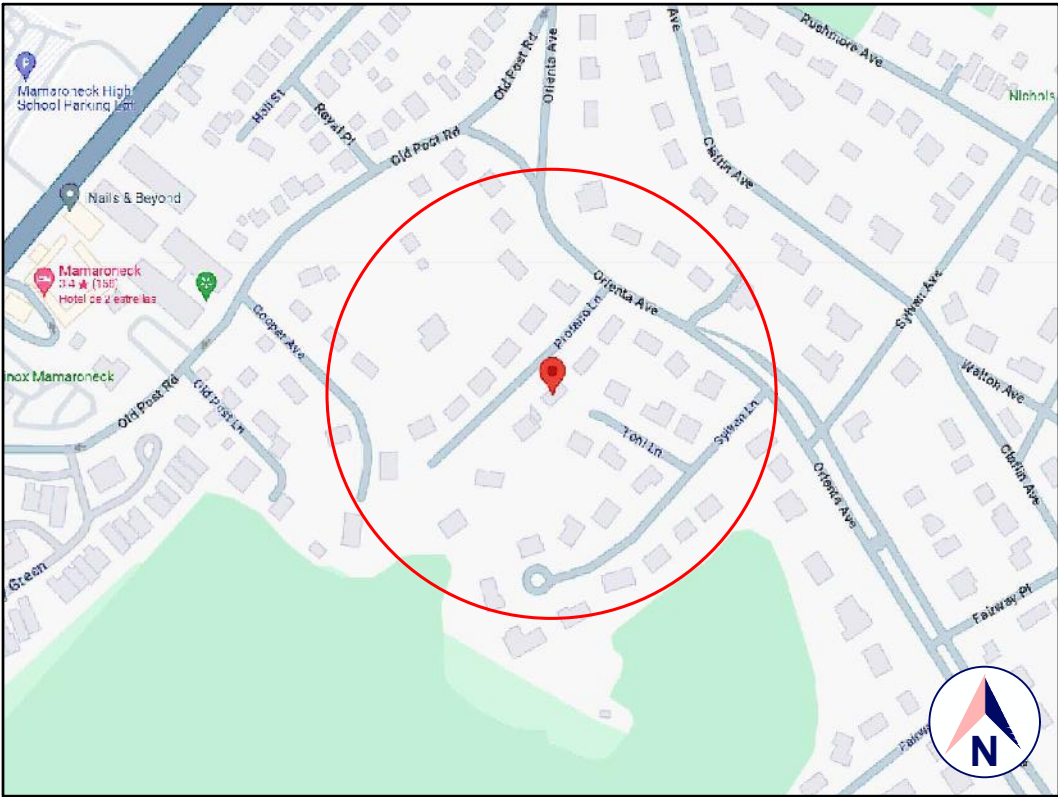
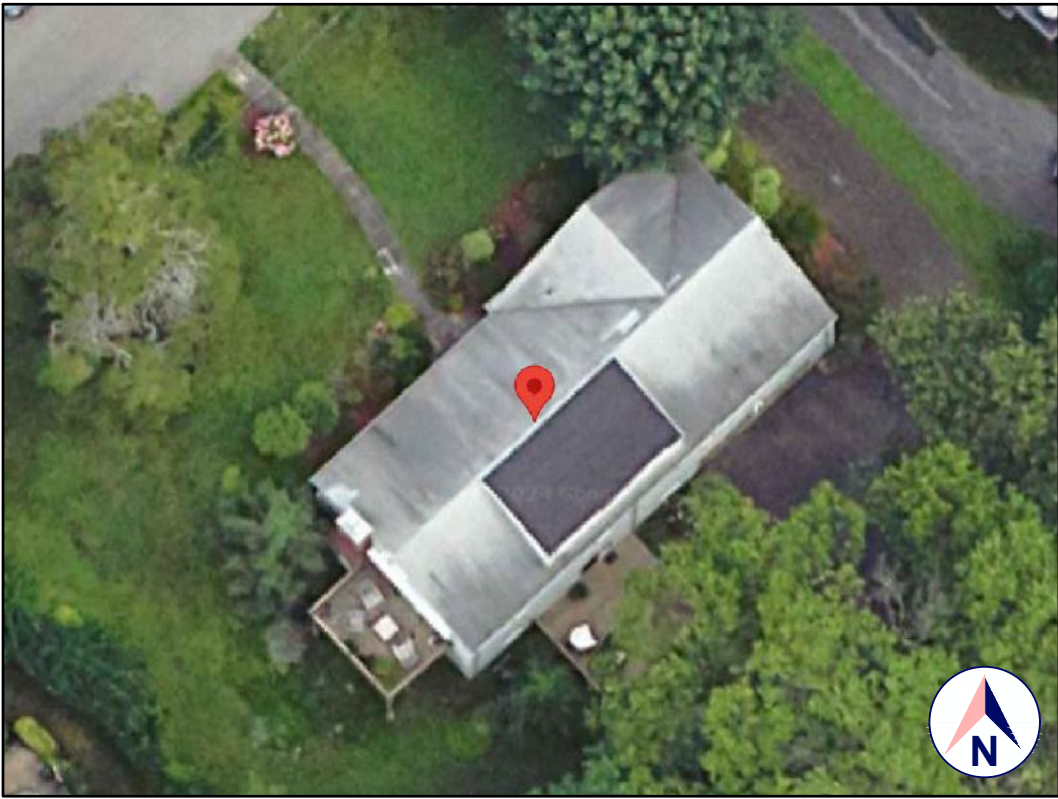
