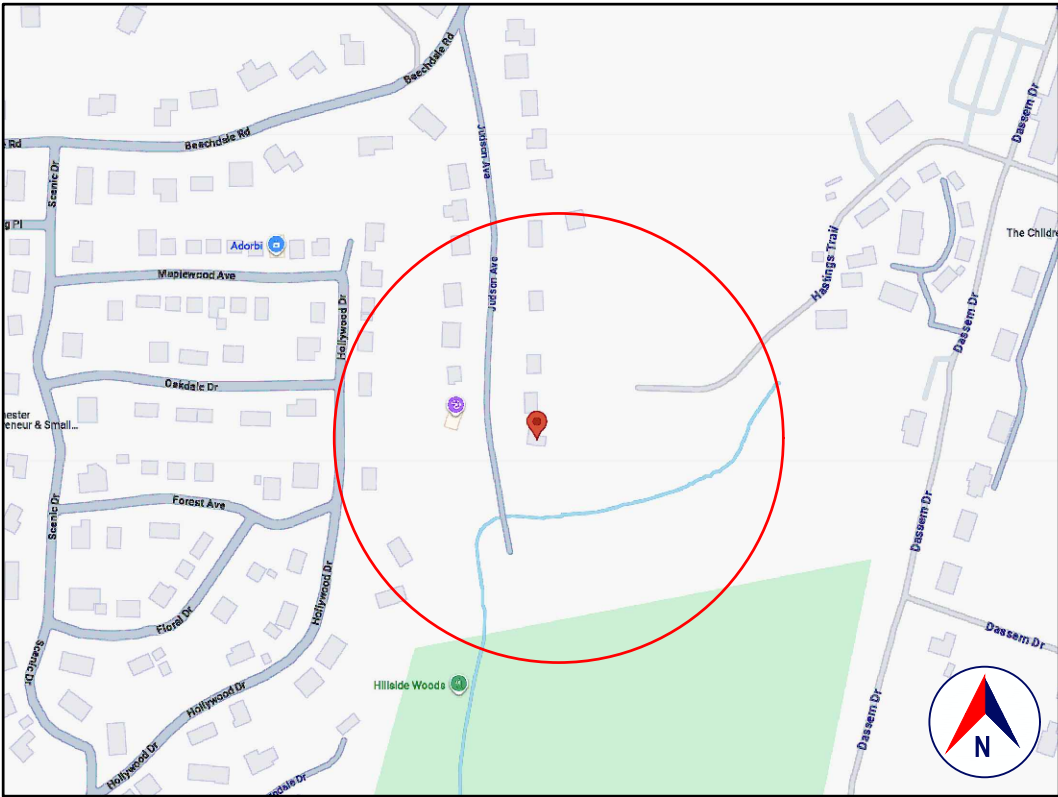
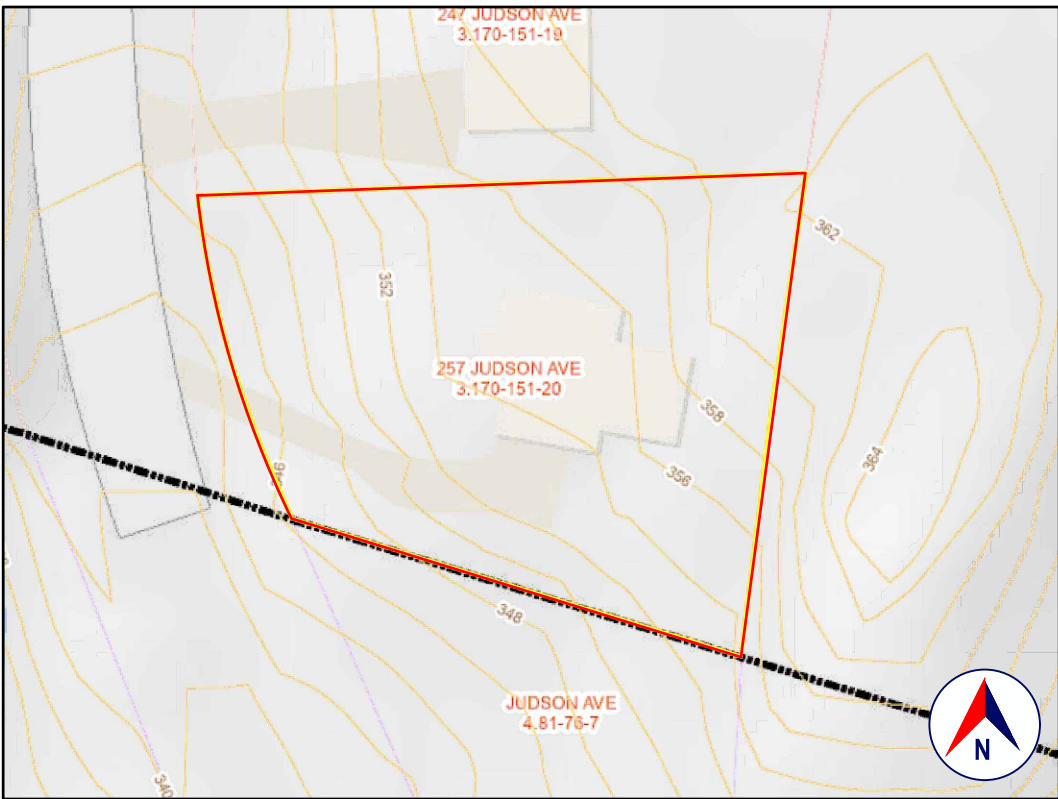




LOCATION
GOOGLE MAPS



SATELLITE VIEW
GOOGLE EARTH



TAX MAP AND TOPO
WESTCHESTER COUNTY GIS



FRONT VIEW
GOOGLE STREET VIEW

1.0 GENERAL REQUIREMENTS:

1.1 PROJECT SCOPE:

REMOVE LOAD-BEARING WALL AT KITCHEN; RETROFIT STRUCTURE.

1.2 DESIGN INTENT:

IT IS THE OVERALL INTENT OF (ALL OF) THE DRAWINGS TO CALL FOR COMPLETE AND FINISHED WORK, IN COMPLIANCE WITH THE NOTED CODES, AND TESTED AND GUARANTEED AND READY FOR OPERATION.

THE ENGINEER HAS NOT BEEN ENGAGED TO SUPERVISE ANY WORK AND DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

1.3 CONSTRUCTION TYPE:

THE EXISTING BUILDING, AS CATEGORIZED IN TABLE 601 OF THE NEW YORK STATE BUILDING CODE, IS CONSTRUCTION TYPE VB (CONSTRUCTION WHERE THE PRIMARY ELEMENTS ARE NOT REQUIRED TO BE FIRE RATED).

