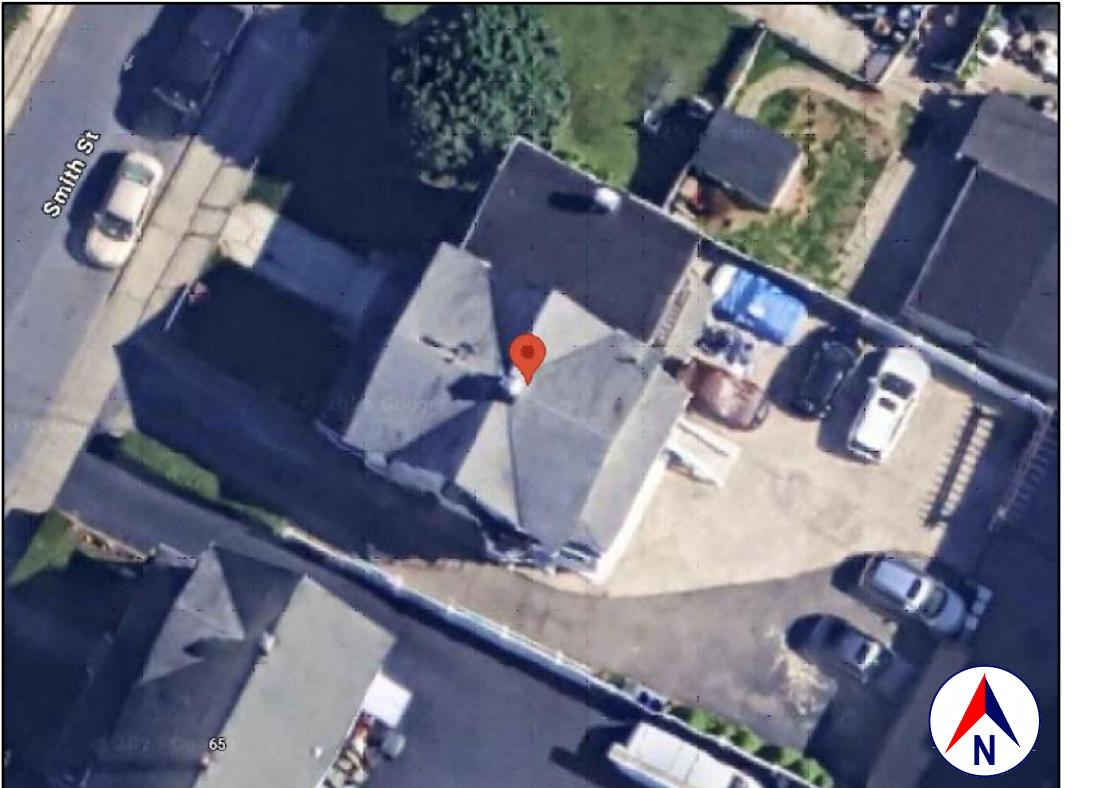


LOCATION
GOOGLE MAPS



SATELLITE VIEW
GOOGLE EARTH



TAX MAP AND TOPO
WESTCHESTER COUNTY GIS



FRONT VIEW
GOOGLE STREET VIEW

1.0 GENERAL REQUIREMENTS:

- 1.1 PROJECT SCOPE:**
CERTIFY COMPLIANCE OF EXISTING FIRE ESCAPE AND BALCONIES.
- 1.2 DESIGN INTENT:**
THE INVOLVEMENT OF OLIVER ENGINEERING IN THIS PROJECT IS: PROVIDE CERTIFICATION.
- IT IS THE INTENT OF THESE DRAWINGS TO CALL FOR COMPLETE AND FINISHED WORK, IN COMPLIANCE WITH THE NOTED CODES, AND TESTED AND GUARANTEED AND READY FOR OPERATION.

THE ENGINEER HAS NOT BEEN ENGAGED TO SUPERVISE ANY WORK AND DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

- 1.3 EXISTING CONSTRUCTION TYPE:**
THE EXISTING BUILDING, PER THE BUILDING CODE OF NEW YORK STATE, TABLE 601 IS CONSTRUCTION TYPE VB - CONSTRUCTION WHERE THE PRIMARY ELEMENTS ARE NOT REQUIRED TO BE FIRE RATED.

