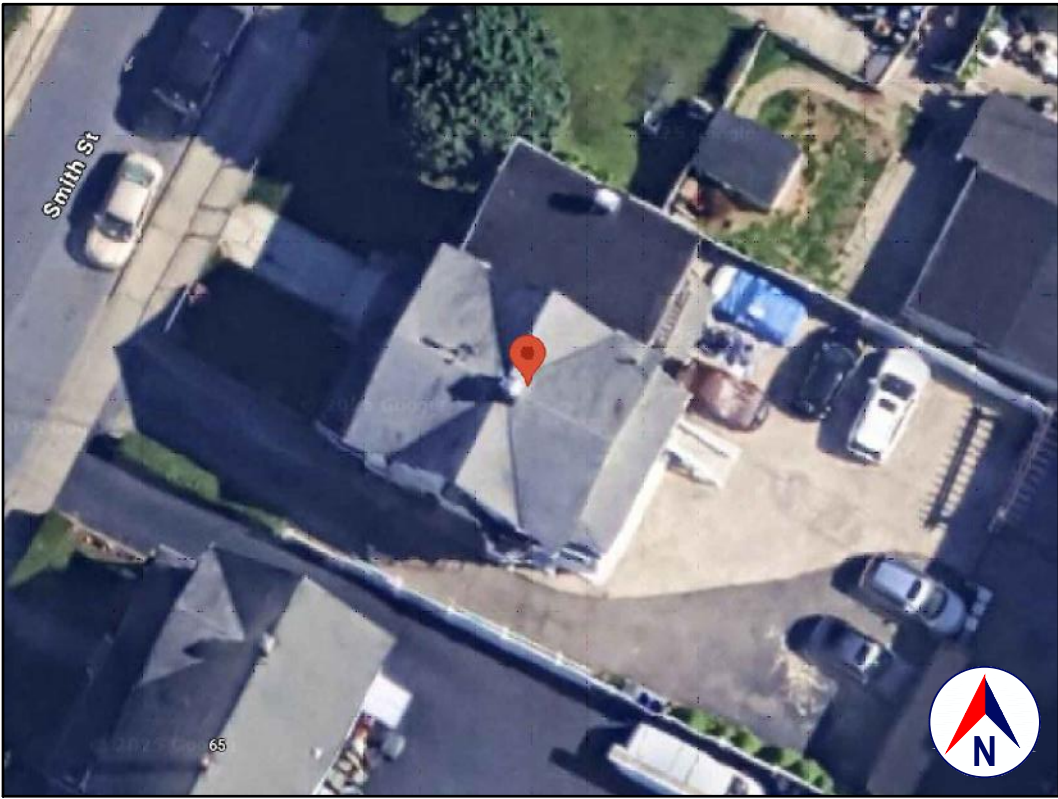
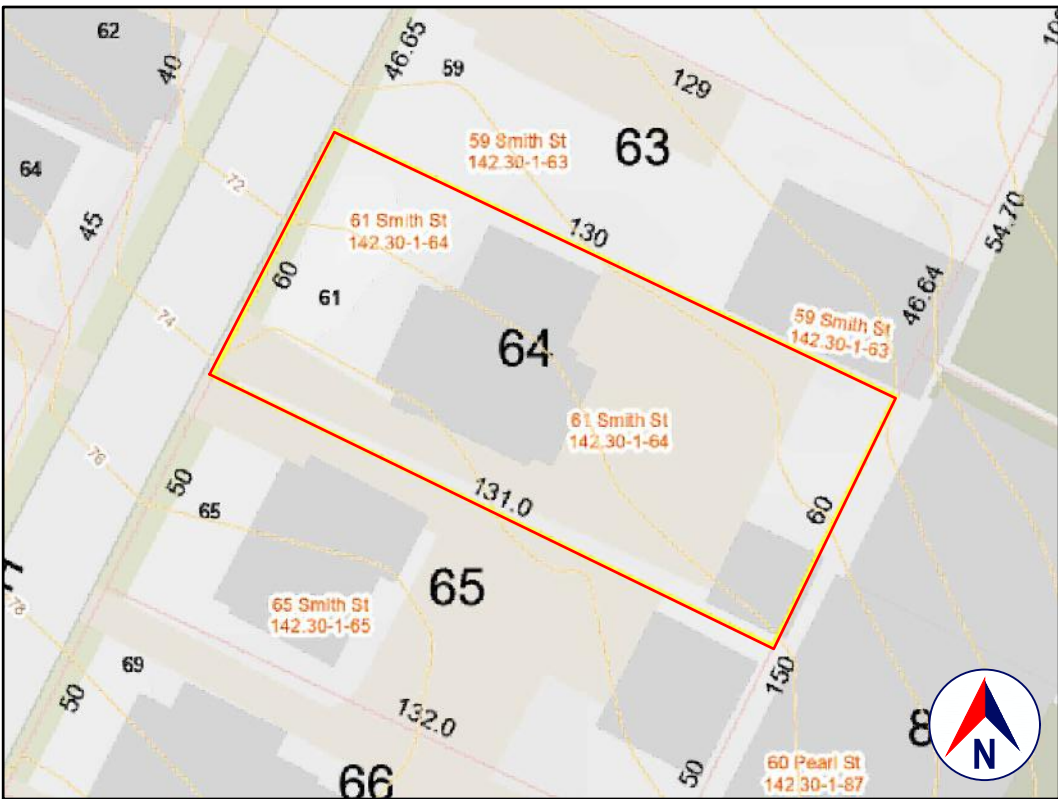


LOCATION
GOOGLE MAPS

***, PORT CHESTER



SATELLITE VIEW
GOOGLE EARTH



TAX MAP AND TOPO
WESTCHESTER COUNTY GIS

S-B-L: ***



FRONT VIEW
GOOGLE STREET VIEW

1.0 GENERAL REQUIREMENTS:

1.1 PROJECT SCOPE:

CERTIFY COMPLIANCE OF EXISTING FIRE ESCAPE AND BALCONIES.

1.2 DESIGN INTENT:

THE INVOLVEMENT OF OLIVER ENGINEERING IN THIS PROJECT IS: PROVIDE CERTIFICATION.

IT IS THE INTENT OF THESE DRAWINGS TO CALL FOR COMPLETE AND FINISHED WORK, IN COMPLIANCE WITH THE NOTED CODES, AND TESTED AND GUARANTEED AND READY FOR OPERATION.