1.4 CLASSIFICATION OF PROPOSED WORK:

THIS IS A PROPOSED ALTERATION LEVEL 2, AS DEFINED IN THE EXISTING BUILDING CODE, SECTION 603.1 (MAY INCLUDE THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT), AND SHALL COMPLY WITH THE PROVISIONS OF CHAPTERS 7 AND 8 OF THAT CODE.

1.5 ZONING, OCCUPANCY AND USE:

YEAR BUILT: 1986 (PER ZILLOW)
ZONING: OF-4 ONE-FAMILY RESIDENTIAL 4
OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-3
EXISTING USE: SINGLE FAMILY
PROPOSED USE: SINGLE FAMILY (NO CHANGES)

*R-3, PER SECTION 310 OF THE BUILDING CODE, WHERE THE OCCUPANTS ARE PRIMARILY PERMANENT IN NATURE AND NOT CLASSIFIED AS GROUP R-1, R-2, R-4 OR I INCLUDING BUILDINGS THAT DO NOT CONTAIN MORE THAN TWO DWELLING UNITS.

1.6 COMPLIANCE:

ALL WORK SHALL BE IN COMPLIANCE WITH THE FOLLOWINGS CODES:

- GENERAL: 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS)
- EXISTING: EXISTING BUILDING CODE OF NEW YORK STATE (INTERNATIONAL EXISTING BUILDING CODE 2018 WITH AMENDMENTS).
- PLUMBING: NOT APPLICABLE TO THESE DRAWINGS.
- ELECTRICAL: NOT APPLICABLE TO THESE DRAWINGS.
- DRAINAGE: NOT APPLICABLE TO THESE DRAWINGS.
- ENERGY CODE: ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE 2020 (INTERNATIONAL ENERGY CONSERVATION CODE 2018 (IECC 2018).
- MUNICIPAL: CHAPTER 13, BUILDING DEPARTMENT AND CHAPTER 127, BUILDING CONSTRUCTION STANDARDS OF THE CODE OF THE VILLAGE OF DOBBS FERRY.
- OTHER: ALL REFERENCED CODES, OTHER CODES AND REGULATIONS, FEDERAL, STATE AND LOCAL, THAT MAY APPLY.

1.7 AUTHORITY HAVING JURISDICTION:

THE AUTHORITY HAVING JURISDICTION, AS DEFINED IN SECTION 103.1 OF THE RESIDENTIAL CODE, AND WHICH SHALL PROVIDE FOR ADMINISTRATION AND ENFORCEMENT OF THE UNIFORM CODE AND ENERGY CODE BY LOCAL LAW, ORDINANCE, OTHER APPROPRIATE REGULATION, OR COMBINATION THEREOF, IS THE VILLAGE OF DOBBS FERRY. THE DULY APPOINTED BUILDING OFFICIAL OF THE VILLAGE OF DOBBS FERRY IS AUTHORIZED TO ENFORCE THE PROVISIONS OF THE CODE. THE BUILDING OFFICIAL MAY ADOPT POLICIES AND PROCEDURES IN ORDER TO CLARIFY THE APPLICATION OF THE PROVISIONS OF THE CODE. SUCH POLICIES AND PROCEDURES SHALL BE IN COMPLIANCE WITH THE INTENT AND PURPOSE OF THE CODE.

2.0 DESIGN CRITERIA:

2.1 DEAD LOAD:

PER 301.4, THE ACTUAL WEIGHTS OF MATERIALS AND CONSTRUCTION SHALL BE USED FOR DETERMINING DEAD LOAD, THE FOLLOWING APPROXIMATIONS (IN PSF) ARE USED FOR THIS PROJECT:

USE	PSF
FRAMED WALL ASSEMBLY:	15
ROOF / CEILING ASSEMBLY:	20
FLOOR ASSEMBLY:	15

ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.2 LIVE LOAD:

UNIFORMLY DISTRIBUTED LIVE LOADS SHALL BE PER TABLE R301.5 AND AS FOLLOWS* (IN PSF):

USE	PSF	OTHER
UNINHABITABLE SPACE WITHOUT STORAGE:	10	(424H, 24"W)
UNINHABITABLE ATTICS W/LIMITED STORAGE:	20	
HABITABLE ATTICS & ATTICS W/FIXED STAIRS:	30	
EXTERIOR BALCONIES & DECKS:	30	
FIRE ESCAPES:	40	
GUARDS & HANDRAILS:	200	(CONCENTRATED)
GUARD IN-FILL COMPONENTS:	50	(HORIZONTAL)
PASSENGER VEHICLE GARAGE:	50	(82,000LB/20SI)
ROOMS OTHER THAN SLEEPING ROOMS:	40	
SLEEPING ROOMS:	40	(8,300LB/4SI)
STAIRS:	40	(8,300LB/4SI)
ROOF, PER 301.6 (INC. SNOW):	30	

*SOME OF THE LOADS LISTED ABOVE MAY BE HIGHER THAN THOSE REQUIRED PER CODE. ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.3 WIND LOAD:

WIND LOADS SHALL BE BASED ON THE ULTIMATE DESIGN WIND SPEED LISTED IN TABLE 301.2(1) AND ADJUSTED FOR HEIGHT AND EXPOSURE): 120 MPH. WIND LOADS WILL BE ALLOWED FOR IN: THE DESIGN LOAD PERFORMANCE REQUIREMENTS FOR WALL COVERINGS, ROOF COVERINGS, WINDOWS, SKYLIGHTS AND DOORS. COMPONENT AND CLADDING LOADS WILL BE PER TABLE R301.2(2)

2.4 ALLOWABLE LIVE LOAD DEFLECTION:

THE ALLOWABLE LIVE LOAD DEFLECTION OF ALL STRUCTURAL MEMBERS, SHALL BE PER TABLE R301.7 AND AS FOLLOWS:

STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
RAFTERS HAVING SLOPES GREATER THAN 3:12 WHIT FINISHED CEILING NOT ATTACHED TO RAFTERS	L/180
INTERIOR WALLS AND PARTITIONS	H/180
FLOORS	L/360
CEILING WITH BRITTLE FINISHES (INCLUDING PLASTER AND STUCCO)	L/360
CEILING WITH FLEXIBLE FINISHES (INCLUDING GYPSUM BOARD)	L/240
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS-WIND LOAD WITH PLASTER OR STUCCO FINISHES	L/360
EXTERIOR WALLS-WIND LOAD WITH OTHER BRITTLE FINISHES	H/240
EXTERIOR WALLS-WIND LOADS WITH FLEXIBLE FINISHES	H/120
LINTELS SUPPORTING MASONRY VENEER WALLS	L/600

2.5 CLIMATIC AND GEOGRAPHIC CRITERIA:

CLIMATIC AND DESIGN CRITERIA FOR THE VILLAGE OF DOBBS FERRY ARE PER TABLE R301.2(1) AND AS FOLLOWS:

