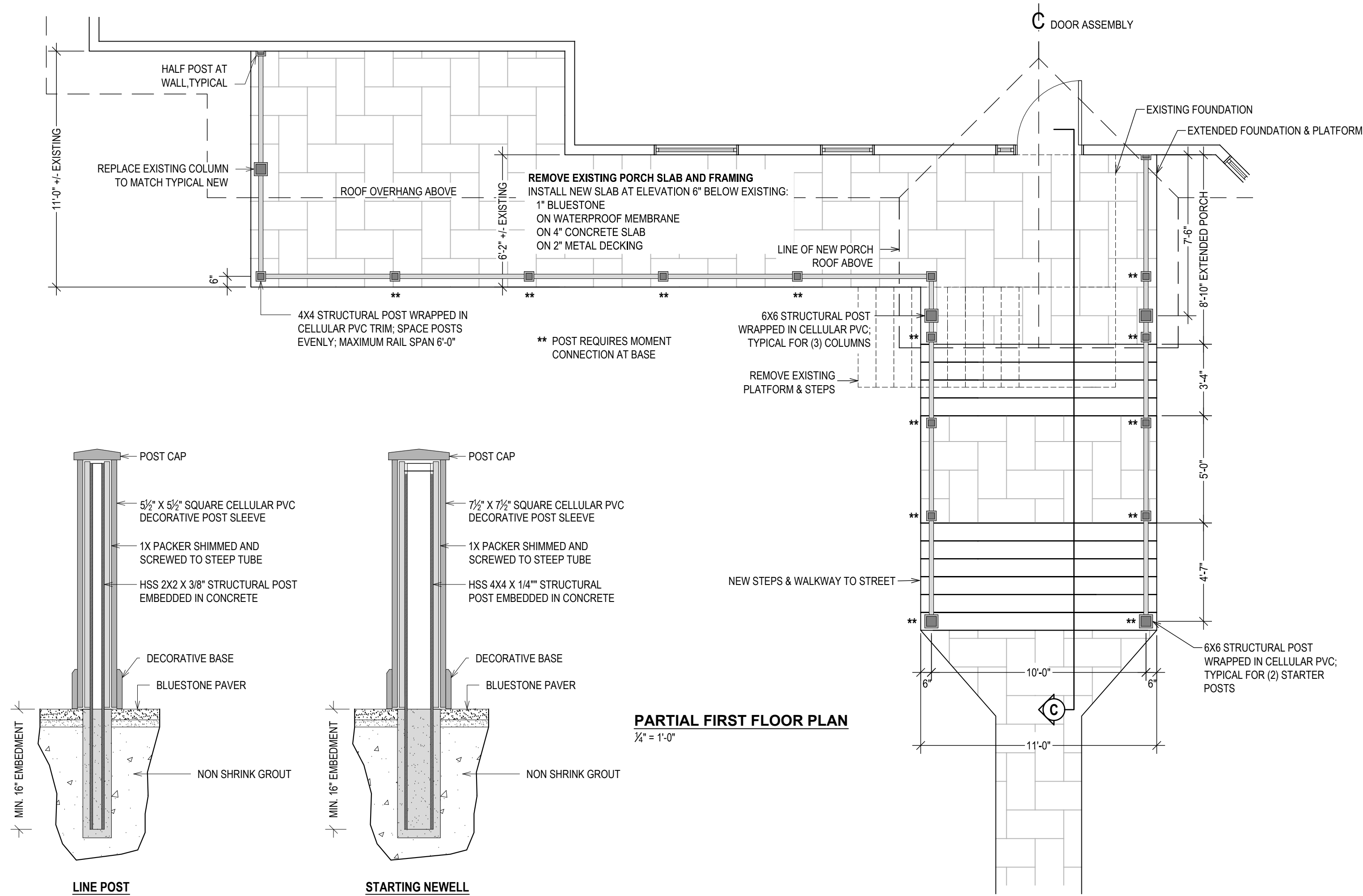
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S-01