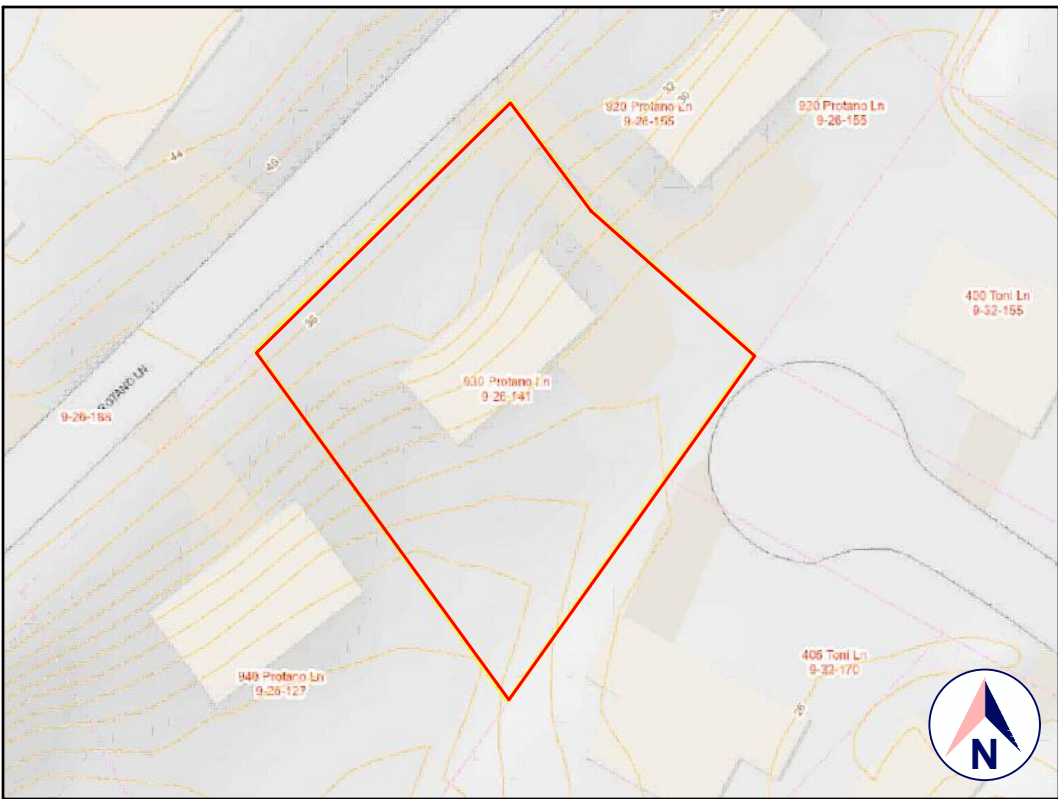