- 1.4 CLASSIFICATION OF PROPOSED WORK:**
ALL PROPOSED WORK IS OUTSIDE THE EXISTING BUILDING ENVELOPE.

THIS IS TO PROVIDE FOR, AND GIVE DETAILS OF, A STRUCTURAL INSPECTION ONLY; IT DOES NOT CONSTITUTE, IN ITS CURRENT FORMAT, A CONSTRUCTION DOCUMENT. APPLICABLE CODES, PERMIT REQUIREMENTS AND INSPECTIONS, AS MAY BE NOTED HEREIN, MAY APPLY TO ANY WORK PERFORMED SUBSEQUENT TO THE INSPECTION.

- 1.5 ZONING, OCCUPANCY AND USE:**

YEAR BUILT: 1900 (PER ZILLOW)
ZONING: R2 TWO-FAMILY RESIDENCE
OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-3*
EXISTING USE: MULTIFAMILY
PROPOSED USE: MULTIFAMILY (NO CHANGE)

* WHERE THE OCCUPANTS ARE PRIMARILY PERMANENT IN NATURE AND NOT CLASSIFIED AS OCCUPANCY GROUP R-1, R-2, R-4 OR I, INCLUDING BUILDINGS THAT DO NOT CONTAIN MORE THAN TWO DWELLING UNITS.

- 1.6 COMPLIANCE:**
ALL WORK SHALL BE IN COMPLIANCE WITH THE FOLLOWING CODES:

- GENERAL: 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS)
- EXISTING: BUILDING CODE OF NEW YORK STATE (INTERNATIONAL EXISTING BUILDING CODE 2018 WITH AMENDMENTS)
- NEW YORK STATE FIRE CODE 2020 (INTERNATIONAL FIRE CODE 2018 WITH AMENDMENTS)
- ENERGY: NOT APPLICABLE TO THESE DRAWINGS
- PUMPLING: NOT APPLICABLE TO THESE DRAWINGS
- ELECTRICAL: NOT APPLICABLE TO THESE DRAWINGS
- DRAMA: NOT APPLICABLE TO THESE DRAWINGS
- MUNICIPAL: CHAPTER 151, BUILDING CODE ADMINISTRATION AND ENFORCEMENT OF THE CODE OF THE VILLAGE OF PORT CHESTER
- OTHER: ALL REFERENCED CODES, OTHER CODES AND REGULATIONS, FEDERAL, STATE AND LOCAL, THAT MAY APPLY.

- 1.7 AUTHORITY HAVING JURISDICTION:**
THE AUTHORITY HAVING JURISDICTION, AS DEFINED IN SECTION 103.1 OF THE RESIDENTIAL CODE, AND WHICH SHALL PROVIDE FOR ADMINISTRATION AND ENFORCEMENT OF THE UNIFORM CODE AND ENERGY CODE BY LOCAL LAW, ORDINANCE, OTHER APPROPRIATE REGULATION, OR COMBINATION THEREOF, IS THE VILLAGE OF PORT CHESTER.

THE DULY APPOINTED BUILDING OFFICIAL OF THE VILLAGE OF PORT CHESTER IS AUTHORIZED TO ENFORCE THE PROVISIONS OF THE CODE.

THE BUILDING OFFICIAL MAY ADOPT POLICIES AND PROCEDURES IN ORDER TO CLARIFY THE APPLICATION OF THE PROVISIONS OF THE CODE. SUCH POLICIES AND PROCEDURES SHALL BE IN COMPLIANCE WITH THE INTENT AND PURPOSE OF THE CODE.