THE ENGINEER HAS NOT BEEN ENGAGED TO SUPERVISE ANY WORK AND DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

1.3 EXISTING CONSTRUCTION TYPE:

THE EXISTING BUILDING, PER THE BUILDING CODE OF NEW YORK STATE, TABLE 601 IS CONSTRUCTION TYPE VB - CONSTRUCTION WHERE THE PRIMARY ELEMENTS ARE NOT REQUIRED TO BE FIRE RATED.

1.4 CLASSIFICATION OF PROPOSED WORK:

ALL PROPOSED WORK IS OUTSIDE THE EXISTING BUILDING ENVELOPE.

THIS IS TO PROVIDE FOR, AND GIVE DETAILS OF, A STRUCTURAL INSPECTION ONLY; IT DOES NOT CONSTITUTE, IN ITS CURRENT FORMAT, A CONSTRUCTION DOCUMENT. APPLICABLE CODES, PERMIT REQUIREMENTS AND INSPECTIONS, AS MAY BE NOTED HEREIN, MAY APPLY TO ANY WORK PERFORMED SUBSEQUENT TO THE INSPECTION.

1.5 ZONING, OCCUPANCY AND USE:

YEAR BUILT: 1900 (PER ZILLOW)
ZONING: R2F TWO-FAMILY RESIDENCE
OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-3 *
EXISTING USE: MULTIFAMILY
PROPOSED USE: MULTIFAMILY (NO CHANGE)

* WHERE THE OCCUPANTS ARE PRIMARILY PERMANENT IN NATURE AND NOT CLASSIFIED AS OCCUPANCY GROUP R-1, R-2, R-4 OR I, INCLUDING BUILDINGS THAT DO NOT CONTAIN MORE THAN TWO DWELLING UNITS.

1.6 COMPLIANCE:

- ALL WORK SHALL BE IN COMPLIANCE WITH THE FOLLOWINGS CODES:
- GENERAL: 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS)
 - EXISTING: EXISTING BUILDING CODE OF NEW YORK STATE (INTERNATIONAL EXISTING BUILDING CODE 2018 WITH AMENDMENTS)
 - FIRE: NEW YORK STATE FIRE CODE 2020 (INTERNATIONAL FIRE CODE 2018 WITH AMENDMENTS)
 - ENERGY: NOT APPLICABLE TO THESE DRAWINGS.
 - PLUMBING: NOT APPLICABLE TO THESE DRAWINGS.
 - ELECTRICAL: NOT APPLICABLE TO THESE DRAWINGS.
 - DRAINAGE: NOT APPLICABLE TO THESE DRAWINGS.
 - MAINTENANCE: NOT APPLICABLE TO THESE DRAWINGS
 - MUNICIPAL: CHAPTER 151, BUILDING CODE ADMINISTRATION AND ENFORCEMENT OF THE CODE OF THE VILLAGE OF PORT CHESTER.
 - OTHER: ALL REFERENCED CODES, OTHER CODES AND REGULATIONS, FEDERAL, STATE AND LOCAL, THAT MAY APPLY.

1.7 AUTHORITY HAVING JURISDICTION:

THE AUTHORITY HAVING JURISDICTION, AS DEFINED IN SECTION 103.1 OF THE RESIDENTIAL CODE, AND WHICH SHALL PROVIDE FOR ADMINISTRATION AND ENFORCEMENT OF THE UNIFORM CODE AND ENERGY CODE BY LOCAL LAW, ORDINANCE, OTHER APPROPRIATE REGULATION, OR COMBINATION THEREOF, IS THE VILLAGE OF PORT CHESTER.

THE DULY APPOINTED BUILDING OFFICIAL OF THE VILLAGE OF PORT CHESTER IS AUTHORIZED TO ENFORCE THE PROVISIONS OF THE CODE.

THE BUILDING OFFICIAL MAY ADOPT POLICIES AND PROCEDURES IN ORDER TO CLARIFY THE APPLICATION OF THE PROVISIONS OF THE CODE. SUCH POLICIES AND PROCEDURES SHALL BE IN COMPLIANCE WITH THE INTENT AND PURPOSE OF THE CODE.

2.0 DESIGN CRITERIA:

2.1 DEAD LOAD:

PER 301.4, THE ACTUAL WEIGHTS OF MATERIALS AND CONSTRUCTION SHALL BE USED FOR DETERMINING DEAD LOAD; THE FOLLOWING APPROXIMATIONS (IN PSF) ARE USED FOR THIS PROJECT:

USE	PSF
FRAMED WALL ASSEMBLY:	15
ROOF / CEILING ASSEMBLY:	20
FLOOR ASSEMBLY:	15

ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.2 LIVE LOAD:

UNIFORMLY DISTRIBUTED LIVE LOADS SHALL BE PER TABLE R301.5 AND AS FOLLOWS* (IN PSF):

USE	PSF	OTHER
UNINHABITABLE SPACE WITHOUT STORAGE:	10	(42" H, 24" W)
UNINHABITABLE ATTICS W/ LIMITED STORAGE:	20	
HABITABLE ATTICS & ATTICS W/ FIXED STAIRS:	30	
EXTERIOR BALCONIES & DECKS:	40	
FIRE ESCAPES:	40	
GUARDS & HANDRAILS:	200	(CONCENTRATED)
GUARD IN-FILL COMPONENTS:	50	(HORIZONTAL)
PASSENGER VEHICLE GARAGE:	50	(82,000LB/2053)
ROOMS OTHER THAN SLEEPING ROOMS:	40	
SLEEPING ROOMS:	40	
STAIRS:	40	(8, 300LB/451)
ROOF, PER 301.6 (INC. SNOW):	30	

* SOME OF THE LOADS LISTED ABOVE MAY BE HIGHER THAN THOSE REQUIRED PER CODE. ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.3 WIND LOAD:

WIND LOADS SHALL BE BASED ON THE ULTIMATE DESIGN WIND SPEED LISTED IN TABLE 301.2(1) AND ADJUSTED FOR HEIGHT AND EXPOSURE):
120 MPH: WIND LOADS WILL BE ALLOWED FOR IN THE DESIGN LOAD PERFORMANCE REQUIREMENTS FOR WALL COVERINGS, ROOF COVERINGS, WINDOWS, SKYLIGHTS AND DOORS.
COMPONENT AND CLADDING LOADS WILL BE PER TABLE R301.2(2)

2.4 ALLOWABLE LIVE LOAD DEFLECTION:

THE ALLOWABLE LIVE LOAD DEFLECTION OF ALL STRUCTURAL MEMBERS, SHALL BE PER TABLE R301.7 AND AS FOLLOWS:

STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
RAFTERS HAVING SLATES GRATER THAN 3:12 WHIT FINISHED	L/180
CEILING NOT ATTACHED TO RAFTERS	H/180
INTERIOR WALLS AND PARTITIONS	L/360
FLOORS	L/360
CEILING WITH BRITTLE FINISHES (INCLUDING PLASTER AND STUCCO)	L/240
CEILING WITH FLEXIBLE FINISHES (INCLUDING GYPSUM BOARD)	L/240
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS-WIND LOAD WITH PLASTER OR STUCCO FINISHES	L/360
EXTERIOR WALLS-WIND LOAD WITH OTHER BRITTLE FINISHES	H/240
EXTERIOR WALLS-WIND LOADS WITH FLEXIBLE FINISHES	H/120
LINTELS SUPPORTING MASONRY VENEER WALLS	L/600

2.5 CLIMATIC AND GEOGRAPHIC CRITERIA:

CLIMATIC AND DESIGN CRITERIA FOR THE VILLAGE OF PORT CHESTER ARE PER TABLE R301.2(1) BELOW:

PER 2020 RESIDENTIAL CODE OF NEW YORK STATE, TABLE 301.2(1)						(WIND) EXPOSURE CATEGORY: B					CLIMATE ZONE: 4A		
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLMT. REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	WIND SPEED MPH	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WINDBORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
30 PSF	115-120	NO	NO	NO	C	SEVERE	3'-6"	MOD/SEVERE	15	YES	MINIMAL	615	52.5°

3.0 CONTRACTOR'S RESPONSIBILITIES:

THE CONTRACTOR SHALL:

- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR A COMPLETE AND FINISHED JOB.
- PROVIDE ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.
- OBTAIN AND PAY FOR ALL REQUIRED PERMITS - UNLESS OTHERWISE STIPULATED.
- PRIOR TO THE SUBMISSION OF ANY BID, AND BEFORE PROCEEDING WITH ANY WORK, VISIT THE SITE AND VERIFY AND FAMILIARIZE HIM/HERSELF WITH ALL SITE DIMENSIONS AND CONDITIONS, WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION, METHODS AND ROUTES OF ACCESS, AND THE EXISTENCE AND EXTENT OF ANY OTHER RESTRICTIONS, AND BE RESPONSIBLE FOR THE VERIFICATION OF ALL SUCH CONDITIONS AND DIMENSIONS WHICH PERTAIN TO THE PROJECT.
- BRING ALL DISCREPANCIES IN CONDITIONS AND DIMENSIONS, BETWEEN THE APPROVED DRAWINGS AND ACTUAL FIELD CONDITIONS, TO THE IMMEDIATE ATTENTION OF THE OWNER, AND RECEIVE DIRECTION IN WRITING, BEFORE PROCEEDING WITH THE AFFECTED WORK.
- VERIFY THE AVAILABILITY, LOCATION LAYOUT AND CONDITION OF UTILITIES, INCLUDING SEWER, WATER, GAS AND ELECTRIC LINES, PRIOR TO THE SUBMISSION OF ANY BID.
- HAVE CONTROL OVER AND SUPERVISE AND DIRECT THE WORK, INCLUDING THAT OF ITS SUBCONTRACTORS, AND BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR JOBSITE SAFETY, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, VERIFY THE CONDITION OF ALL ADJOINING STRUCTURES WHICH MAY BE AFFECTED, AND PROVIDE ADEQUATE PROTECTION TO ANY STRUCTURE THAT MIGHT BE OTHERWISE AFFECTED.
- IN THE EVENT THAT DAMAGE IS CAUSED TO ANY STRUCTURE, FINISH, OR OTHER ELEMENT, RESTORE SUCH ELEMENTS TO THEIR ORIGINAL CONDITION.
- IF APPLICABLE, PROVIDE WEATHER PROTECTION, IN AN EFFECTIVE AND TIMELY MANNER, TO PROTECT THE PREMISES, PERSONNEL, MATERIALS AND INSTALLED WORK.
- BE A HOME IMPROVEMENT CONTRACTOR WITH A CURRENT LICENSE ISSUED BY THE WESTCHESTER COUNTY DEPARTMENT OF CONSUMER AFFAIRS.
- BE CERTIFIED AS A LEAD SAFE FIRM BY THE EPA PER 40 CFR 745.226.
- CARRY LIABILITY INSURANCE TO THE LIMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION AND ISSUE CERTIFICATE(S) OF INSURANCE AS REQUIRED BY THE HOMEOWNER AND/OR THAT AUTHORITY.
- CARRY WORKMAN'S COMPENSATION AND DISABILITY INSURANCE AS REQUIRED THE LAW AND ISSUE CERTIFICATE(S) AS REQUIRED BY THE HOMEOWNER AND/OR THE AUTHORITY HAVING JURISDICTION.

4.0 BUILDING PERMIT:

NO PERSON OR ENTITY SHALL COMMENCE, PERFORM, OR CONTINUE ANY WORK THAT MUST CONFORM WITH THE UNIFORM CODE AND/OR ENERGY CODE UNLESS:

- SUCH PERSON OR ENTITY HAS APPLIED TO THE VILLAGE OF PORT CHESTER FOR A BUILDING PERMIT.
- THE VILLAGE OF PORT CHESTER HAS ISSUED A BUILDING PERMIT AUTHORIZING SUCH WORK.
- SUCH BUILDING PERMIT HAS NOT BEEN REVOKED OR SUSPENDED, AND
- SUCH BUILDING PERMIT HAS NOT EXPIRED.

THE BUILDING PERMIT IS REQUIRED TO BE VISIBLY DISPLAYED AT THE WORKSITE AND TO REMAIN VISIBLE UNTIL THE PROJECT, AND ALL REQUIRED INSPECTIONS, HAVE BEEN COMPLETED.

THE APPROVED DRAWINGS MUST BE KEPT AT THE WORKSITE AND BE AVAILABLE FOR REVIEW AT THE TIME OF ANY REQUIRED INSPECTIONS.