DATE: 03.22.2023

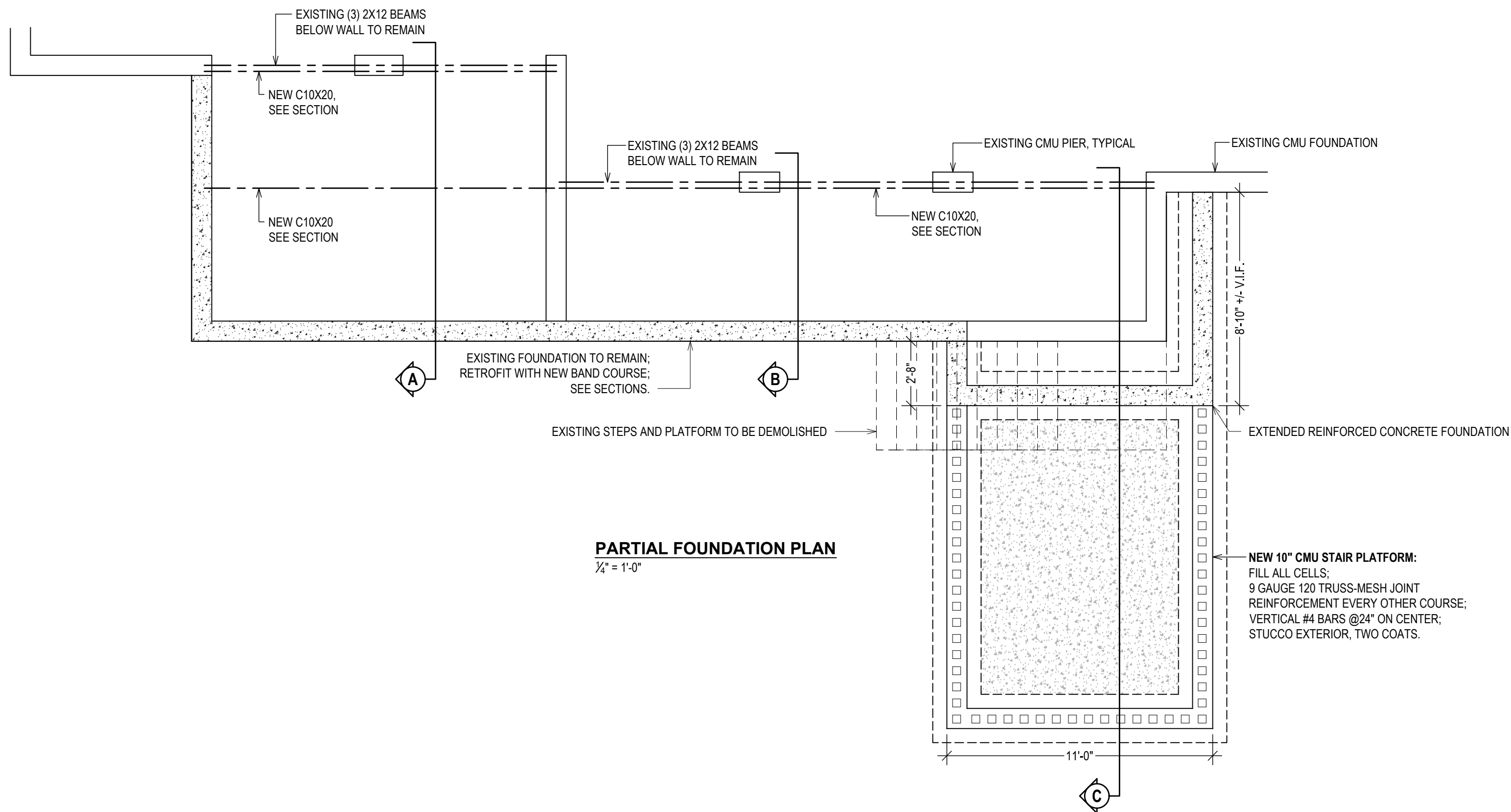
SCALE:
AS NOTED

NOTE:
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CONSTRUCTION IF (AND ONLY IF) A
PERMIT IS ISSUED, BASED ON THIS
DRAWING, BY THE VILLAGE OF PORT
CHESTER.

Oliver Engineering, P.C.
Design - Permit Applications - Legalizations
Code Compliance - Project Supervision
163 North Main Street, #207 Port Chester, NY 10573
(914) 774-9878 www.proeng.nyc vc@proeng.nyc



****POST DETAIL AT MOMENT CONNECTION**
1" = 1'-0"



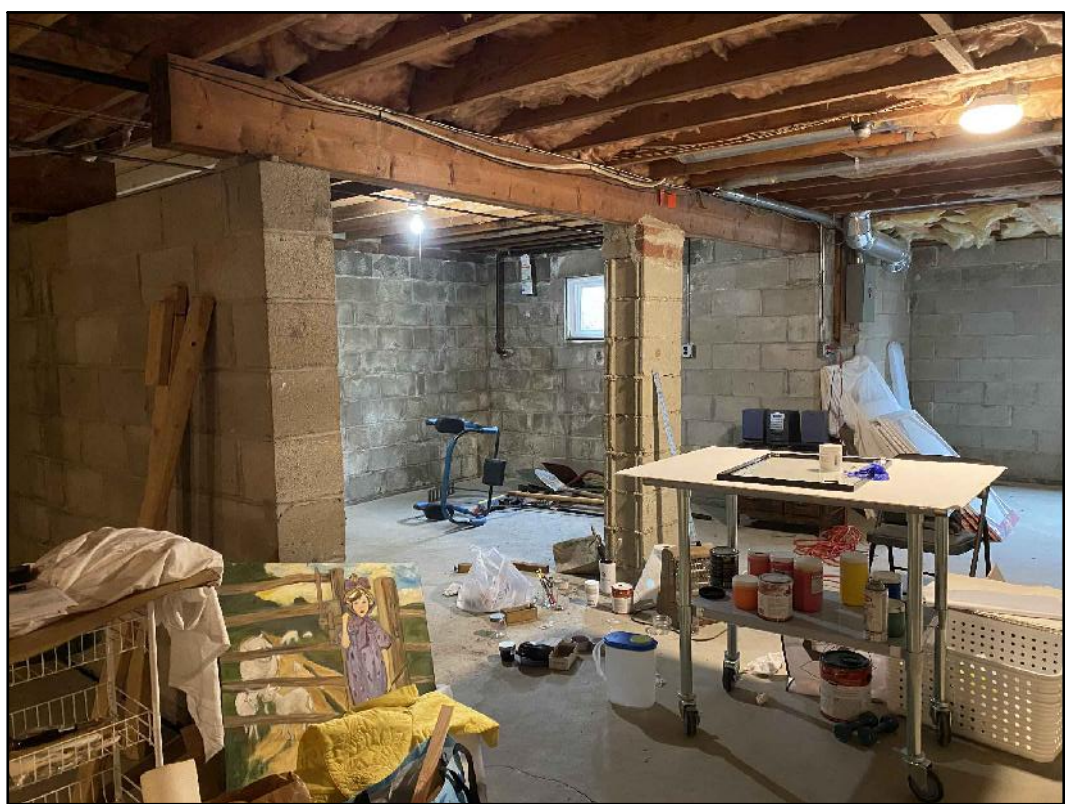
PARTIAL FOUNDATION PLAN
1/2" = 1'-0"



CLASSIC COMPOSITE SERIES BY TIMBERTECH
(IMAGE FOR REFERENCE ONLY)



RAIL BRACKET KIT



EXISTING CONDITION
04.18.2023



EXISTING CONDITION
04.18.2023



EXISTING CONDITION
04.18.2023



EXISTING CONDITION
04.18.2023



EXISTING CONDITION
04.18.2023



EXISTING CONDITION
04.18.2023

STAMP:



PROPERTY ADDRESS:
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(VILLAGE OF PORT CHESTER)

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135.60-2-27

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*** **
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FOR REVIEW
FOR REVIEW
FOR PERMIT