- 2.0 DESIGN CRITERIA:**

2.1 DEAD LOAD:
PER 301.4, THE ACTUAL WEIGHTS OF MATERIALS AND CONSTRUCTION SHALL BE USED FOR DETERMINING DEAD LOAD; THE FOLLOWING APPROXIMATIONS (IN PSF) ARE USED FOR THIS PROJECT:

USE	PSF
FRAMED WALL ASSEMBLY:	15
ROOF/CEILING ASSEMBLY:	20
FLOOR ASSEMBLY:	15

ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

- 2.2 LIVE LOAD:**

UNIFORMLY DISTRIBUTED LIVE LOADS SHALL BE PER TABLE R301.5 AND AS FOLLOWS (IN PSF):

USE	PSF	OTHER
UNINHABITABLE SPACE WITHOUT STORAGE:	10	(-42'H, 24'W)
UNINHABITABLE ATTICS WITHIN STORAGE:	20	
HABITABLE ATTICS & ATTICS W/EXITS:	30	
EXTERIOR BALCONIES & DECKS:	40	
FIRE ESCAPES:	40	
GUARDS & HANDRAILS:	200 (CONCENTRATED)	50 (HORIZONTAL)
GUARD-IN-FILL COMPONENTS:	50	(8,200LB/205)
PASSENGER VEHICLE GARAGE:	40	
ROOMS OTHER THAN SLEEPING ROOMS:	40	
SLEEPING ROOMS:	40	
STAIRS:	40	(300LB/45I)
ROOF: PER 301.6 (INC. SNOW):	30	

*SOME OF THE LOADS LISTED ABOVE MAY BE HIGHER THAN THOSE REQUIRED PER CODE.

ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

- 2.3 WIND LOAD:**

WIND LOADS SHALL BE BASED ON THE ULTIMATE DESIGN WIND SPEED LISTED IN TABLE 301.2(1) AND ADJUSTED FOR HEIGHT AND EXPOSURE:

120 MPH. WIND LOADS WILL BE ALLOWED FOR IN: THE DESIGN LOAD PERFORMANCE REQUIREMENTS FOR WALL COVERINGS, ROOF COVERINGS, WINDOWS, SKYLIGHTS AND DOORS. COMPONENT AND CLADDING LOADS WILL BE PER TABLE R301.2(2)

- 2.4 ALLOWABLE LIVE LOAD DEFLECTION:**

THE ALLOWABLE LIVE LOAD DEFLECTION OF ALL STRUCTURAL MEMBERS, SHALL BE PER TABLE R301.7 AND AS FOLLOWS:

STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
RAFTERS HAVING SLOPES GREATER THAN 3:12 WITH FINISHED CEILING NOT ATTACHED TO RAFTERS	L180/H180
INTERIOR WALLS AND PARTITIONS	H180
FLOORS	L360
CEILING WITH BRITTLE FINISHES (INCLUDING PLASTER AND STUCCO)	L360
CEILING WITH FLEXIBLE FINISHES (INCLUDING GYPSUM BOARD)	L240
ALL OTHER STRUCTURAL MEMBERS	L240
EXTERIOR WALLS-WALL LOAD WITH PLASTER OR STUCCO FINISHES	H360
EXTERIOR WALLS-WALL LOAD WITH OTHER BRITTLE FINISHES	H240
EXTERIOR WALLS-WALL LOADS WITH FLEXIBLE FINISHES	H120
L160	

LINTELS SUPPORTING MASONRY VENEER WALLS

CLIMATIC AND GEOGRAPHIC CRITERIA:

CLIMATIC AND DESIGN CRITERIA FOR THE VILLAGE OF PORT CHESTER ARE PER TABLE R301.2(1)

BELOW:

REMAN EXPOSED UNTIL IT HAS BEEN BROUGHT INTO COMPLIANCE WITH THE CODES, RE-INSPECTED, AND FOUND SATISFACTORY AS COMPLETED.

CONSTRUCTION WORK NOT IN COMPLIANCE WITH APPLICABLE CODES SHALL BE REQUIRED TO

REMAIN EXPOSED UNTIL IT HAS BEEN BROUGHT INTO COMPLIANCE WITH THE CODES, RE-INSPECTED,

AND FOUND SATISFACTORY AS COMPLETED.

THE DRAWINGS ARE PREPARED IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS).