5.0 CONSTRUCTION INSPECTIONS:

IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING PERMIT, OR THEIR DULY AUTHORIZED AGENT, TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION:

BUILDING DEPARTMENT OF THE VILLAGE OF PORT CHESTER.
222 GRACE CHURCH STREET
PORT CHESTER, NY 10573
TEL: (914) 939-5203
EMAIL: kdonohue@portchester-ny.gov
WEB SITE: www.portchester-ny.gov/158/building-department

ANY PERSON OR ENTITY PERFORMING WORK FOR WHICH A BUILDING PERMIT HAS BEEN ISSUED SHALL KEEP SUCH WORK ACCESSIBLE AND EXPOSED UNTIL THE WORK HAS BEEN INSPECTED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION, OR ITS AUTHORIZED AGENT, AT EACH ELEMENT OF THE CONSTRUCTION PROCESS THAT IS APPLICABLE TO THE WORK.

BUILDING PERMIT HOLDERS SHALL BE REQUIRED TO NOTIFY THE BUILDING OFFICIAL OF THE VILLAGE OF PORT CHESTER WHEN CONSTRUCTION WORK IS READY FOR INSPECTION.

THE BUILDING OFFICIAL SHALL MAKE THE REQUIRED INSPECTIONS OR SHALL HAVE THE AUTHORITY TO ACCEPT WRITTEN REPORTS OF INSPECTION BY APPROVED AGENCIES OR INDIVIDUALS.

REQUIRED INSPECTIONS FOR THIS PROJECT MAY INCLUDE THE FOLLOWING, AS APPLICABLE, OR AS SPECIFIED IN THE CODE ENFORCEMENT PROGRAM OF THE VILLAGE OF PORT CHESTER:

- WORKSITE PRIOR TO THE ISSUANCE OF A PERMIT
 - PLUMBING*
 - ELECTRICAL*
 - MECHANICAL
 - FRAMING (SUBSEQUENT TO THE INSPECTION & APPROVAL OF PLUMBING, ELECTRICAL & MECHANICAL)
 - FIRE RESISTANT CONSTRUCTION
 - FIRE RESISTANT PENETRATIONS
 - ENERGY CODE COMPLIANCE
 - A FINAL INSPECTION AFTER ALL WORK AUTHORIZED BY THE BUILDING PERMIT HAS BEEN COMPLETED
 - ANY OTHER INSPECTIONS AS REQUIRED BY THE VILLAGE OF PORT CHESTER.
- ALL OF THE ABOVE INSPECTION MAY NOT BE REQUIRED FOR THIS, OR ANY GIVEN, PROJECT. A SCHEDULE OF REQUIRED INSPECTIONS IS AVAILABLE FROM THE BUILDING DEPARTMENT OF THE VILLAGE OF PORT CHESTER.
- *THE WORK APPLICABLE TO SOME OF THE ABOVE INSPECTIONS (FOR INSTANCE PLUMBING AND ELECTRICAL) SHALL BE COMPLETED UNDER A SEPARATE PERMIT, FILED BY THE RELEVANT LICENSED CONTRACTORS.

AFTER INSPECTION, THE WORK OR A PORTION THEREOF SHALL BE NOTED AS SATISFACTORY AS COMPLETED, OR THE BUILDING PERMIT HOLDER SHALL BE NOTIFIED AS TO THE MANNER IN WHICH THE WORK FAILS TO COMPLY WITH APPLICABLE CODES, INCLUDING A CITATION OF THE SPECIFIC CODE PROVISION OR PROVISIONS THAT HAVE NOT BEEN MET.

IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO ASCERTAIN THE RESULTS OF REQUIRED INSPECTIONS.

CONSTRUCTION WORK NOT IN COMPLIANCE WITH APPLICABLE CODES SHALL BE REQUIRED TO REMAIN EXPOSED UNTIL IT HAS BEEN BROUGHT INTO COMPLIANCE WITH THE CODES, RE-INSPECTED, AND FOUND SATISFACTORY AS COMPLETED.

NEW YORK STATE FIRE CODE 2020 (INTERNATIONAL FIRE CODE 2018 WITH AMENDMENTS):

SECTION 1104. MEANS OF EGRESS FOR EXISTING BUILDINGS

SUB-SECTION 1104.16 FIRE ESCAPE STAIRWAYS:

EXISTING MEANS OF EGRESS:

FIRE ESCAPE STAIRWAYS SHALL BE PERMITTED IN EXISTING BUILDINGS BUT SHALL NOT CONSTITUTE MORE THAN 50 PERCENT OF THE REQUIRED EXIT CAPACITY.

ACCESS:

ACCESS TO A FIRE ESCAPE STAIRWAY FROM A CORRIDOR SHALL NOT BE THROUGH AN INTERVENING ROOM. ACCESS TO A FIRE ESCAPE STAIRWAY SHALL BE FROM A DOOR OR WINDOW MEETING THE CRITERIA OF SECTION 1008.1.
ACCESS TO A FIRE ESCAPE STAIRWAY SHALL BE DIRECTLY TO A BALCONY, LANDING OR PLATFORM. THESE SHALL NOT BE HIGHER THAN THE FLOOR OR WINDOW SILL LEVEL AND NOT LOWER THAN 8 INCHES BELOW THE FLOOR LEVEL OR 18 INCHES BELOW THE WINDOW SILL.

MATERIALS AND STRENGTH:

COMPONENTS OF FIRE ESCAPE STAIRWAYS SHALL BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIALS. FIRE ESCAPE STAIRWAYS AND BALCONIES SHALL SUPPORT THE DEAD LOAD PLUS A LIVE LOAD OF NOT LESS THAN 100 POUNDS PER SQUARE FOOT. FIRE ESCAPE STAIRWAYS AND BALCONIES SHALL BE PROVIDED WITH A TOP AND INTERMEDIATE HANDRAIL ON EACH SIDE.

EXAMINATION:

FIRE ESCAPE STAIRWAYS AND BALCONIES SHALL BE EXAMINED FOR STRUCTURAL ADEQUACY AND SAFETY IN ACCORDANCE WITH SECTION "MATERIALS AND STRENGTH" BY A REGISTERED DESIGN PROFESSIONAL OR OTHERS ACCEPTABLE TO THE FIRE CODE OFFICIAL EVERY 5 YEARS, OR AS REQUIRED BY THE FIRE CODE OFFICIAL. AN INSPECTION REPORT SHALL BE SUBMITTED TO THE FIRE CODE OFFICIAL AFTER SUCH EXAMINATION.