PROJECT NAME:
RECONSTRUCTION FRONT PORCH

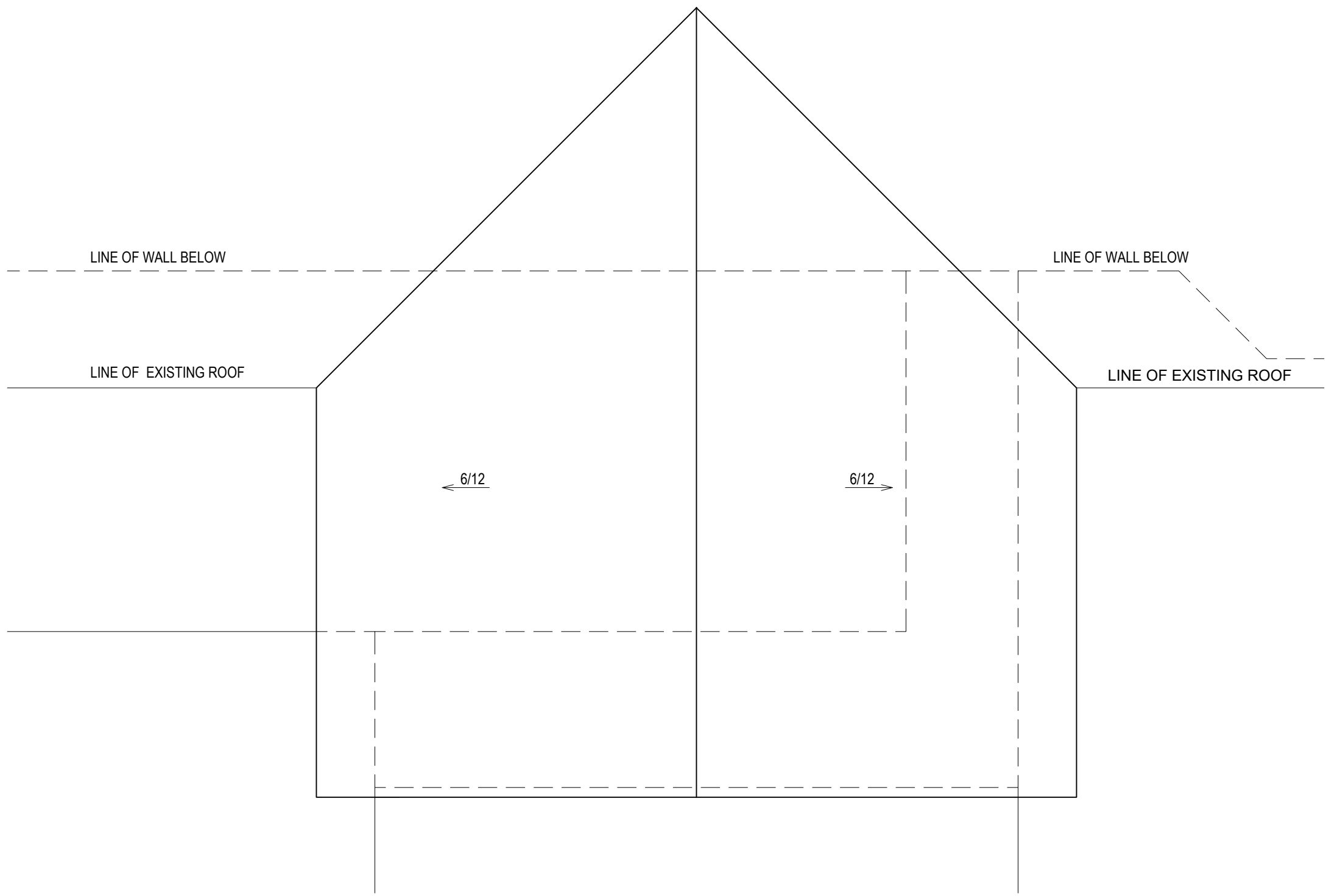
DRAWING NAME:
PLANS

DRAWING NUMBER:
S-02

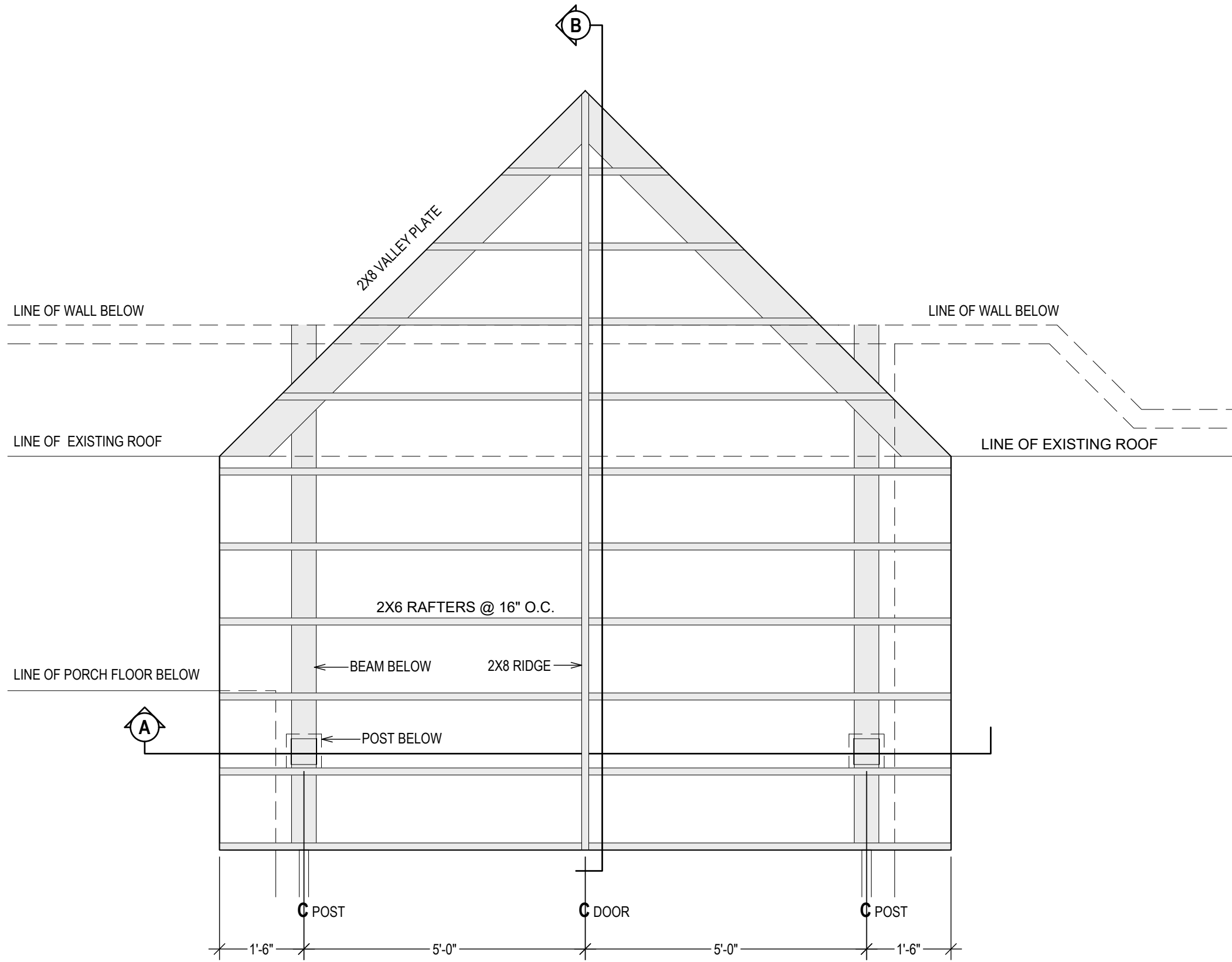
DATE:
03.22.2023