THE DRAWINGS ARE PREPARED IN ACCORDANCE WITH THE 2020 FIRE CODE OF NEW YORK STATE (INTERNATIONAL FIRE CODE 2018 WITH AMENDMENTS).

THE DRAWINGS ARE PREPARED IN ACCORDANCE WITH THE 2020 PLUMBING CODE OF NEW YORK STATE (INTERNATIONAL PLUMBING CODE 2018 WITH AMENDMENTS).

THE DRAWINGS ARE PREPARED IN ACCORDANCE WITH THE 2020 ELECTRICAL CODE OF NEW YORK STATE (INTERNATIONAL ELECTRICAL CODE 2018 WITH AMENDMENTS).

THE DRAWINGS ARE PREPARED IN ACCORDANCE WITH THE 2020 MECHANICAL CODE OF NEW YORK STATE (INTERNATIONAL MECHANICAL CODE 2018 WITH AMENDMENTS).

THE DRAWINGS ARE PREPARED IN ACCORDANCE WITH THE 2020 AIR-VENTILATION AND BALANCING CODE OF NEW YORK STATE (INTERNATIONAL AIR-VENTILATION AND BALANCING CODE 2018 WITH AMENDMENTS).

THE DRAWINGS ARE PREPARED IN ACCORDANCE WITH THE 2020 ROOFING CODE OF NEW YORK STATE (INTERNATIONAL ROOFING CODE 2018 WITH AMENDMENTS).

THE DRAWINGS ARE PREPARED IN ACCORDANCE WITH THE 2020 ROOFING AND EXTERIOR FINISHES CODE OF NEW YORK STATE (INTERNATIONAL ROOFING AND EXTERIOR FINISHES CODE 2018 WITH AMENDMENTS).

THE DRAWINGS ARE PREPARED IN ACCORDANCE WITH THE 2020 SCAFFOLDING AND SHORING CODE OF NEW YORK STATE (INTERNATIONAL SCAFFOLDING AND SHORING CODE 2018 WITH AMENDMENTS).

THE DRAWINGS ARE PREPARED IN ACCORDANCE WITH THE 2020 STAIRS, RAILINGS, GUARDS AND HANDRAILS CODE OF NEW YORK STATE (INTERNATIONAL STAIRS, RAILINGS, GUARDS AND HANDRAILS CODE 2018 WITH AMENDMENTS).