TERMINATION:

THE LOWEST BALCONY SHALL NOT BE MORE THAN 18 FEET (5486 MM) FROM THE GROUND. FIRE ESCAPE STAIRWAYS SHALL EXTEND TO THE GROUND OR BE PROVIDED WITH COUNTERBALANCED STAIRS REACHING THE GROUND.
EXCEPTION: FOR FIRE ESCAPE STAIRWAYS SERVING 10 OR FEWER OCCUPANTS, AN APPROVED FIRE ESCAPE LADDER IS ALLOWED TO SERVE AS THE TERMINATION.

MAINTENANCE:

FIRE ESCAPE STAIRWAYS SHALL BE KEPT CLEAR AND UNOBSTRUCTED AT ALL TIMES AND SHALL BE MAINTAINED IN GOOD WORKING ORDER.

FIRE ESCAPE CONFIDENCE TEST:

SATISFACTORY STRUCTURAL EVIDENCE (CERTIFICATION REPORT) TO HAVE ADEQUATE STRENGTH IN LIEU OF LIVE LOAD TEST.

- IS THE FIRE ESCAPE PAINTED AND MAINTAINED TO PROTECT AGAINST RUST? NA ☒ YES ☐ NO
- HAS THE ENTIRE FIRE ESCAPE AND CONNECTIONS BEEN CHECKED FOR STRUCTURAL INTEGRITY? NA ☒ YES ☐ NO
- HAVE THE HANDRAILS BEEN PHYSICALLY CHECKED FOR STRUCTURAL INTEGRITY? NA ☒ YES ☐ NO
- IS THE FIRE ESCAPE CLEAR AND UNOBSTRUCTED? (E.G., NO AC UNITS, WINDOW GUARDS, PLANTS, SATELLITE DISHES, ETC.) NA ☒ YES ☐ NO
- ARE THERE NO ELECTRICAL LINES OR OTHER UNUSUAL HAZARDS ON OR WITHIN 10 FEET OF THE FIRE ESCAPE, UNLESS PROTECTED BY APPROVED MEANS? NA ☒ YES ☐ NO

MATERIALS AND STRENGTH:

ALL EXTERIOR FIRE ESCAPE STAIRWAYS, STEEL OR WOODEN STAIRWAYS, EGRESS BALCONIES, AND FIRE ESCAPES MUST BE EXAMINED AND CERTIFIED FOR STRUCTURAL ADEQUACY AND SAFETY EVERY FIVE YEARS, BY A REGISTERED PROFESSIONAL ENGINEER OR ANOTHER QUALIFIED INDIVIDUAL ACCEPTABLE TO THE BUILDING OFFICIAL, WHO WILL THEN SUBMIT A CERTIFICATION REPORT TO THE FIRE CODE OFFICIAL.

STRUCTURE EXTERIOR:

ALL CRITICAL MATERIALS, CONNECTIONS AND/OR JOINTS MUST BE 100% FREE OF INTERNAL RUST OR ROT.

NOTE: ALL DEFECTS AND VIOLATIONS MUST BE IDENTIFIED ON THE FIRE ESCAPE WITH SPRAY PAINT OF A CONTRASTING COLOR OR ILLUSTRATED IN A DETAILED DRAWING. A REPORT ON LETTERHEAD MUST ACCOMPANY ANY FAILED INSPECTION. (SUGGESTED BUT NOT REQUIRED: INCLUDE PHOTOS AND REPAIR GUIDANCE FROM THE PROFESSIONAL DURING REPAIRS AND AT FINAL REINSPECTION.)

- BOLTS AND RIVETS: NA ☒ YES ☐ NO
- WELDS: NA ☒ YES ☐ NO
- JOINTS/PLATES: NA ☒ YES ☐ NO
- NAILS/SCREWS (WOOD): NA ☒ YES ☐ NO
- STAIR STRINGERS: NA ☒ YES ☐ NO
- TREADS: NA ☒ YES ☐ NO
- RAILING: NA ☒ YES ☐ NO
- LADDERS ARE FIXED: NA ☒ YES ☐ NO
- SUPPORTS: NA ☒ YES ☐ NO
- PLATFORMS: NA ☒ YES ☐ NO

ANCHORING DEVICES (TO THE BUILDING OR AT THE FIRE ESCAPE BASE)

- ANCHORING DEVICES ARE INTACT AND SHOW NO VISIBLE RUSTING, CORROSION, CRACKING, OR OTHER DETERIORATION? NA ☒ YES ☐ NO
- ARE THE CONNECTIONS OF THE ANCHORS INTO THE BUILDING SUFFICIENT TO SUPPORT THE REQUIRED LOADS AS VERIFIED BY METHODS ACCEPTABLE TO THE STRUCTURAL ENGINEER? (E.G., INTERNAL INSPECTION, LOAD TESTED, OR REINFORCED BY DUPLICATE CONNECTION)? NA ☒ YES ☐ NO
- SUPPORT LEGS TO GRADE ON CEMENT PIERS OR EQUIVALENT? NA ☒ YES ☐ NO

COUNTERBALANCE AND LADDERS

- COUNTERBALANCE AND LADDERS ARE BALANCED AND OPERATIONAL WITH A RELEASE ARM OR LATCH? NA ☒ YES ☐ NO
- COUNTERBALANCE AND LADDERS WERE DROPPED AND SET DOWN AT ADOPTED WHEN ACTIVATED, REQUIRING NO SPECIAL KNOWLEDGE OR ALLOWANCE FOR IMPROPER ACCESS? NA ☒ YES ☐ NO
- ALL COUNTERBALANCE STAIRS TESTED TO ASSURE PROPER OPERATION OF ALL RELEASES AND MECHANISMS (TWICE)? NA ☒ YES ☐ NO
- BOLTS, GRATES, AND FRAMEWORK TIGHTENED, REPAIRED, OR REPLACED AS NECESSARY? NA ☒ YES ☐ NO
- LADDER EXTENDS FROM A POINT NOT MORE THAN 7-18 FEET ABOVE THE GROUND OR EXTEND TO GRADE BY SLIDE OR FOLD-OUT LADDER WITH RELEASE LATCH? NA ☒ YES ☐ NO

CATWALKS, DECKS, PORCHES AND OTHER AREAS OF EGRESS

- CATWALK IS CONTINUOUS ACROSS ALL OPENINGS LEADING TO EGRESS? NA ☒ YES ☐ NO
- STAIR OR LADDER IS ELEVATED WITH PROTECTIVE RAILS AND MADE OF STEEL OR ALUMINUM, SHOWS THE BUILDING TYPE? NA ☒ YES ☐ NO

REMARKS NOT COVERED ABOVE...