LOCATION
GOOGLE MAPS



SATELLITE VIEW
GOOGLE EARTH



TAX MAP AND TOPO
WESTCHESTER COUNTY GIS



FRONT VIEW
GOOGLE STREET VIEW

1.0 GENERAL REQUIREMENTS:

1.1 DESIGN INTENT:

THESE (STRUCTURAL) DRAWINGS ADDRESS ONLY THE STRUCTURAL INTEGRITY, BASED ON THE STIPULATED LOADS, OF THE PROPOSED CONSTRUCTION.

THESE DRAWINGS SHOULD ONLY BE USED IN CONJUNCTION WITH THE ARCHITECTURAL AND OTHER DRAWINGS.

IT IS THE OVERALL INTENT OF (ALL OF THE DRAWINGS) TO CALL FOR COMPLETE AND FINISHED WORK, IN COMPLIANCE WITH THE NOTED CODES, AND TESTED AND GUARANTEED AND READY FOR OPERATION.

THESE (STRUCTURAL) DRAWINGS ARE NOT INTENDED TO ADDRESS: ZONING; DRAINAGE; GRADING; OR OTHER SITE ISSUES. REFER TO THE —DRAWINGS FOR ALL SITE-RELATED ISSUES.

THESE (STRUCTURAL) DRAWINGS ARE NOT INTENDED TO ADDRESS: BUILDING PLANNING; DIMENSIONAL COORDINATION; THERMAL OR MOISTURE PROTECTION; EGRESS; FIRE PROTECTION; MECHANICAL; HEAT, LIGHT AND VENTILATION; GENERAL BUILDING; OR ANY OTHER OTHER NON-STRUCTURAL ISSUES. REFER TO THE KATHERINE MARTIN DRAWINGS FOR ALL SUCH ISSUES.

THE ENGINEER HAS NOT BEEN ENGAGED TO SUPERVISE ANY WORK AND DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

1.2 SCOPE AND CLASSIFICATION:

THIS IS A PROPOSED ALTERATION LEVEL 2, AS DEFINED IN THE EXISTING BUILDING CODE, SECTION 603.1 (MAY INCLUDE THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT), AND SHALL COMPLY WITH THE PROVISIONS OF CHAPTERS 7 AND 8 OF THAT CODE.

CONSTRUCTION TYPE: TYPE V-B, AS DEFINED IN TABLE 601

YEAR BUILT: 1961 (PER ZILLLOW)

OCCUPANCY CLASSIFICATION: DETACHED ONE-FAMILY DWELLING STRUCTURE

ARCHITECTURAL REVIEW: REFER TO ARCHITECTURAL DRAWINGS

1.3 COMPLIANCE:

ALL WORK SHALL BE IN COMPLIANCE WITH:

- 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL BUILDING CODE 2018 WITH AMENDMENTS)
- EXISTING BUILDING CODE OF NEW YORK STATE (INTERNATIONAL EXISTING BUILDING CODE 2018 WITH AMENDMENTS)
- CHAPTER 106, FIRE PREVENTION AND BUILDING CONSTRUCTION OF THE CODE OF THE VILLAGE OF MAMARONECK
- ALL OTHER REFERENCED CODES AND ALL OTHER CODES AND REGULATIONS, LOCAL, STATE AND FEDERAL, THAT APPLY.

1.4 AUTHORITY HAVING JURISDICTION:

THE AUTHORITY HAVING JURISDICTION, AS DEFINED IN (NY) 103.1 OF THE BUILDING CODE, AND WHICH SHALL PROVIDE FOR ADMINISTRATION AND ENFORCEMENT OF THE UNIFORM CODE AND ENERGY CODE BY LOCAL LAW, ORDINANCE, OTHER APPROPRIATE REGULATION, OR COMBINATION THEREOF, IS THE VILLAGE OF MAMARONECK.