PER 2020 RESIDENTIAL CODE OF NEW YORK STATE, TABLE 301.2(1)							(WIND) EXPOSURE CATEGORY: B			CLIMATE ZONE: 4A			
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLMT. REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	WIND SPEED MPH	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WINDBORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
30 PSF	115-120	NO	NO	NO	C	SEVERE	3'-6"	MOD/SEVERE	15	YES	MINIMAL	615	52.5°

3.0 CONTRACTOR'S RESPONSIBILITIES:

THE CONTRACTOR SHALL:

- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR A COMPLETE AND FINISHED JOB.
- PROVIDE ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.
- OBTAIN AND PAY FOR ALL REQUIRED PERMITS - UNLESS OTHERWISE STIPULATED.
- PRIOR TO THE SUBMISSION OF ANY BID, AND BEFORE PROCEEDING WITH ANY WORK, VISIT THE SITE AND VERIFY AND FAMILIARIZE HIM/HERSELF WITH ALL SITE DIMENSIONS AND CONDITIONS, WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION, METHODS AND ROUTES OF ACCESS, AND THE EXISTENCE AND EXTENT OF ANY OTHER RESTRICTIONS, AND BE RESPONSIBLE FOR THE VERIFICATION OF ALL SUCH CONDITIONS AND DIMENSIONS WHICH PERTAIN TO THE PROJECT.
- BRING ALL DISCREPANCIES IN CONDITIONS AND DIMENSIONS, BETWEEN THE APPROVED DRAWINGS AND ACTUAL FIELD CONDITIONS, TO THE IMMEDIATE ATTENTION OF THE OWNER, AND RECEIVE DIRECTION IN WRITING, BEFORE PROCEEDING WITH THE AFFECTED WORK.
- VERIFY THE AVAILABILITY, LOCATION LAYOUT AND CONDITION OF UTILITIES, INCLUDING SEWER, WATER, GAS AND ELECTRIC LINES, PRIOR TO THE SUBMISSION OF ANY BID.
- HAVE CONTROL OVER AND SUPERVISE AND DIRECT THE WORK, INCLUDING THAT OF ITS SUBCONTRACTORS, AND BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR JOBSITE SAFETY, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, VERIFY THE CONDITION OF ALL ADJOINING STRUCTURES WHICH MAY BE AFFECTED, AND PROVIDE ADEQUATE PROTECTION TO ANY STRUCTURE THAT MIGHT BE OTHERWISE AFFECTED.
- IN THE EVENT THAT DAMAGE IS CAUSED TO ANY STRUCTURE, FINISH, OR OTHER ELEMENT, RESTORE SUCH ELEMENTS TO THEIR ORIGINAL CONDITION.
- IF APPLICABLE, PROVIDE WEATHER PROTECTION, IN AN EFFECTIVE AND TIMELY MANNER, TO PROTECT THE PREMISES, PERSONNEL, MATERIALS AND INSTALLED WORK.
- BE A HOME IMPROVEMENT CONTRACTOR WITH A CURRENT LICENSE ISSUED BY THE WESTCHESTER COUNTY DEPARTMENT OF CONSUMER AFFAIRS.
- BE CERTIFIED AS A LEAD SAFE FIRM BY THE EPA PER 40 CFR 745.226.
- CARRY LIABILITY INSURANCE TO THE LIMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION AND ISSUE CERTIFICATE(S) OF INSURANCE AS REQUIRED BY THE HOMEOWNER AND/OR THAT AUTHORITY.
- CARRY WORKMAN'S COMPENSATION AND DISABILITY INSURANCE AS REQUIRED THE LAW AND ISSUE CERTIFICATE(S) AS REQUIRED BY THE HOMEOWNER AND/OR THE AUTHORITY HAVING JURISDICTION.

4.0 BUILDING PERMIT:

NO PERSON OR ENTITY SHALL COMMENCE, PERFORM, OR CONTINUE ANY WORK THAT MUST CONFORM WITH THE UNIFORM CODE AND/OR ENERGY CODE UNLESS:

- SUCH PERSON OR ENTITY HAS APPLIED TO THE VILLAGE OF DOBBS FERRY FOR A BUILDING PERMIT.
- THE VILLAGE OF DOBBS FERRY HAS ISSUED A BUILDING PERMIT AUTHORIZING SUCH WORK.
- SUCH BUILDING PERMIT HAS NOT BEEN REVOKED OR SUSPENDED, AND
- SUCH BUILDING PERMIT HAS NOT EXPIRED.

THE BUILDING PERMIT IS REQUIRED TO BE VISIBLY DISPLAYED AT THE WORKSITE AND TO REMAIN VISIBLE UNTIL THE PROJECT, AND ALL REQUIRED INSPECTIONS, HAVE BEEN COMPLETED.

THE APPROVED DRAWINGS MUST BE KEPT AT THE WORKSITE AND BE AVAILABLE FOR REVIEW AT THE TIME OF ANY REQUIRED INSPECTIONS.

5.0 CONSTRUCTION INSPECTIONS:

IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING PERMIT, OR THEIR DULY AUTHORIZED AGENT, TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION:

BUILDING DEPARTMENT OF THE VILLAGE OF DOBBS FERRY.
112 MAIN STREET
DOBBS FERRY, NY 10522
TEL: (914) 231-6513
EMAIL: droemer@dobbsferry.com
WEB SITE: www.dobbsferry.com/building-department

ANY PERSON OR ENTITY PERFORMING WORK FOR WHICH A BUILDING PERMIT HAS BEEN ISSUED SHALL KEEP SUCH WORK ACCESSIBLE AND EXPOSED UNTIL THE WORK HAS BEEN INSPECTED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION, OR ITS AUTHORIZED AGENT, AT EACH ELEMENT OF THE CONSTRUCTION PROCESS THAT IS APPLICABLE TO THE WORK.

BUILDING PERMIT HOLDERS SHALL BE REQUIRED TO NOTIFY THE BUILDING OFFICIAL OF THE VILLAGE OF DOBBS FERRY WHEN CONSTRUCTION WORK IS READY FOR INSPECTION.

THE BUILDING OFFICIAL SHALL MAKE THE REQUIRED INSPECTIONS OR SHALL HAVE THE AUTHORITY TO ACCEPT WRITTEN REPORTS OF INSPECTION BY APPROVED AGENCIES OR INDIVIDUALS.