EXISTING CONDITION
CLIENT-PROVIDED IMAGE



EXISTING CONDITION
CLIENT-PROVIDED IMAGE

STATEMENT OF DESIGN PROFESSIONAL:

THESE PLANS HAVE BEEN PREPARED IN CONFORMANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS).

VINCENT COAKLEY, P.E.
(STAMP AFFIXED AND SIGNED).

LIST OF DRAWINGS			
SHEET	DRAWING NAME	DATE	REVISION
C-01	COVER SHEET	09.24.2025	10.28.2025
S-01	DETAILS	09.24.2025	10.28.2025

PROPERTY ADDRESS:

PORT CHESTER, NY 10573
(VILLAGE OF PORT CHESTER
BUILDING DEPARTMENT)

S-B-L:

CLIENT:

*** ***

TEL:

EMAIL:

DATE:

09.24.2025

10.16.2025

10.28.2025

ISSUE:

PRELIMINARY

FOR REPAIR

CERTIFICATION

PROJECT NAME:

FIRE ESCAPE

DRAWING NAME:

COVER SHEET

DRAWING NUMBER:

C-01

DATE:

09.24.2025

SCALE:

AS NOTED

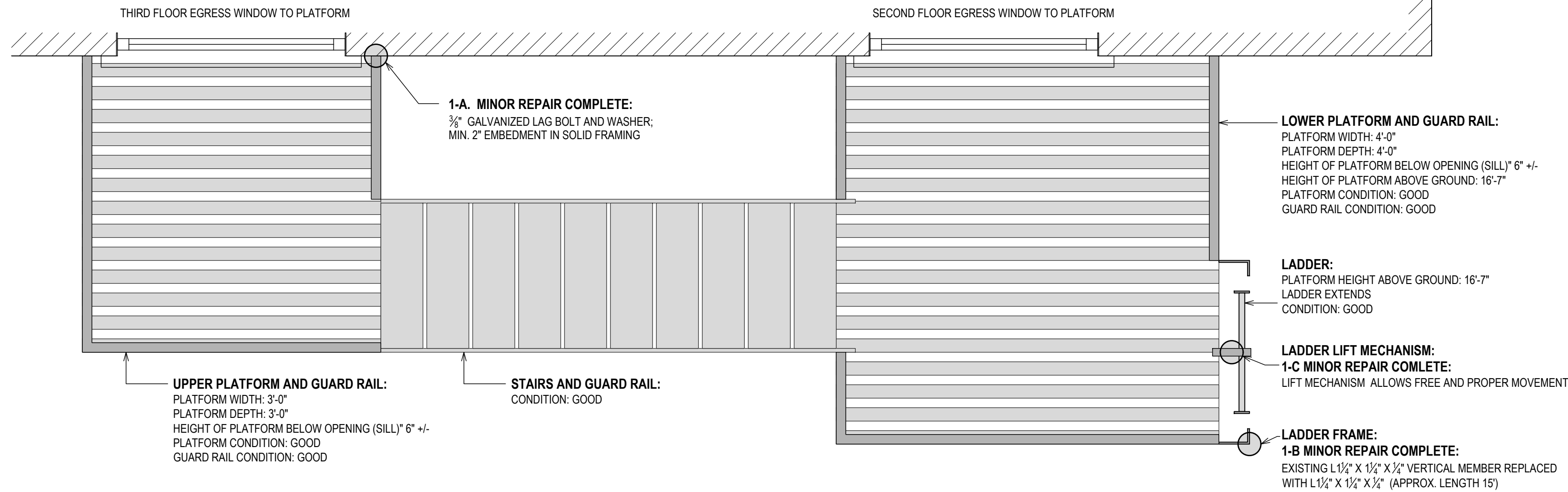
NOTE:

THIS DRAWING IS VALID FOR CONSTRUCTION IF (AND ONLY IF) A PERMIT IS ISSUED, BASED ON THIS DRAWING, BY THE VILLAGE OF PORT CHESTER.