SCALE:
AS NOTED

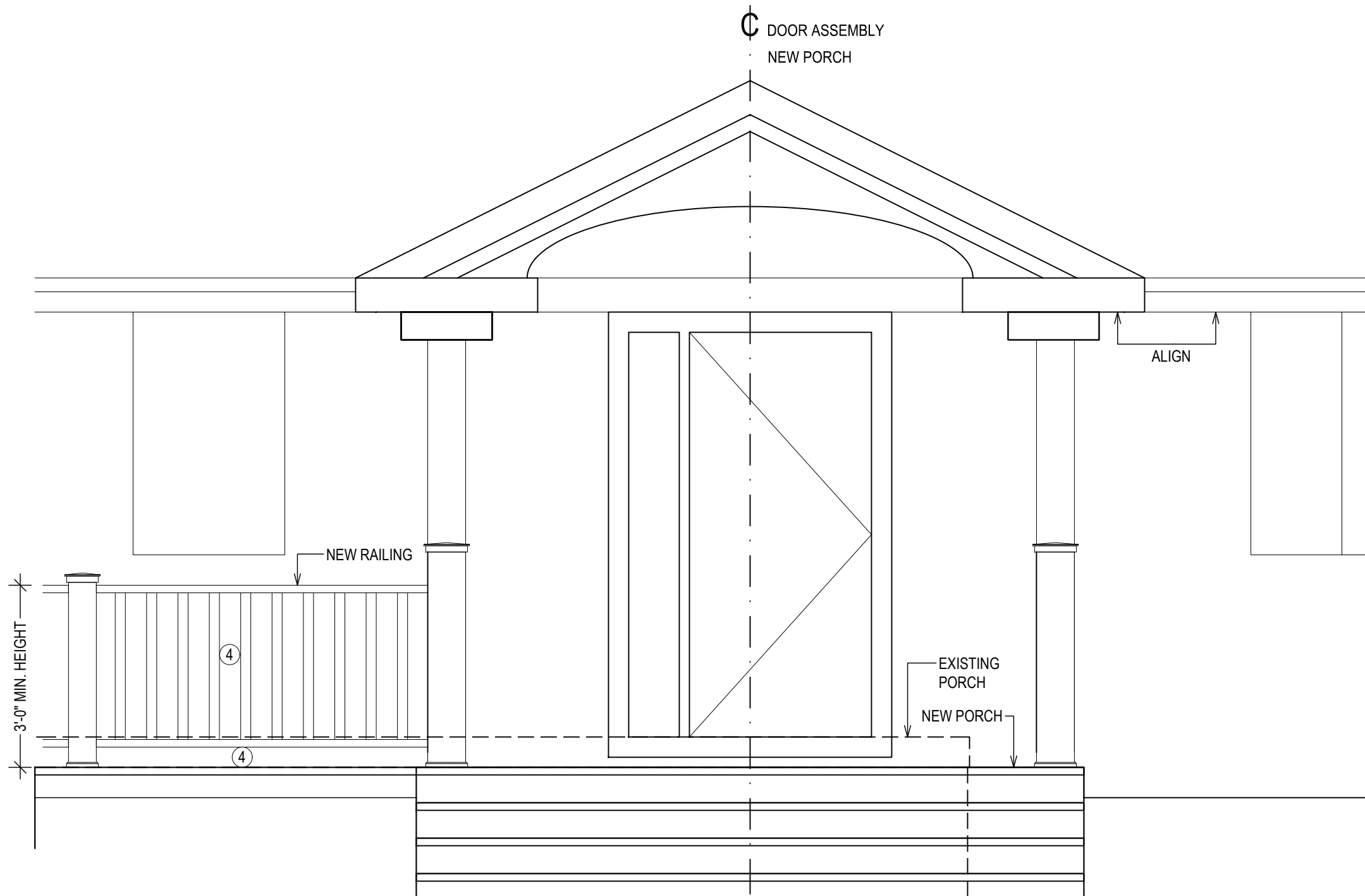
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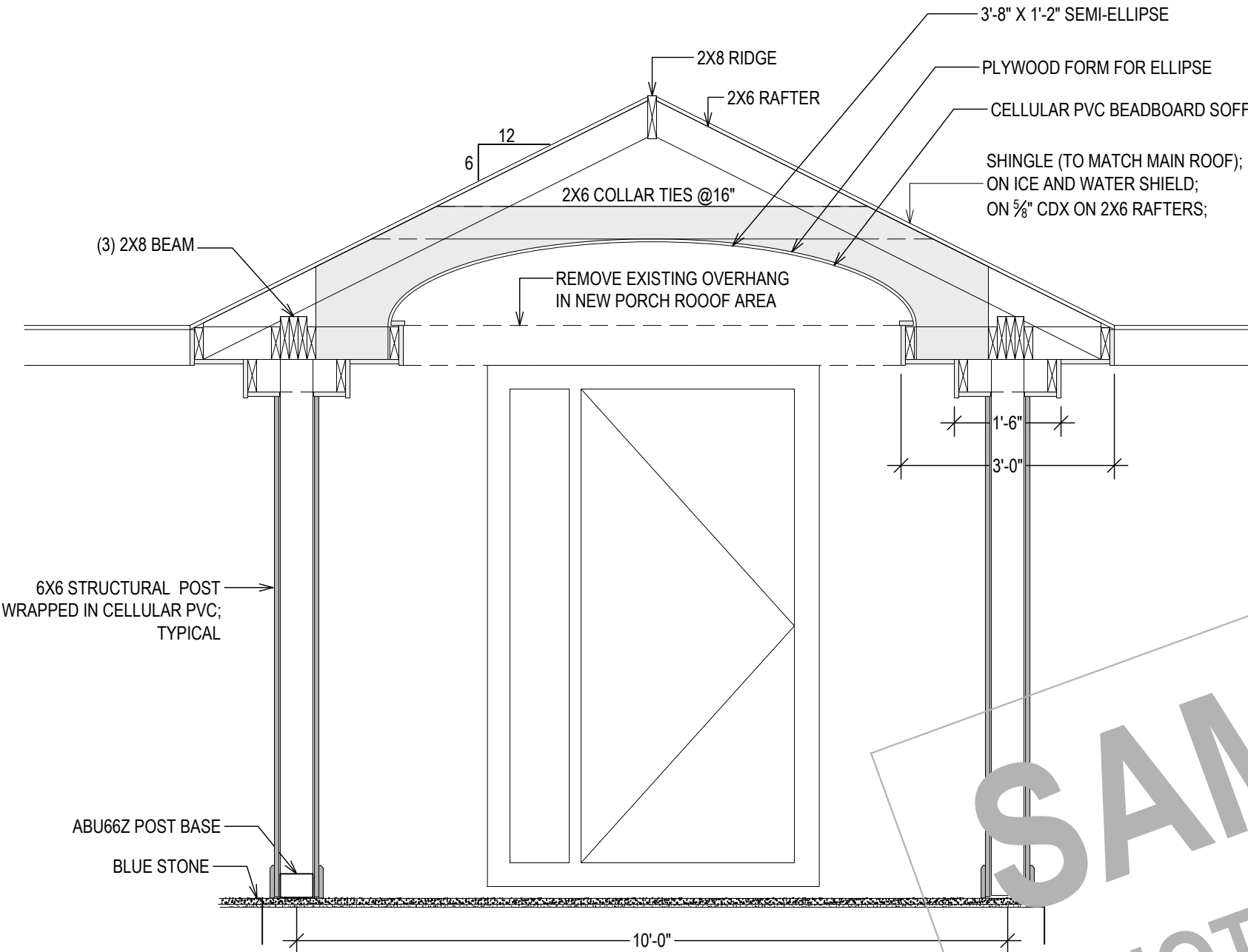
ROOF PLAN
1/2" = 1'-0"