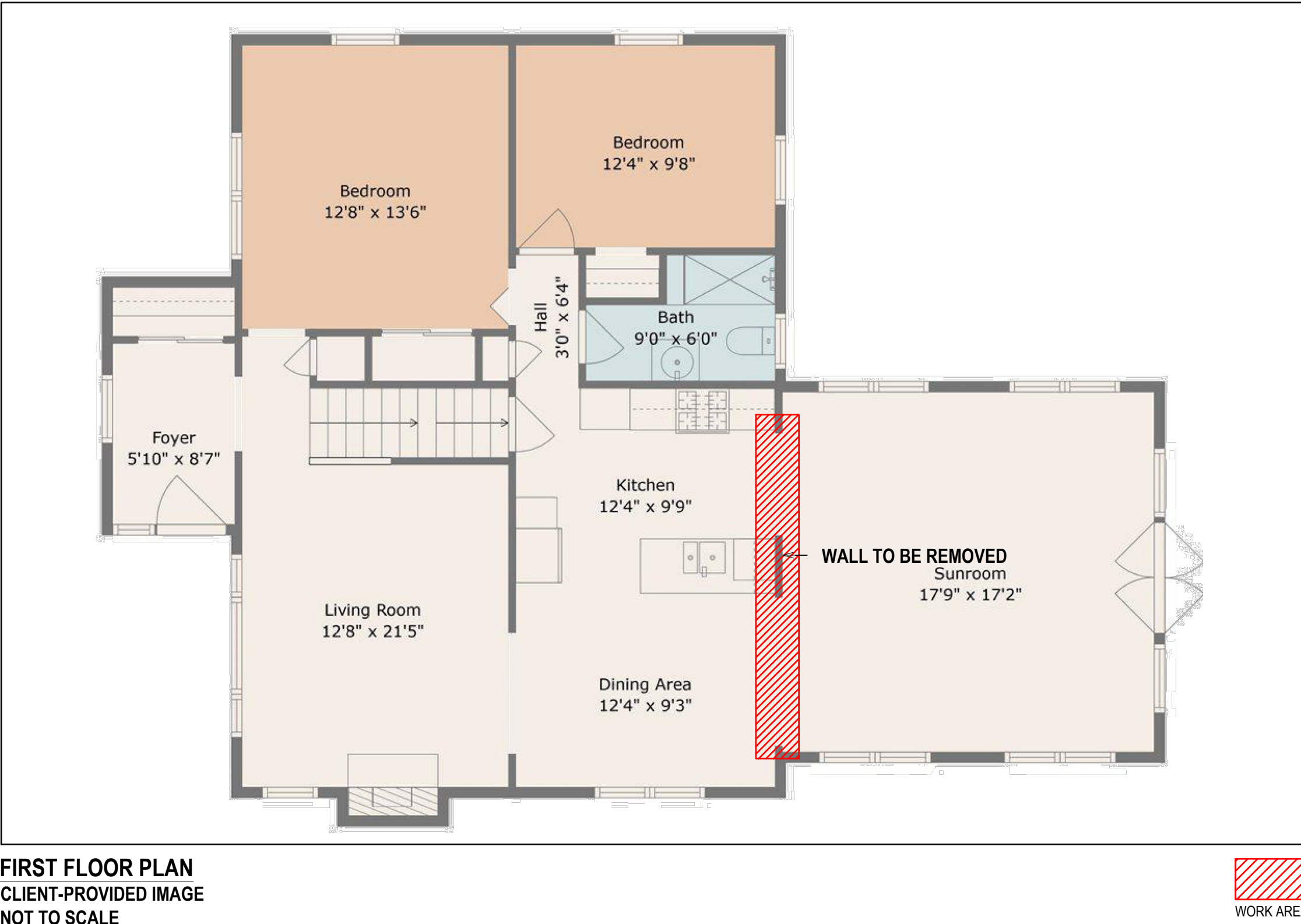
REQUIRED INSPECTIONS FOR THIS PROJECT MAY INCLUDE THE FOLLOWING, AS APPLICABLE, OR AS SPECIFIED IN THE CODE ENFORCEMENT PROGRAM OF THE VILLAGE OF DOBBS FERRY:

- WORKSITE PRIOR TO THE ISSUANCE OF A PERMIT
 - PLUMBING*
 - ELECTRICAL*
 - MECHANICAL
 - FRAMING (SUBSEQUENT TO THE INSPECTION & APPROVAL OF PLUMBING, ELECTRICAL & MECHANICAL)
 - FIRE RESISTANT CONSTRUCTION
 - FIRE RESISTANT PENETRATIONS
 - ENERGY CODE COMPLIANCE
 - A FINAL INSPECTION AFTER ALL WORK AUTHORIZED BY THE BUILDING PERMIT HAS BEEN COMPLETED
 - ANY OTHER INSPECTIONS AS REQUIRED BY THE VILLAGE OF DOBBS FERRY.
- ALL OF THE ABOVE INSPECTION MAY NOT BE REQUIRED FOR THIS, OR ANY GIVEN, PROJECT. A SCHEDULE OF REQUIRED INSPECTIONS IS AVAILABLE FROM THE BUILDING DEPARTMENT OF THE VILLAGE OF DOBBS FERRY.
- *THE WORK APPLICABLE TO SOME OF THE ABOVE INSPECTIONS (FOR INSTANCE PLUMBING AND ELECTRICAL) SHALL BE COMPLETED UNDER A SEPARATE PERMIT, FILED BY THE RELEVANT LICENSED CONTRACTORS.

AFTER INSPECTION, THE WORK OR A PORTION THEREOF SHALL BE NOTED AS SATISFACTORY AS COMPLETED, OR THE BUILDING PERMIT HOLDER SHALL BE NOTIFIED AS TO THE MANNER IN WHICH THE WORK FAILS TO COMPLY WITH APPLICABLE CODES, INCLUDING A CITATION OF THE SPECIFIC CODE PROVISION OR PROVISIONS THAT HAVE NOT BEEN MET.

IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO ASCERTAIN THE RESULTS OF REQUIRED INSPECTIONS.

CONSTRUCTION WORK NOT IN COMPLIANCE WITH APPLICABLE CODES SHALL BE REQUIRED TO REMAIN EXPOSED UNTIL IT HAS BEEN BROUGHT INTO COMPLIANCE WITH THE CODES, RE-INSPECTED, AND FOUND SATISFACTORY AS COMPLETED.



FIRST FLOOR PLAN
CLIENT-PROVIDED IMAGE
NOT TO SCALE

DEMOLITION:

THE CONTRACTOR SHALL:
DEMOLISH AND REMOVE ALL ELEMENTS NOTED IN THE DRAWINGS FOR DEMOLITION, AND AS REQUIRED FOR THE COMPLETION OF ALL WORK SHOWN ON THESE DRAWINGS.

ALLOW NO DEBRIS TO ACCUMULATE: HAUL AWAY FROM SITE ALL DEBRIS AT CONTRACTOR'S EXPENSE; REMOVE ALL DEBRIS ON A REGULAR BASIS AND MAINTAIN JOBSITE IN A CLEAN AND TIDY CONDITION.

FULLY PROTECT ALL STRUCTURES, BUILDING ELEMENTS, EQUIPMENT, APPLIANCES AND FINISHES THAT ARE TO REMAIN FROM DAMAGE CAUSED BY ANY OF THE CONTRACTORS ACTIVITIES.

PROTECT ALL ADJACENT AREAS, AND ALL NEIGHBORING PROPERTY, FROM DAMAGE, INJURY AND DISCOMFORT CAUSED BY DUST.