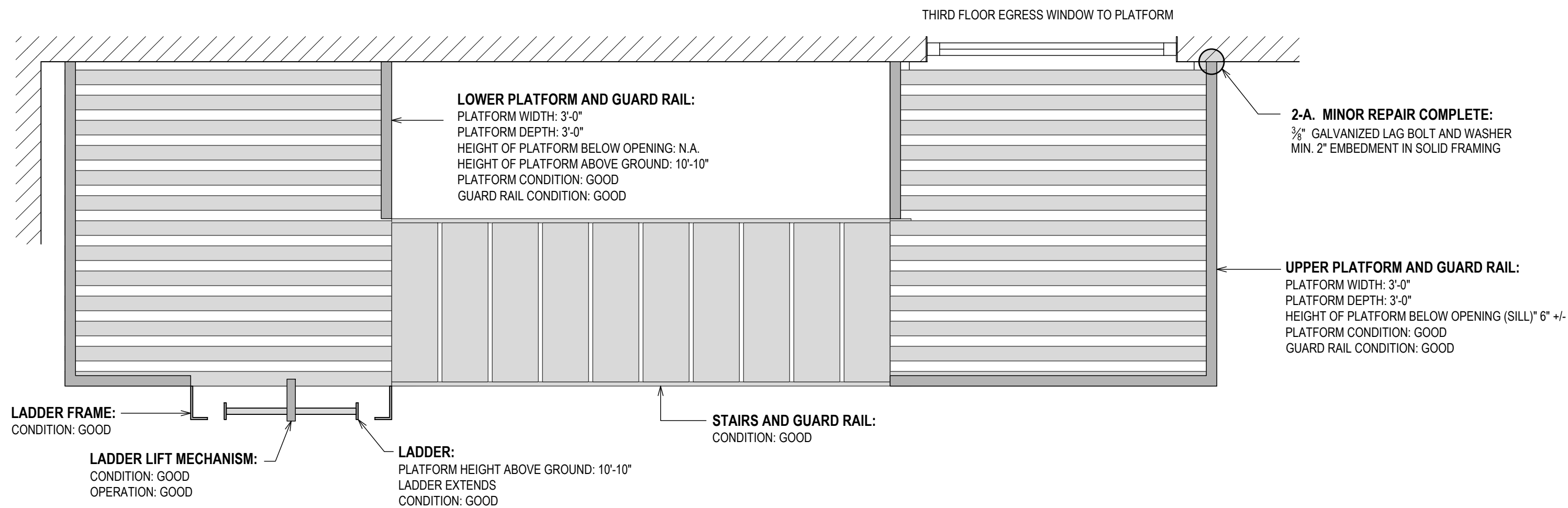
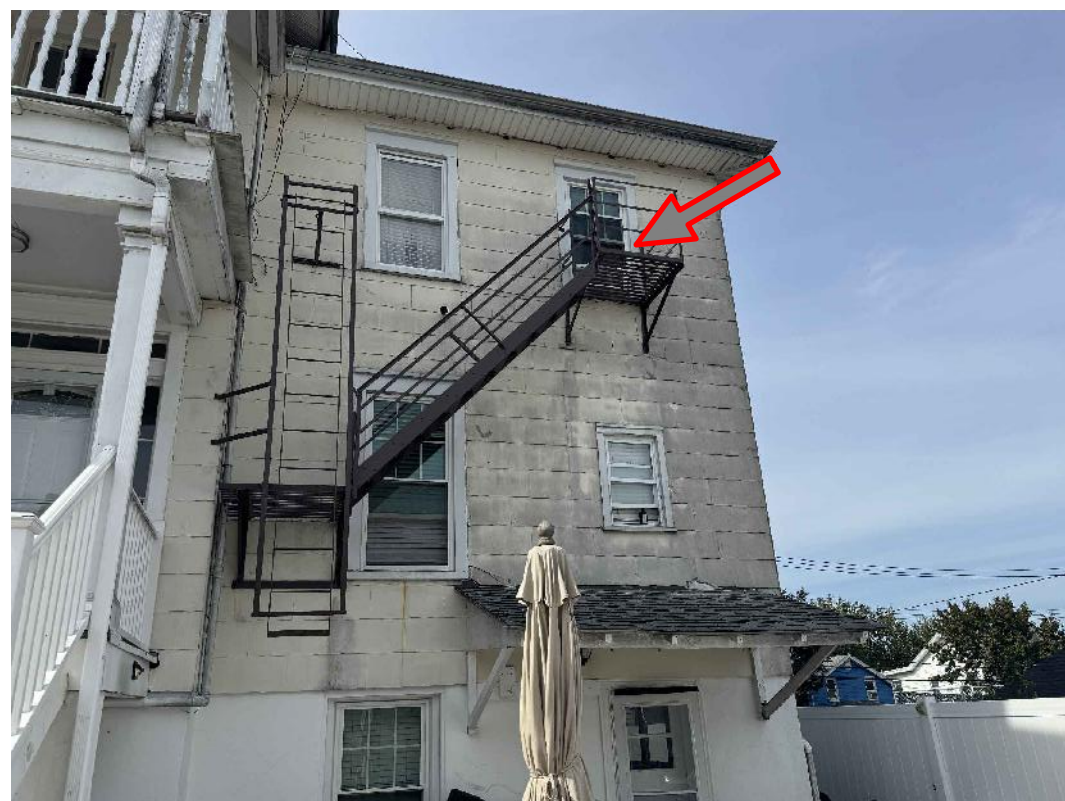
Oliver Engineering, P.C.

Design - Permit Applications - Legalizations
Code Compliance - Project Supervision

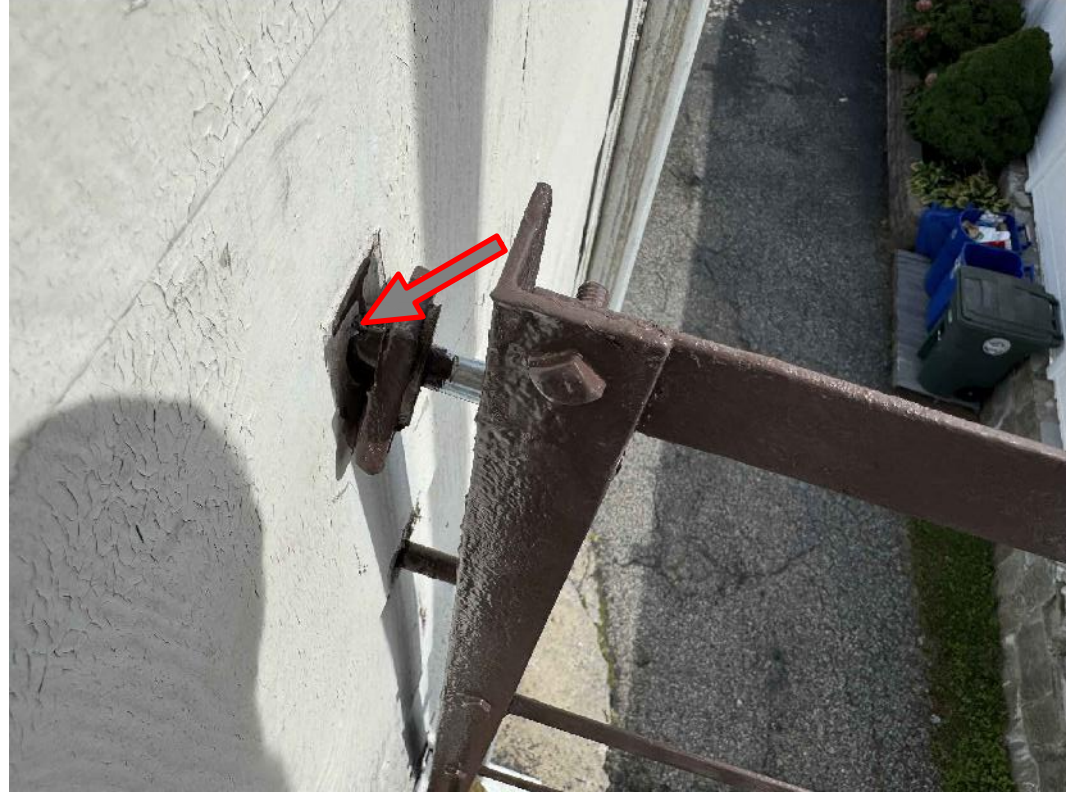
188 North Main Street | Port Chester, NY 10573
(914) 774-9878 | www.proeng.nyc | vc@proeng.nyc