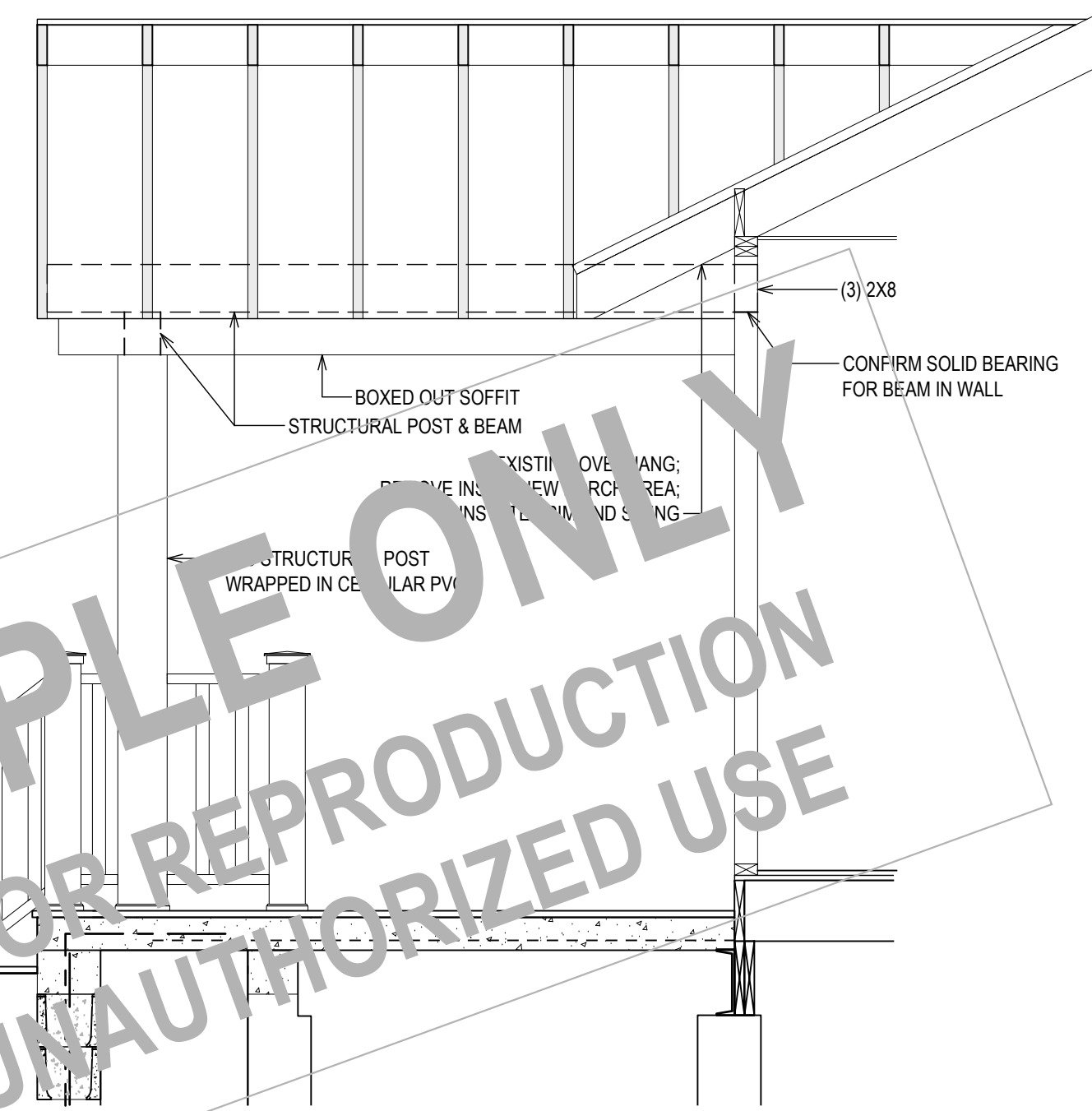
ROOF FRAMING PLAN
1/2" = 1'-0"



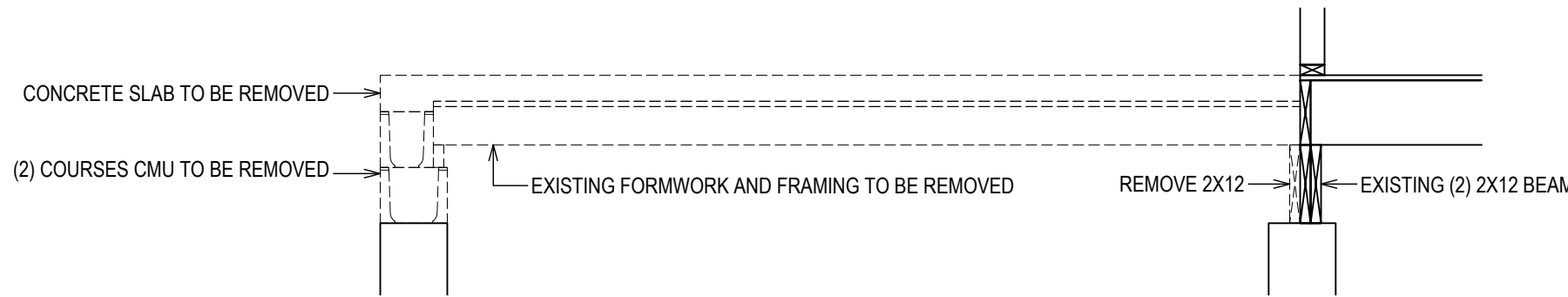
FRONT ELEVATION
1/2" = 1'-0"