PROTECT ALL PUBLIC PROPERTIES AND PREMISES FROM DAMAGE AND PREVENT ANY ACCUMULATION OF DEBRIS, DUST OR RUBBISH IN ANY PUBLIC AREA.

ASSUME FULL RESPONSIBILITY FOR ANY DAMAGE CAUSED TO EXISTING ELEMENTS AND MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.

CONDUCT ALL DEMOLITION OPERATIONS IN SUCH A MANNER AS TO PREVENT UNAUTHORIZED ENTRY OF ANY PERSONS AT ANY TIME; POST APPROPRIATE SIGNAGE AS REQUIRED.

LOCATE ALL UTILITY AND DRAINAGE LINES PRIOR TO COMMENCEMENT OF DEMOLITION AND PROTECT ALL ACTIVE LINES AS REQUIRED. IDENTIFY CLEARLY ANY WORK THAT MAY RESULT IN THE INTERRUPTION OF ANY SERVICES WITHIN THE AREA OF WORK OR IN ANY ADJACENT SPACE OR PROPERTY AND COORDINATE SUCH INTERRUPTIONS WITH ALL INVOLVED PARTIES.

NOTIFY THE OWNER, UTILITY COMPANIES, FIRE DEPARTMENT, ALARM COMPANIES, ETC. OF ANY WORK AFFECTING THEIR SYSTEMS AS REQUIRED BY ALL APPLICABLE CODES, RULES, AND REGULATIONS.

STRUCTURAL STEEL:

STRUCTURAL STEEL MEMBERS:

STRUCTURAL STEEL SHAPES SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:

- W-SHAPES: ASTM A992 (F_y = 50-65 KSI, F_u = 65 KSI)
- M, S- & HP-SHAPES: ASTM A36 (F_y = 36 KSI, F_u = 58-80 KSI)
- CHANNELS (C & MC): ASTM A36 (F_y = 36 KSI, F_u = 58-80 KSI)
- ANGLES (L): ASTM A36 (F_y = 36 KSI, F_u = 58-80 KSI)
- STRUCTURAL TEES: SAME AS (THEIR) M, S- & W-SHAPES
- RECTANGULAR & SQUARE HSS: ASTM A500 GRADE B (F_y = 46 KSI, F_u = 58 KSI)
- ROUND HSS: ASTM A500 GRADE B (F_y = 42 KSI, F_u = 58 KSI)
- STEEL PIPE: ASTM A53 GRADE B (F_y = 35 KSI, F_u = 60 KSI)
- PLATES & BARS (UP TO 8"): ASTM A36 (F_y = 36 KSI, F_u = 58-80 KSI)
- PLATES & BARS (> 8"): ASTM A36 (F_y = 32 KSI, F_u = 58 KSI)

FASTENING PRODUCTS:

FASTENING PRODUCTS SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:

- H.S. A325 BOLTS: >1"-1 1/2" INC.: ASTM A325 (F_y = 120 KSI)
- H.S. A325 BOLTS: 1/2" - 1" INC.: ASTM A325 (F_y = 105 KSI)
- H.S. A490 BOLTS: 1/2" - 1 1/2" INC.: ASTM A490 (F_y = 150 KSI)
- HEAVY-DUTY HEX NUTS: 1/2" - 4": ASTM A563
- H.S. A490 BOLTS: 3/2" - 1 1/2" INC.: ASTM A490 (F_y = XX KSI, F_u = 150 KSI)
- THREADED ROD: ASTM A36 (F_y = 36 KSI, F_u = 58-80 KSI)
- ANCHOR ROD: ASTM F1554, GR. 36 (F_y = 36 KSI, F_u = 58-80 KSI)
- FILLER (WELD) MATERIAL: PER TABLE D1.1 TABLE 3.1 (MINIMUM F_{0.2} = 70KSI)
- WELDING ELECTRODES: E70XX RODS TO AWS A5.20 (FCA PROCESS) OR AWS A5.18 (GMAW PROCESS) OR AWS A5.1 (SMAW PROCESS)



EXISTING CONDITION
CLIENT-PROVIDED IMAGE

STATEMENT OF DESIGN PROFESSIONAL:

- THESE PLANS HAVE BEEN PREPARED IN CONFORMANCE WITH 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS).
- TO THE BEST OF MY KNOWLEDGE AND PROFESSIONAL JUDGEMENT, THESE PLANS ARE IN CONFORMANCE WITH THE 2020 ENERGY CONSERVATION CODE OF THE STATE OF NEW YORK.

VINCENT COAKLEY, P.E.
(STAMP AFFIXED AND SIGNED).

LIST OF DRAWINGS			
SHEET	DRAWING NAME	DATE	REVISION
C-01	COVER SHEET	12.16.2024	01.07.2025
S-01	PLANS AND DETAILS	12.16.2024	01.07.2025
S-02	KITCHEN LAYOUT	12.16.2024	01.07.2025

PROPERTY ADDRESS:

DOBBS FERRY, NY 10522
(VILLAGE OF DOBBS FERRY
BUILDING DEPARTMENT)

***:
3.170-151-20

CLIENT:

*** ***

TEL:

EMAIL:

DATE:

12.16.2024

DATE:

01.07.2025

ISSUE:

PRELIMINARY

FOR PERMIT

PROJECT NAME:

REMOVE LOAD-BEARING
WALL AT KITCHEN

DRAWING NAME:

COVER SHEET

DRAWING NUMBER:

C-01

DATE:

01.07.2025

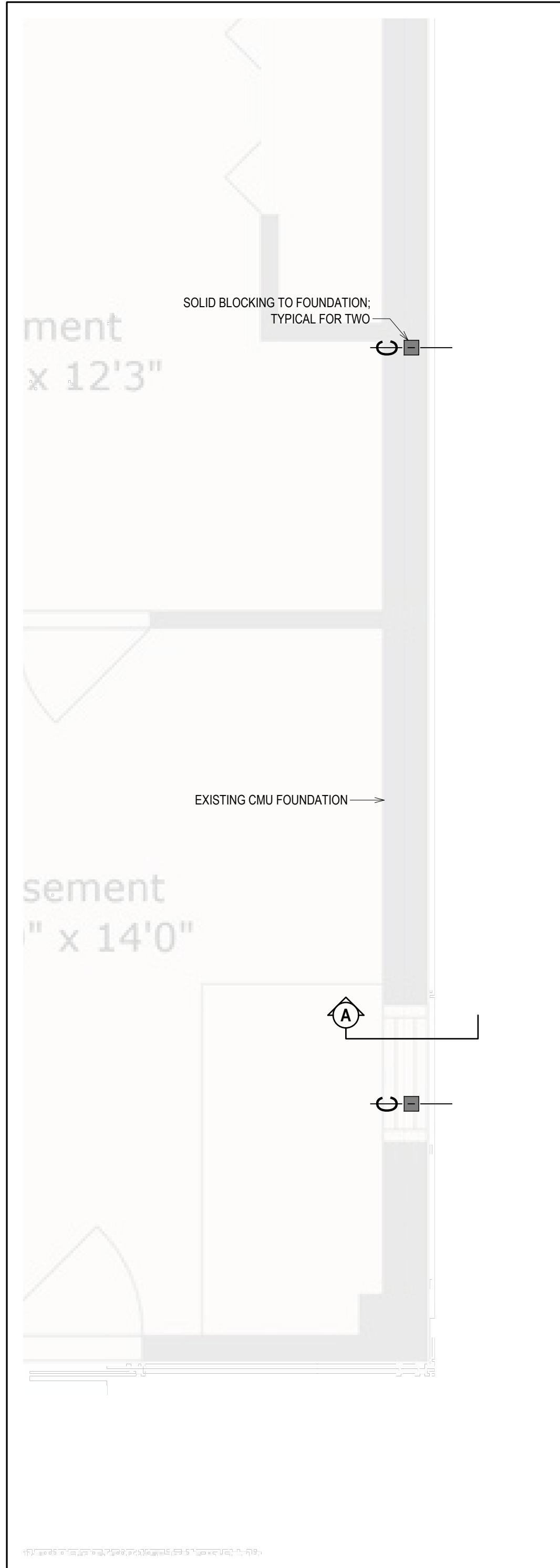
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AS NOTED