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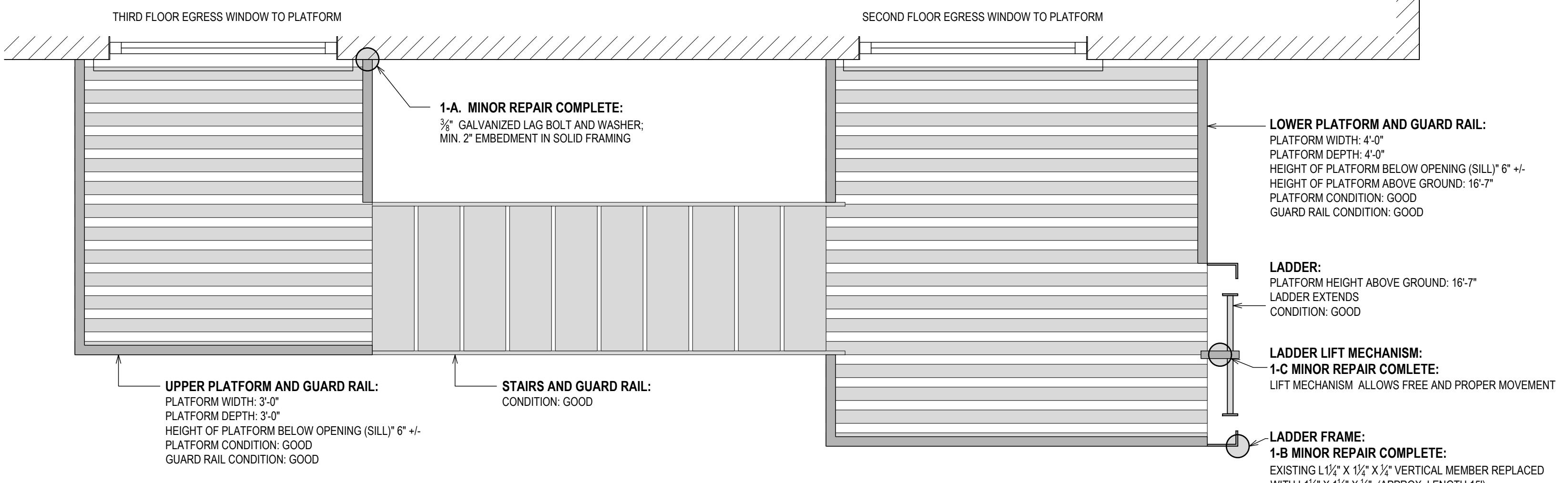
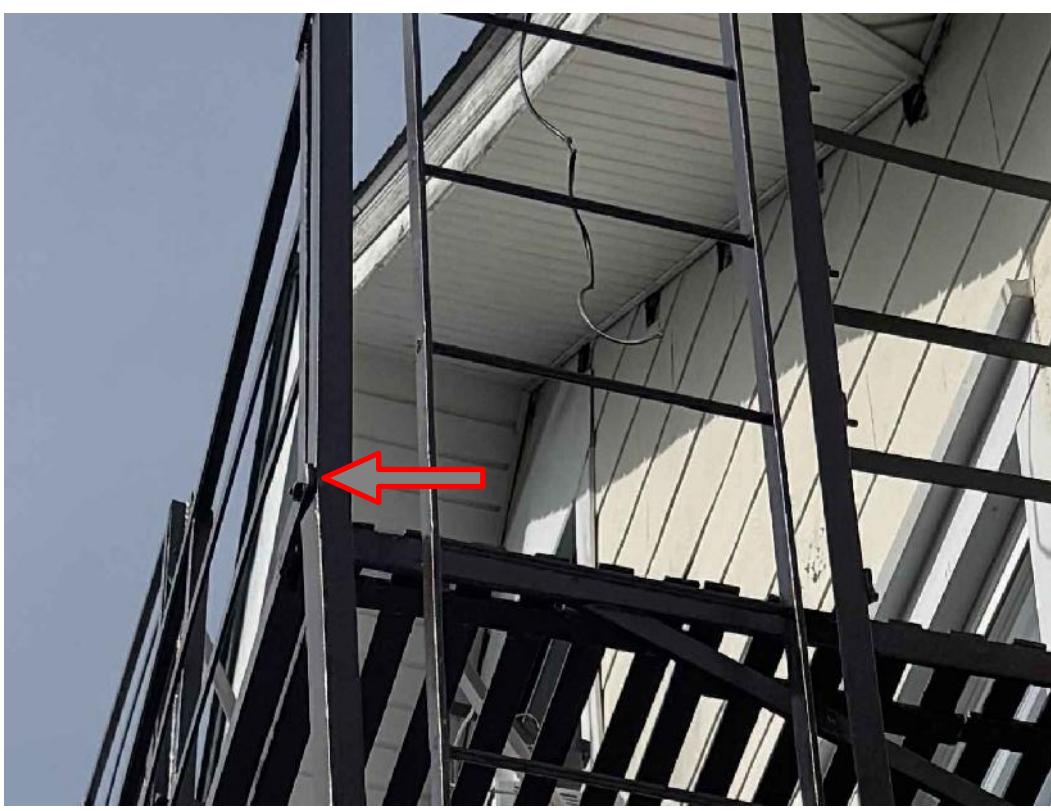
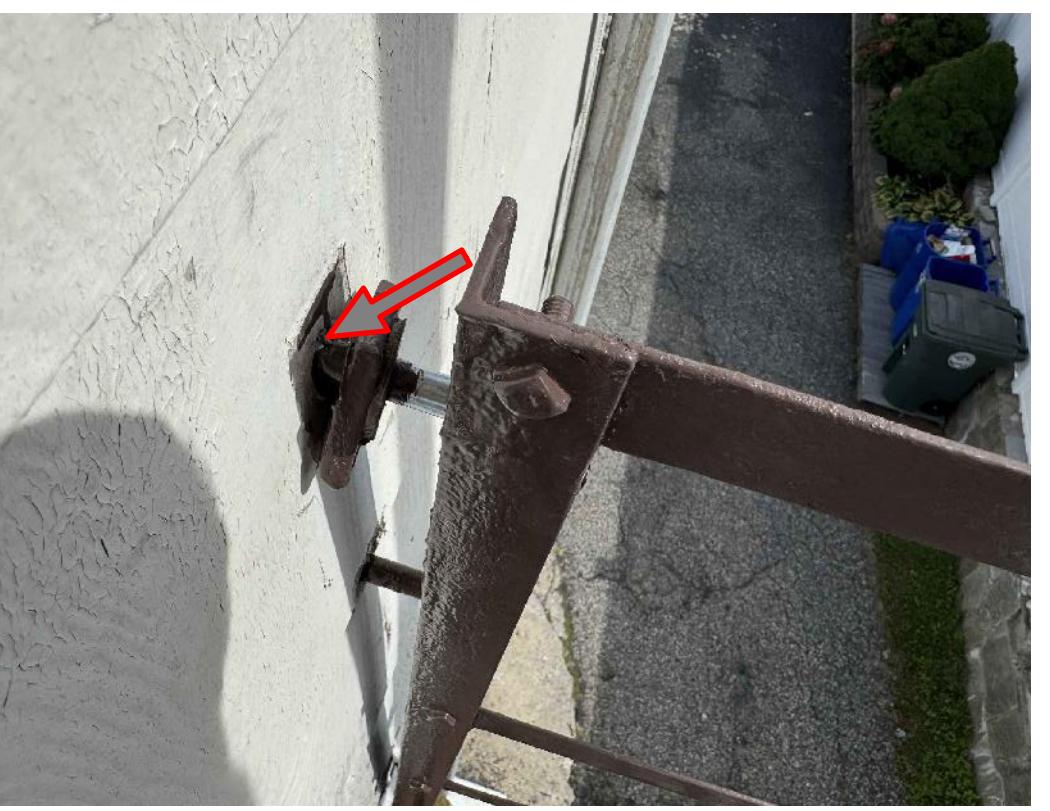