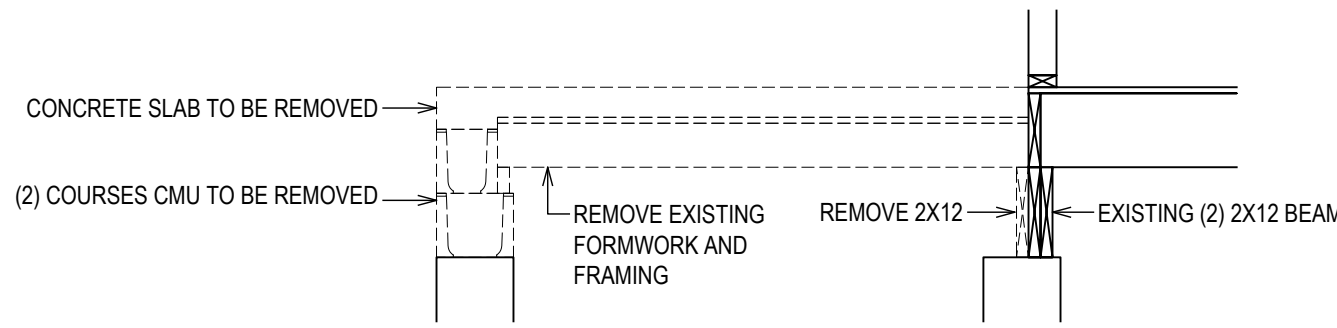
SECTION A
1/2" = 1'-0"



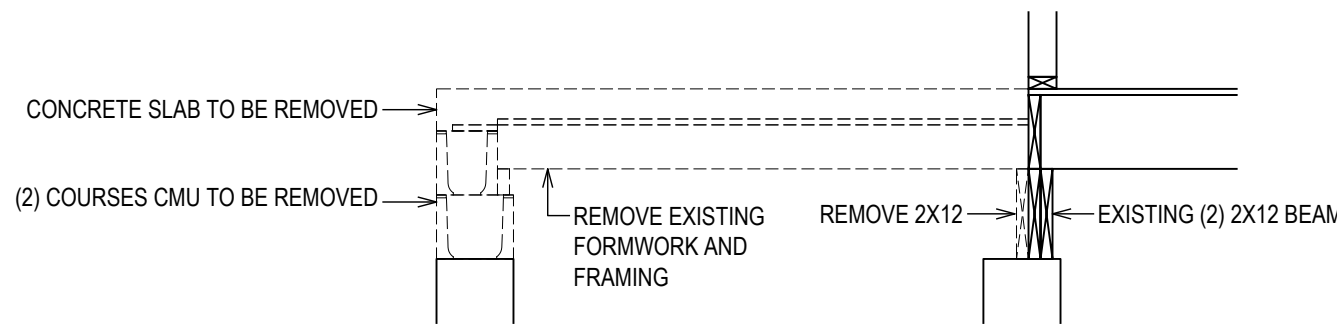
PARTIAL SECTION B
1/2" = 1'-0"



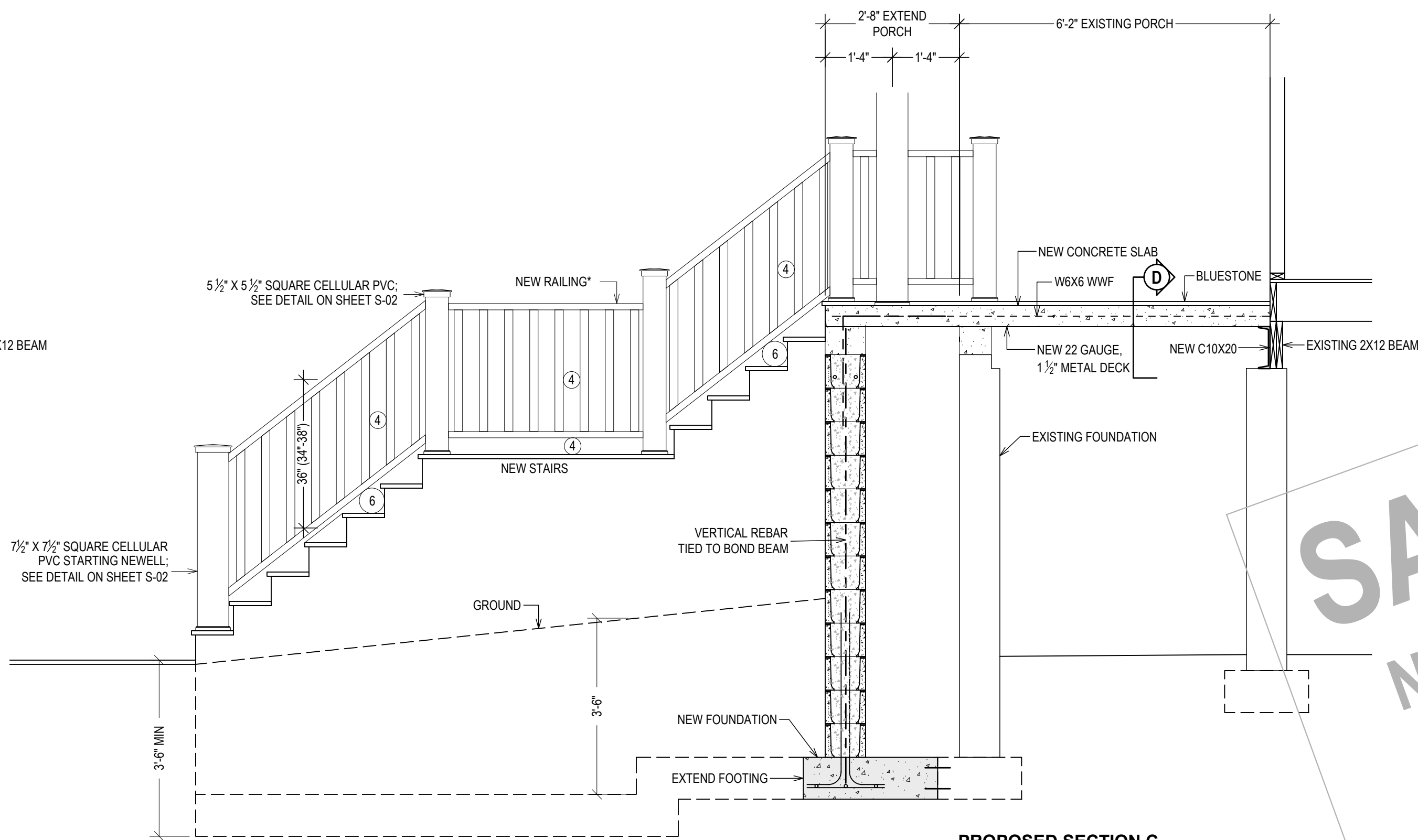
EXISTING AND DEMOLITION SECTION A
1/2" = 1'-0"