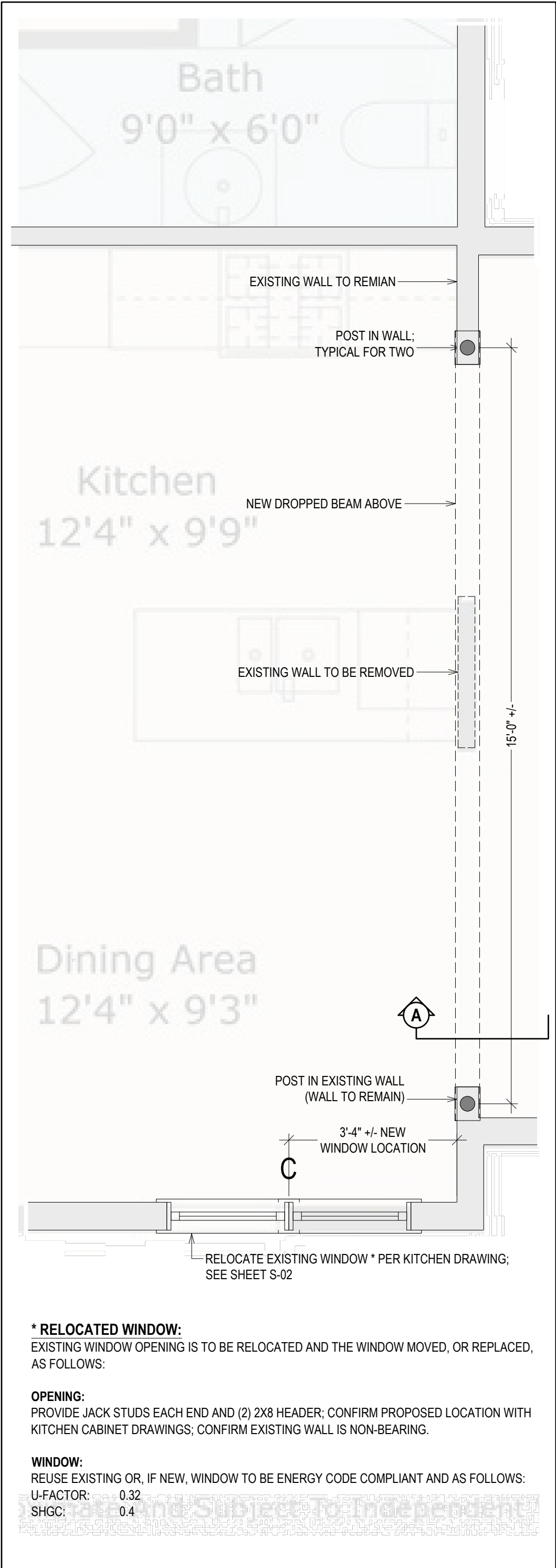
NOTE:

THIS DRAWING IS VALID FOR CONSTRUCTION IF (AND ONLY IF) A PERMIT IS ISSUED, BASED ON THIS DRAWING, BY THE VILLAGE OF DOBBS FERRY.

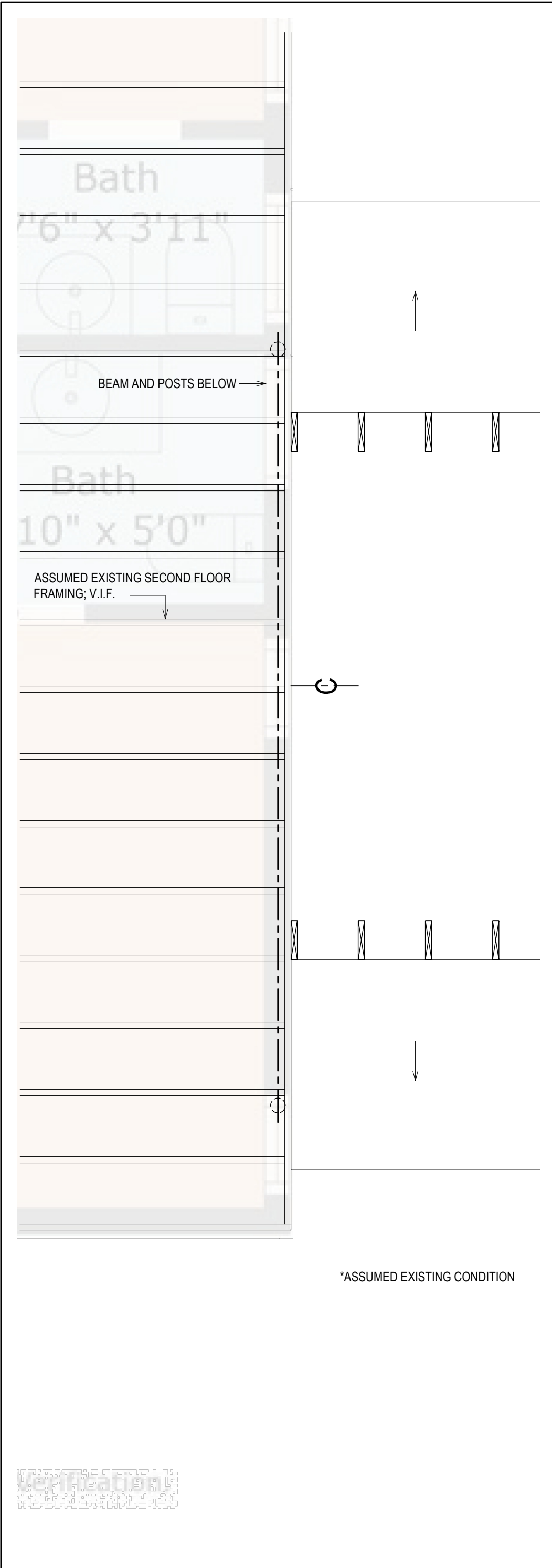
Oliver Engineering, P.C.
Design - Permit Applications - Legalizations
Code Compliance - Project Supervision
188 North Main Street | Port Chester, NY 10573
(914) 774-9878 | www.proeng.nyc | vc@proeng.nyc