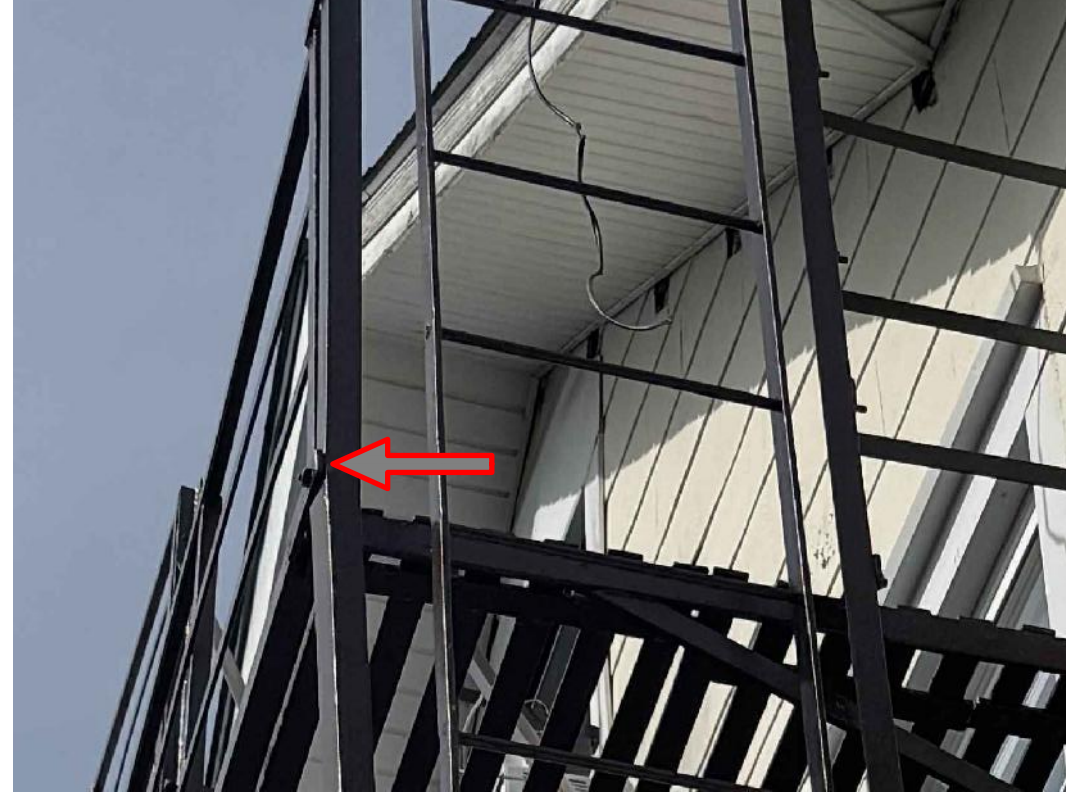
FIRE ESCAPE 1
1" = 1'-0"
SCHEMATIC ONLY



FIRE ESCAPE 2
1" = 1'-0"
SCHEMATIC ONLY



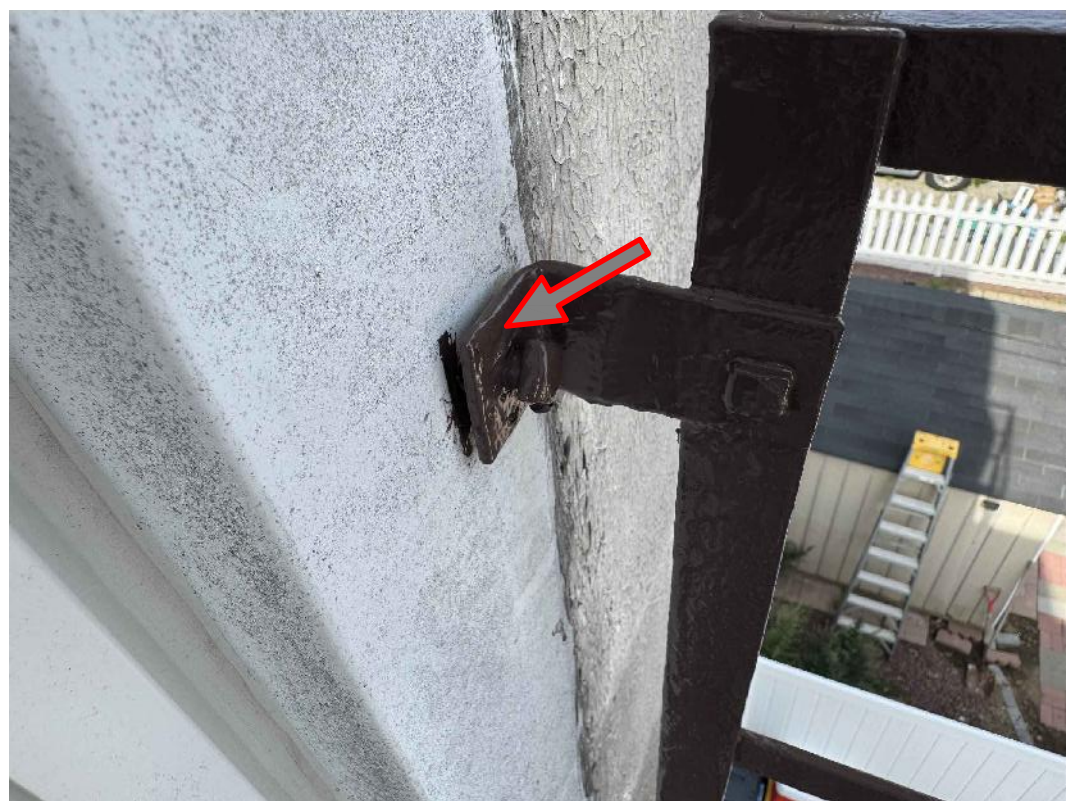
1-A. MINOR REPAIR COMPLETE



1-B. MINOR REPAIR COMPLETE



1-C. MINOR REPAIR COMPLETE



2-A. MINOR REPAIR COMPLETE



FIRE ESCAPES (FE) LOCATION
SCHEMATIC ONLY
1/8" = 1'-0"

PROPERTY ADDRESS:

PORT CHESTER, NY 10573
(VILLAGE OF PORT CHESTER
BUILDING DEPARTMENT)

S-B-L:

CLIENT:
*** ***

TEL: ***
EMAIL: ***

DATE: 09.24.2025
10.16.2025
10.28.2025

ISSUE: PRELIMINARY
FOR REPAIR
CERTIFICATION

PROJECT NAME:
FIRE ESCAPE

DRAWING NAME:
DETAILS

DRAWING NUMBER:
S-01

DATE:
09.24.2025

SCALE:
AS NOTED

NOTE:
THIS DRAWING IS VALID FOR
CONSTRUCTION IF (AND ONLY IF) A
PERMIT IS ISSUED, BASED ON THIS
DRAWING, BY THE VILLAGE OF PORT
CHESTER.