THE DULY APPOINTED BUILDING OFFICIAL OF THE VILLAGE OF MAMARONECK IS AUTHORIZED TO ENFORCE THE PROVISIONS OF THE CODE.

THE BUILDING OFFICIAL MAY ADOPT POLICIES AND PROCEDURES IN ORDER TO CLARIFY THE APPLICATION OF THE PROVISIONS OF THE CODE. SUCH POLICIES AND PROCEDURES SHALL BE IN COMPLIANCE WITH THE INTENT AND PURPOSE OF THE CODE.

2.0 LOADING:

2.1 DEAD LOAD: PER 301.4, THE ACTUAL WEIGHTS OF MATERIALS AND CONSTRUCTION SHALL BE USED FOR DETERMINING DEAD LOAD; THE FOLLOWING APPROXIMATIONS (IN PSF) ARE USED FOR THIS PROJECT:

USE:	PSF
WALL ASSEMBLY:	10
ROOF /CEILING ASSEMBLY:	20
FLOOR ASSEMBLY:	15
EXTERIOR DECK:	0

ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.2 LIVE LOAD:

UNIFORMLY DISTRIBUTED LIVE LOADS SHALL BE PER TABLE R301.5 AND AS FOLLOWS* (IN PSF):

USE:	SF	OTHER
UNINHABITABLE SPACE WITHOUT STORAGE:	10	(<42"H, 24"W)
UNINHABITABLE ATTICS (UNLIMITED STORAGE):	20	
HABITABLE ATTICS & ATTICS W/FIXED STAIRS:	30	
EXTERIOR BALCONIES & DECKS:	40	
FIRE ESCAPES:	200	(CONCENTRATED)
GUARDS & HANDRAILS:	50	(HORIZONTAL)
GUARD IN-FILL COMPONENTS:	50	(&2,000LB/20SI)
PASSENGER VEHICLE GARAGE:	40	
ROOMS OTHER THAN SLEEPING ROOMS:	40	
SLEEPING ROOMS:	40	(& 300LB/4SI)
STAIRS:	40	
ROOF, PER 301.6 (INC. SNOW):	30	

*SOME OF THE LOADS LISTED ABOVE MAY BE HIGHER THAN THOSE REQUIRED PER CODE. ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.3 WIND LOAD:

WIND LOADS SHALL BE BASED ON THE ULTIMATE DESIGN WIND SPEED LISTED IN TABLE 301.2(1) AND ADJUSTED FOR HEIGHT AND EXPOSURE); 120 MPH. WIND LOADS WILL BE ALLOWED FOR IN-THE DESIGN LOAD PERFORMANCE REQUIREMENTS FOR WALL COVERINGS, ROOF COVERINGS, WINDOWS, SKYLIGHTS AND DOORS.

COMPONENT AND CLADDING LOADS WILL BE PER TABLE R301.2(2)

2.4 ALLOWABLE LIVE LOAD DEFLECTION:

THE ALLOWABLE LIVE LOAD DEFLECTION OF ALL STRUCTURAL MEMBERS, SHALL BE PER TABLE R301.7 AN AS FOLLOWS:

STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
RAFTERS HAVING SLOPES GRATER THAN 3:12 WHIT FINISHED	L/180
CEILING NOT ATTACHED TO RAFTERS	L/180
INTERIOR WALLS AND PARTITIONS	L/360
FLOORS	L/360
CEILING WITH BRITTLE FINISHES (INCLUDING PLASTER AND STUCCO)	L/360
CEILING WITH FLEXIBLE FINISHES (INCLUDING GYPSUM BOARD)	L/240
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS-WIND LOAD WITH PLASTER OR STUCCO FINISHES	L/360
EXTERIOR WALLS-WIND LOAD WITH OTHER BRITTLE FINISHES	H/240
EXTERIOR WALLS-WIND LOADS WITH FLEXIBLE FINISHES	H/120
LINTELS SUPPORTING MASONRY VENEER WALLS	L/600