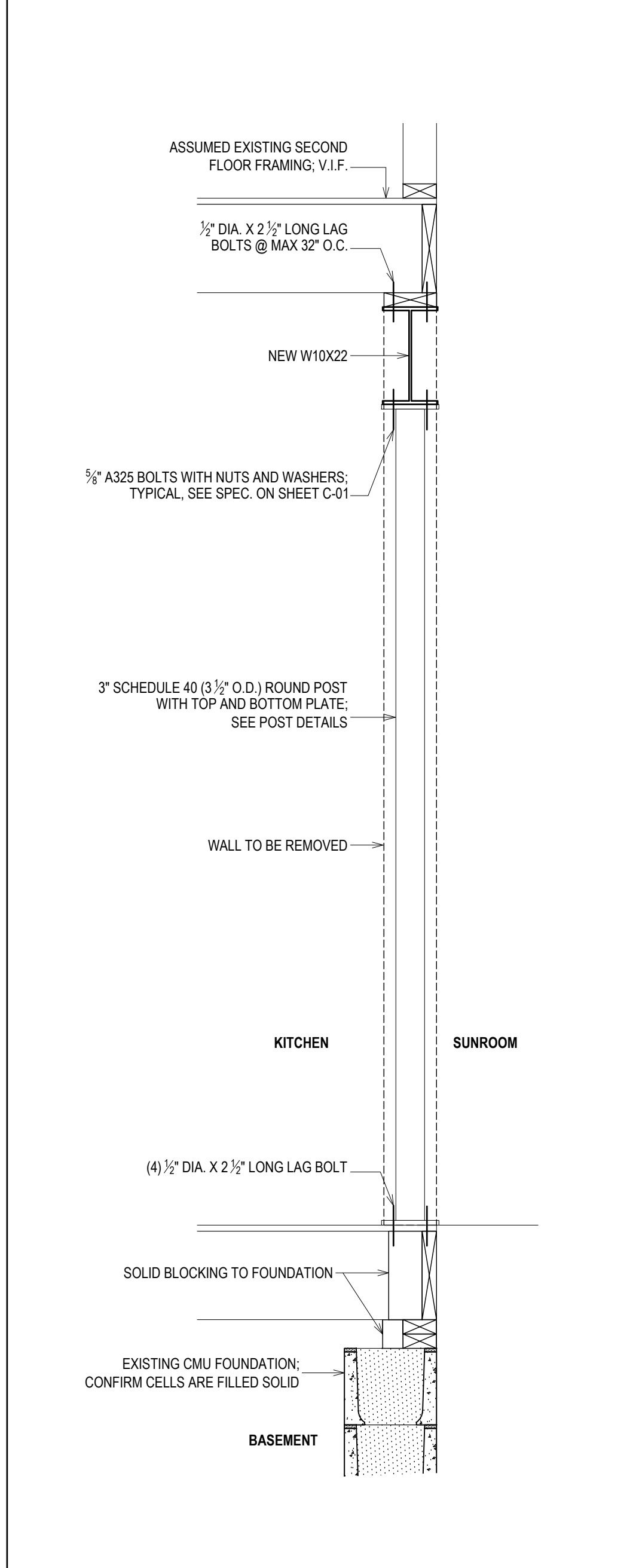
PARTIAL BASEMENT PLAN
1/2" = 1'-0"



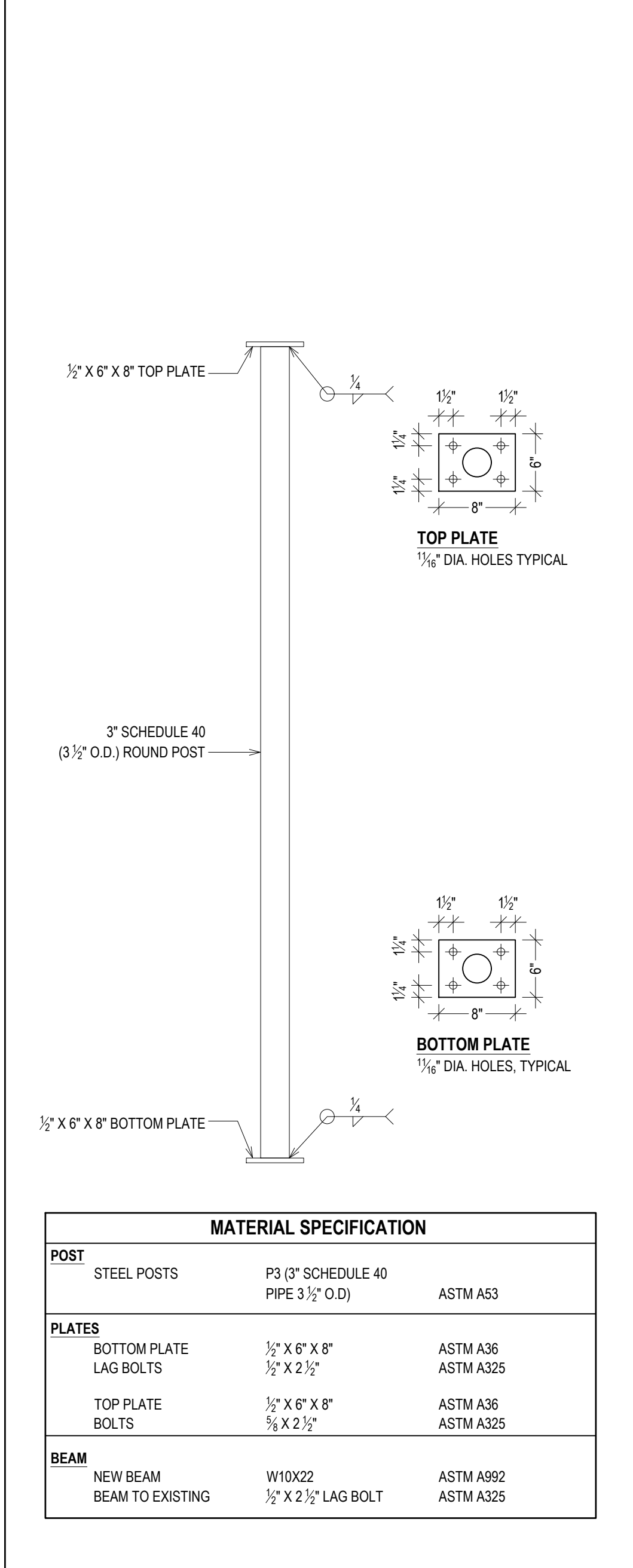
PARTIAL FIRST FLOOR
1/2" = 1'-0"