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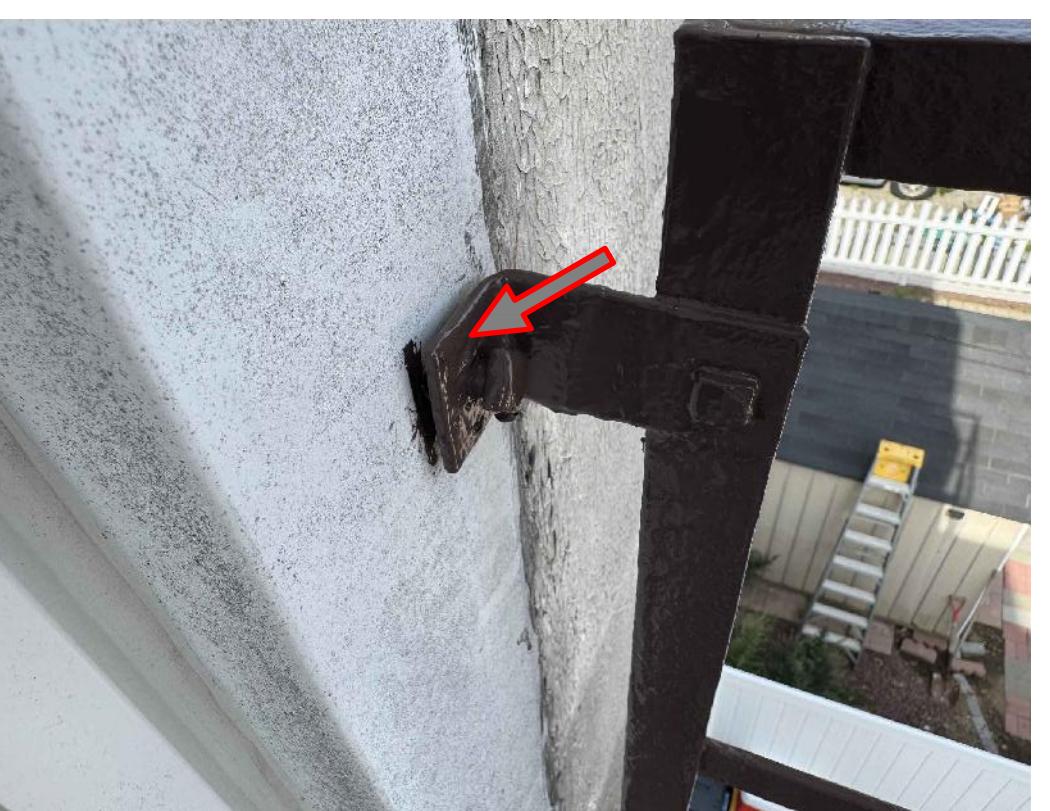
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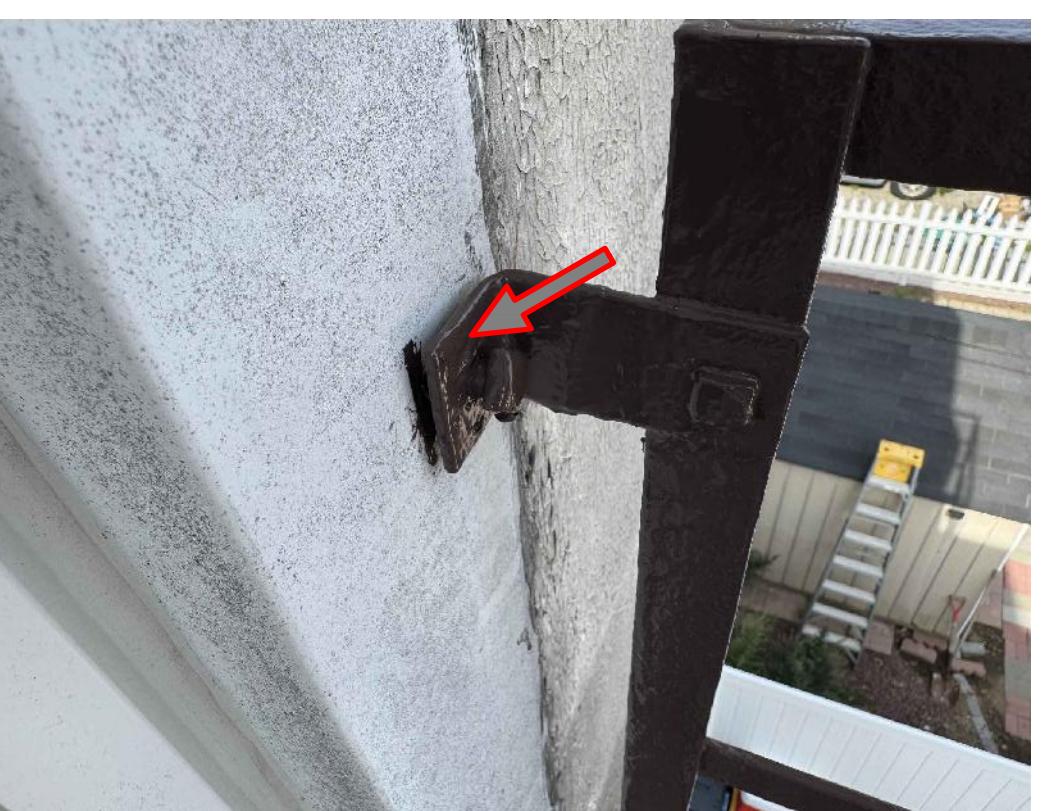