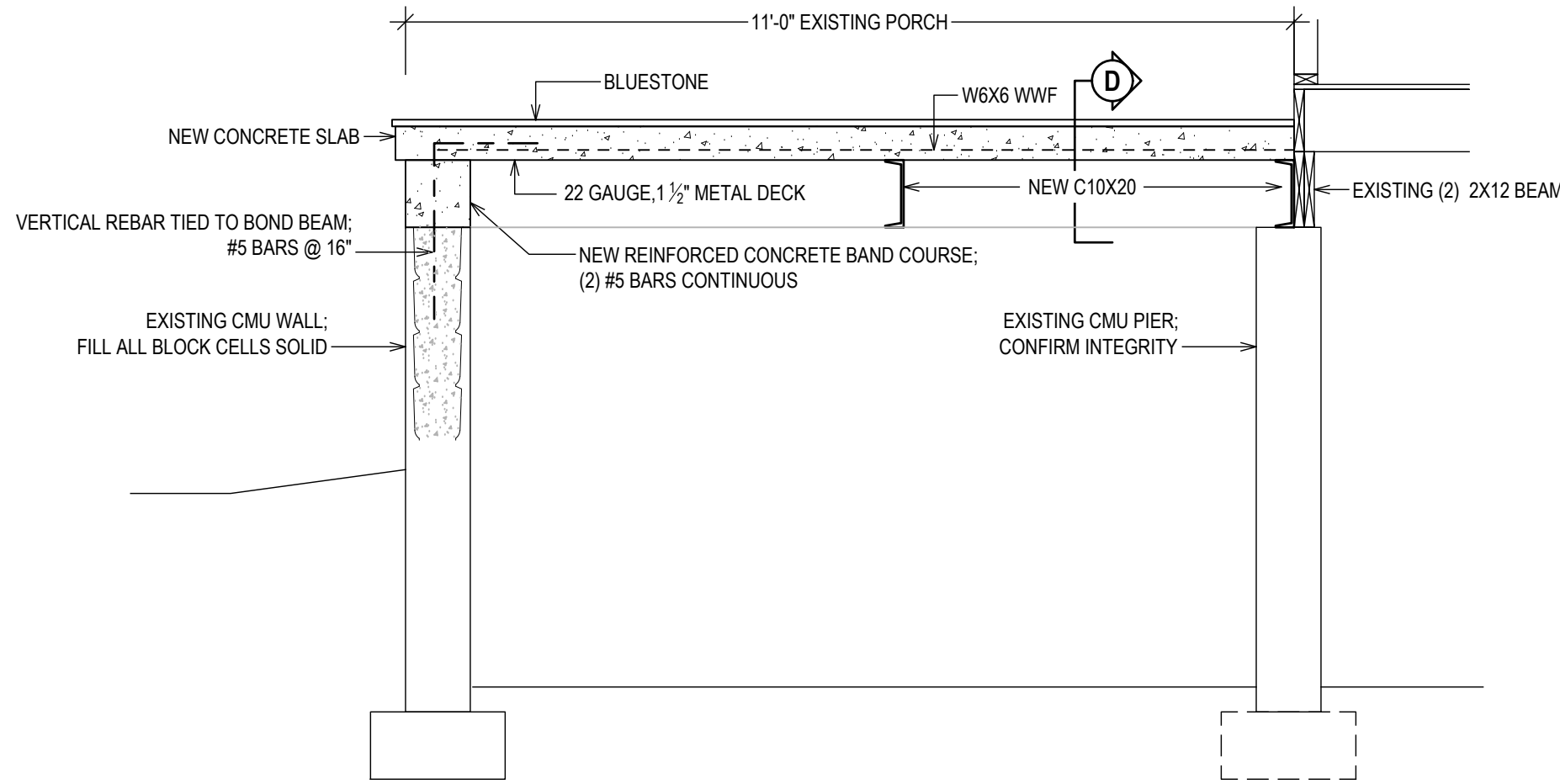
EXISTING AND DEMOLITION SECTION B
1/2" = 1'-0"



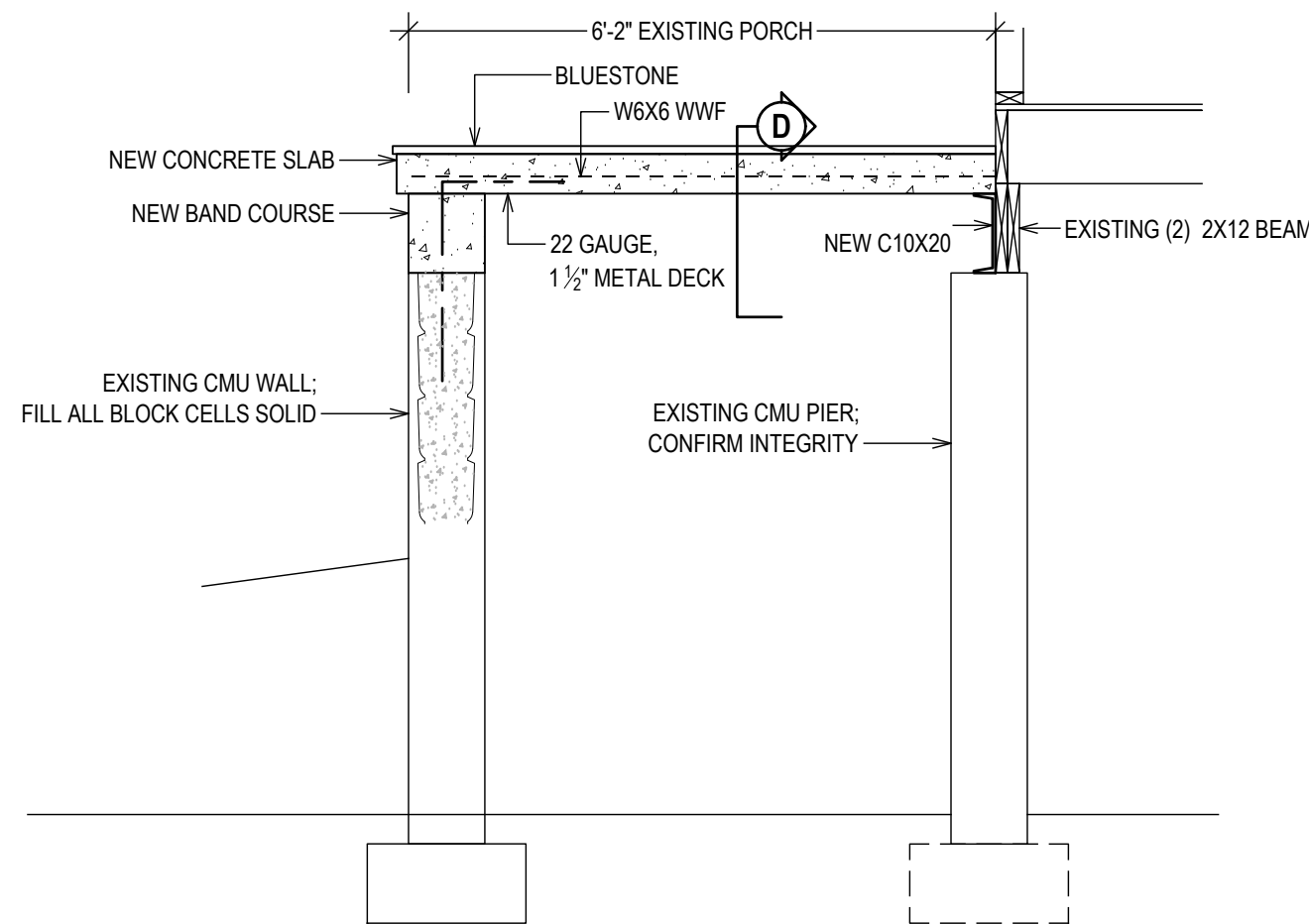
EXISTING AND DEMOLITION SECTION C
1/2" = 1'-0"