PARTIAL SECOND FLOOR
1/2" = 1'-0"



SECTION A
1" = 1'-0"



POST DETAILS
1" = 1'-0"

MATERIAL SPECIFICATION		
POST	STEEL POSTS	P3 (3" SCHEDULE 40 PIPE 3 1/2" O.D.) ASTM A53
PLATES	BOTTOM PLATE	1/2" X 6" X 8"
	LAG BOLTS	1/2" X 2 1/2"
TOP PLATE	BOLTS	1/2" X 6" X 8"
	BOLTS	1/2" X 2 1/2"
BEAM	NEW BEAM	W10X22
	BEAM TO EXISTING	1/2" X 2 1/2" LAG BOLT

SAMPLE ONLY
NOT FOR REPRODUCTION
OR UNAUTHORIZED USE

PROPERTY ADDRESS:

DOBBS FERRY, NY 10522
(VILLAGE OF DOBBS FERRY
BUILDING DEPARTMENT)

3.170-151-20

CLIENT:
*** ***

TEL: ***
EMAIL: ***

DATE: 12.16.2024
01.07.2025
ISSUE: PRELIMINARY
FOR PERMIT

PROJECT NAME:
REMOVE LOAD-BEARING
WALL AT KITCHEN

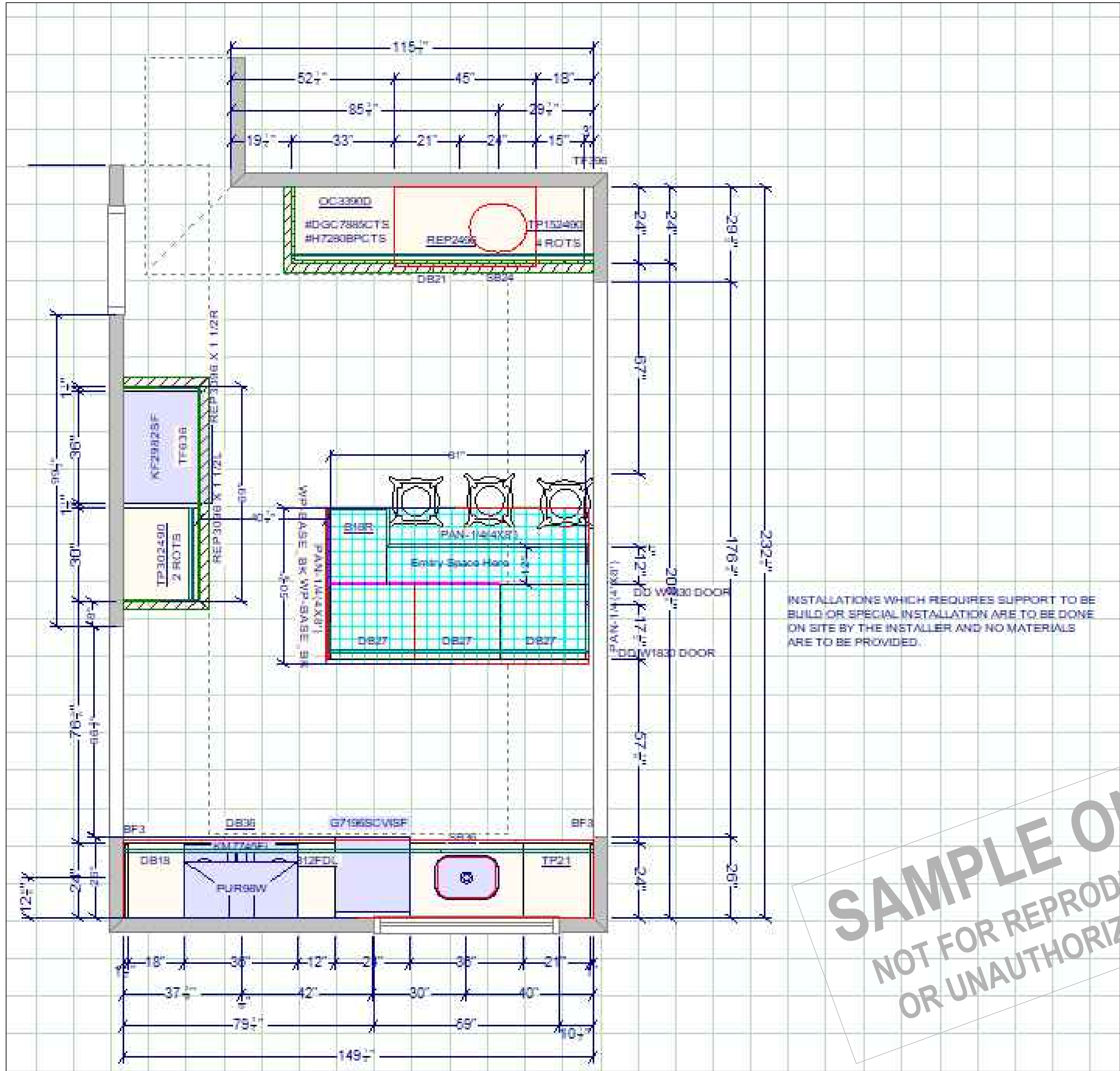
DRAWING NAME:
PLANS AND DETAILS

DRAWING NUMBER:
S-01

DATE:
01.07.2025

SCALE:
AS NOTED

NOTE:
THIS DRAWING IS VALID FOR
CONSTRUCTION IF (AND ONLY IF) A
PERMIT IS ISSUED, BASED ON THIS
DRAWING, BY THE VILLAGE OF DOBBS
FERRY.



KITCHEN LAYOUT
DRAWING PROVIDED BY CENTRAL CABINETS
NOT TO SCALE

THIS DRAWING IS AS A SAMPLE ONLY
*** PERSONAL (CLIENT) INFORMATION WITHHELD

CENTRAL CABINETS
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PROPERTY ADDRESS:

DOBBS FERRY, NY 10522
(VILLAGE OF DOBBS FERRY
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***:

3.170-151-20

CLIENT:

*** ***

TEL:

EMAIL:

DATE:

12.16.2024

ISSUE:

PRELIMINARY

01.07.2025

FOR PERMIT

PROJECT NAME:

REMOVE LOAD-BEARING
WALL AT KITCHEN

DRAWING NAME:

KITCHEN LAYOUT

DRAWING NUMBER:

S-02

DATE:

01.07.2025

SCALE:

AS NOTED

NOTE:

THIS DRAWING IS VALID FOR
CONSTRUCTION IF (AND ONLY IF) A
PERMIT IS ISSUED, BASED ON THIS
DRAWING, BY THE VILLAGE OF DOBBS
FERRY.