PRELIMINARY CLIMATE AND GEOGRAPHIC DESIGN CRITERIA											
LOCATION: VILLAGE OF MAMARONECK											
ZIP CODE: 10543											
PER 2020 RESIDENTIAL CODE OF NEW YORK STATE, TABLE 901.2.1 (WIND) EXPOSURE CATEGORY: B											
GROUND LOAD	WIND SPEED (30-MINUTE)	WIND DIRECTION	WIND EFFECTS	WIND CATEGORY	WIND SPEED (30-MINUTE)	WIND DIRECTION	WIND EFFECTS	WIND CATEGORY	WIND SPEED (30-MINUTE)	WIND DIRECTION	WIND EFFECTS
30 PSF	110-120	NO	NO	NO	C	30 PSF	110-120	NO	NO	NO	C

3.0 CONTRACTOR'S RESPONSIBILITIES:

THE CONTRACTOR SHALL:

- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR A COMPLETE AND FINISHED JOB.
- PROVIDE ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.
- OBTAIN AND PAY FOR ALL REQUIRED PERMITS - UNLESS OTHERWISE STIPULATED.
- PRIOR TO THE SUBMISSION OF ANY BID, AND BEFORE PROCEEDING WITH ANY WORK, VISIT THE SITE AND VERIFY AND FAMILIARIZE HIM-HERSELF WITH ALL SITE DIMENSIONS AND CONDITIONS, WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION, METHODS AND ROUTES OF ACCESS, AND THE EXISTENCE AND EXTENT OF ANY OTHER RESTRICTIONS, AND BE RESPONSIBLE FOR THE VERIFICATION OF ALL SUCH CONDITIONS AND DIMENSIONS WHICH PERTAIN TO THE PROJECT.
- BRING ALL DISCREPANCIES IN CONDITIONS AND DIMENSIONS, BETWEEN THE APPROVED DRAWINGS AND ACTUAL FIELD CONDITIONS, TO THE IMMEDIATE ATTENTION OF THE OWNER, AND RECEIVE DIRECTION IN WRITING, BEFORE PROCEEDING WITH THE AFFECTED WORK.
- VERIFY THE AVAILABILITY, LOCATION LAYOUT AND CONDITION OF UTILITIES, INCLUDING SEWER, WATER, GAS AND ELECTRIC LINES, PRIOR TO THE SUBMISSION OF ANY BID.
- HAVE CONTROL OVER AND SUPERVISE AND DIRECT THE WORK, INCLUDING THAT OF ITS SUBCONTRACTORS, AND BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR JOBSITE SAFETY, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, VERIFY THE CONDITION OF ALL ADJOINING STRUCTURES WHICH MAY BE AFFECTED, AND PROVIDE ADEQUATE PROTECTION TO ANY STRUCTURE THAT MIGHT BE OTHERWISE AFFECTED.
- IN THE EVENT THAT DAMAGE IS CAUSED TO ANY STRUCTURE, FINISH, OR OTHER ELEMENT, RESTORE SUCH ELEMENTS TO THEIR ORIGINAL CONDITION.
- HAVE CONTROL OVER AND SUPERVISE, COORDINATE AND DIRECT THE WORK, INCLUDING THAT OF HIS SUBCONTRACTORS, AND SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR JOBSITE SAFETY.
- IF APPLICABLE, PROVIDE WEATHER PROTECTION, IN AN EFFECTIVE AND TIMELY MANNER, TO PROTECT THE PREMISES, PERSONNEL, MATERIALS AND INSTALLED WORK.
- BE A HOME IMPROVEMENT CONTRACTOR WITH A CURRENT LICENSE ISSUED BY THE WESTCHESTER COUNTY DEPARTMENT OF CONSUMER AFFAIRS.
- BE CERTIFIED AS A LEAD SAFE FIRM BY THE EPA PER 40 CFR 745.226.
- CARRY LIABILITY INSURANCE TO THE LIMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION AND ISSUE CERTIFICATE(S) OF INSURANCE AS REQUIRED BY THE HOMEOWNER AND/OR THAT AUTHORITY.
- CARRY WORKMAN'S COMPENSATION AND DISABILITY INSURANCE AS REQUIRED THE LAW AND ISSUE CERTIFICATE(S) AS REQUIRED BY THE HOMEOWNER AND/OR THE AUTHORITY HAVING JURISDICTION.