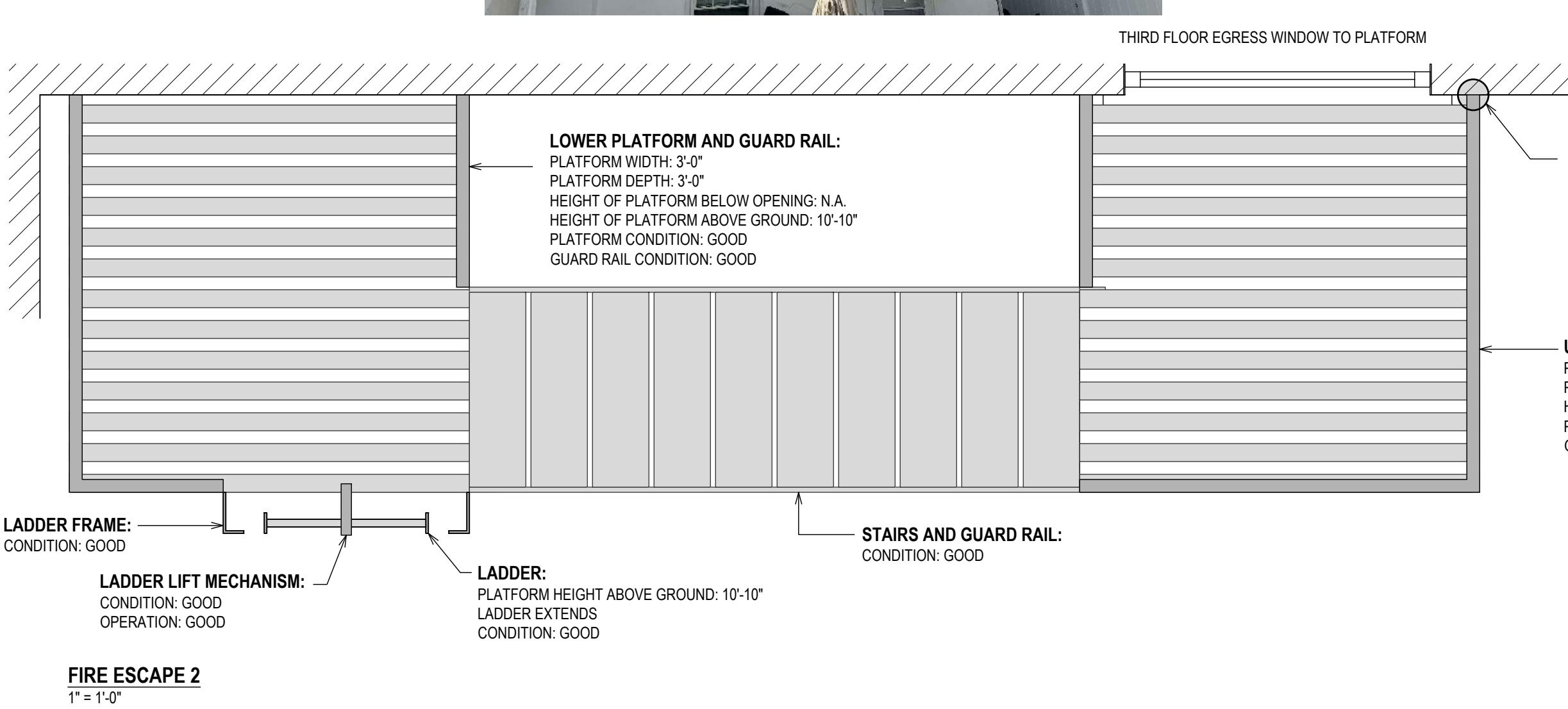


1-A. MINOR REPAIR COMPLETE

1-B. MINOR REPAIR COMPLETE



1-C. MINOR REPAIR COMPLETE



2-A. MINOR REPAIR COMPLETE



PROJECT NAME: FIRE ESCAPE

DRAWING NAME: DETAILS

DRAWING NUMBER: S-01

DATE: 09.24.2025 **SCALE:** AS NOTED

NOTE: THIS DRAWING IS VALID FOR CONSTRUCTION IF (AND ONLY IF) A PERMIT IS ISSUED, BASED ON THIS DRAWING, BY THE VILLAGE OF PORT CHESTER.