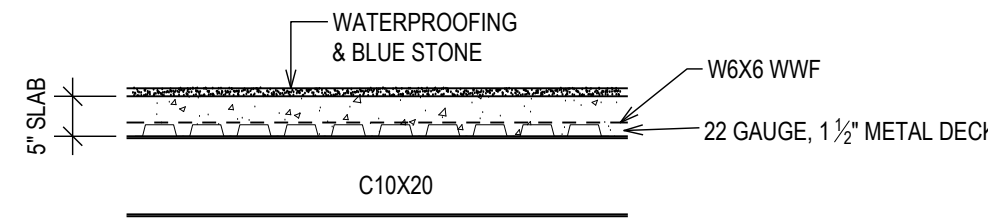
PROPOSED SECTION C
1/2" = 1'-0"



PROPOSED SECTION A
1/2" = 1'-0"



PROPOSED SECTION B
1/2" = 1'-0"



SECTION D
1/2" = 1'-0"

***GUARD RAILS:**
ALL GUARD RAILS SHALL COMPLY WITH SECTION R312 OF THE CODE AND BE AS FOLLOWS:

HEIGHT:
GUARDS AT OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, PORCHES, BALCONIES OR LANDINGS, SHALL BE NOT LESS THAN 36" IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE OR THE LINE CONNECTING THE NOSINGS.
HEIGHT EXCEPTIONS:
GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT OF NOT LESS THAN 34" MEASURED VERTICALLY FROM A LINE CONNECTING THE NOSINGS.
WHERE THE TOP OF THE GUARD SERVES AS A HANDRAIL ON THE OPEN SIDES OF STAIRS, THE TOP OF THE GUARD SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38 INCHES AS MEASURED VERTICALLY FROM A LINE CONNECTING THE NOSINGS.

OPENINGS:
GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER.
EXCEPTIONS:
THE TRIANGULAR OPENINGS AT THE OPEN SIDE OF STAIR, FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD, SHALL NOT ALLOW PASSAGE OF A SPHERE 6" IN DIAMETER. GUARDS ON THE OPEN SIDE OF STAIRS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4 1/4" IN DIAMETER.

***HAND RAILS:**
HANDRAILS SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH FLIGHT OF STAIRS WITH FOUR OR MORE RISERS, SHALL COMPLY WITH SECTION R311 OF THE CODE, AND BE AS FOLLOWS:

HEIGHT:
HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38".

GRIP SIZE:
REQUIRED HANDRAILS SHALL BE OF ONE OF THE FOLLOWING TYPES (I OR II) OR PROVIDE EQUIVALENT GRASPABILITY.

TYPE I:
HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF NOT LESS THAN 1 1/2" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER OF NOT LESS THAN 4" AND NOT GREATER THAN 6" AND A CROSS SECTION OF NOT MORE THAN 2 1/4". EDGES SHALL HAVE A RADIUS OF NOT LESS THAN 0.01".

TYPE II:
HANDRAILS WITH A PERIMETER GREATER THAN 8 1/2" SHALL HAVE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN 1/4" MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND HAVE A DEPTH OF NOT LESS THAN 3/16" WITHIN 7/8" BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR NOT LESS THAN 3/4" TO A LEVEL THAT IS NOT LESS THAN 1 1/2" BELOW THE TALLEST PORTION OF THE PROFILE. THE WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE NOT LESS THAN 1 1/2" AND NOT MORE THAN 2 1/4". EDGES SHALL HAVE A RADIUS OF NOT LESS THAN 0.01".

CONTINUITY:
HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.
EXCEPTIONS:
HANDRAIL CONTINUITY SHALL BE PERMITTED TO BE INTERRUPTED BY A NEWEL POST AT A TURN IN A FLIGHT WITH WINDERS, AT A LANDING, OR OVER THE LOWEST TREAD.

PLASTIC COMPOSITE MATERIALS:
COMPLIANCE:
PLASTIC COMPOSITE EXTERIOR DECK BOARDS, STAIR TREADS, GUARDS AND HANDRAILS SHALL COMPLY WITH THE REQUIREMENTS OF R507.22 OF THE RESIDENTIAL CODE AND OF ASTM D7032.

LABELING:
PLASTIC COMPOSITE HANDRAILS AND GUARDS, ON THEIR PACKAGING, SHALL BEAR A LABEL WHICH INDICATES COMPLIANCE WITH ASTM D7032 AND INCLUDES THE MAXIMUM ALLOWABLE SPAN DETERMINED IN ACCORDANCE WITH ASTM D7032.

INSTALLATION:
THEY SHALL BE INSTALLED IN ACCORDANCE WITH THE CODE AND THE MANUFACTURER'S INSTRUCTIONS.

APPROVAL:
NEW POSTS (TRIM) AND RAILINGS TO BE OF COMPOSITE MATERIAL, COMPLIANT WITH THE ABOVE REQUIREMENTS, TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. RAILINGS, BALUSTERS, OR CLASSIC COMPOSITE SERIES OR OTHER APPROVED BY OWNER. SEE DETAIL ON SHEET S-03.



PROPERTY ADDRESS:
*** **
1
(VILLAGE OF PORT CHESTER)

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PROJECT NAME:
RECONSTRUCTION FRONT
PORCH

DRAWING NAME:
SECTIONS

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S-04

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