4.0 BUILDING PERMIT:

NO PERSON OR ENTITY SHALL COMMENCE, PERFORM, OR CONTINUE ANY WORK THAT MUST CONFORM WITH THE UNIFORM CODE AND/OR ENERGY CODE UNLESS:

- SUCH PERSON OR ENTITY HAS APPLIED TO THE VILLAGE OF MAMARONECK FOR A BUILDING PERMIT,
- THE VILLAGE OF MAMARONECK HAS ISSUED A BUILDING PERMIT AUTHORIZING SUCH WORK,
- SUCH BUILDING PERMIT HAS NOT BEEN REVOKED OR SUSPENDED, AND
- SUCH BUILDING PERMIT HAS NOT EXPIRED.

THE BUILDING PERMIT IS REQUIRED TO BE VISIBLY DISPLAYED AT THE WORKSITE AND TO REMAIN VISIBLE UNTIL THE PROJECT, AND ALL REQUIRED INSPECTIONS, HAVE BEEN COMPLETED.

THE APPROVED DRAWINGS MUST BE KEPT AT THE WORKSITE AND BE AVAILABLE FOR REVIEW AT THE TIME OF ANY REQUIRED INSPECTIONS.

5.0 CONSTRUCTION INSPECTIONS:

IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING PERMIT, OR THEIR DULY AUTHORIZED AGENT, TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION:

BUILDING DEPARTMENT OF THE VILLAGE OF MAMARONECK

169 MOUNT PLEASANT AVENUE

MAMARONECK, NY 10543

TEL: (914) 777-7731

EMAIL: buildingdepartment@vomny.org

WEB SITE: www.village.mamaroneck.ny.us

ANY PERSON OR ENTITY PERFORMING WORK FOR WHICH A BUILDING PERMIT HAS BEEN ISSUED SHALL KEEP SUCH WORK ACCESSIBLE AND EXPOSED UNTIL THE WORK HAS BEEN INSPECTED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION, OR ITS AUTHORIZED AGENT, AT EACH ELEMENT OF THE CONSTRUCTION PROCESS THAT IS APPLICABLE TO THE WORK.

BUILDING PERMIT HOLDERS SHALL BE REQUIRED TO NOTIFY THE BUILDING OFFICIAL OF THE VILLAGE OF MAMARONECK WHEN CONSTRUCTION WORK IS READY FOR INSPECTION.

THE BUILDING OFFICIAL SHALL MAKE THE REQUIRED INSPECTIONS OR SHALL HAVE THE AUTHORITY TO ACCEPT WRITTEN REPORTS OF INSPECTION BY APPROVED AGENCIES OR INDIVIDUALS.

REQUIRED INSPECTIONS FOR THIS PROJECT MAY INCLUDE THE FOLLOWING, AS APPLICABLE, OR AS SPECIFIED IN THE CODE ENFORCEMENT PROGRAM OF THE VILLAGE OF MAMARONECK:

- WORKSITE PRIOR TO THE ISSUANCE OF A PERMIT
- PLUMBING*
- ELECTRICAL*
- MECHANICAL
- FRAMING (SUBSEQUENT TO THE INSPECTION & APPROVAL OF PLUMBING, ELECTRICAL & MECHANICAL)
- FIRE RESISTANT CONSTRUCTION
- FIRE RESISTANT PENETRATIONS
- ENERGY CODE COMPLIANCE
- A FINAL INSPECTION AFTER ALL WORK AUTHORIZED BY THE BUILDING PERMIT HAS BEEN COMPLETED.
- ANY OTHER INSPECTIONS AS REQUIRED BY THE VILLAGE OF MAMARONECK.

A SCHEDULE OF REQUIRED INSPECTIONS IS AVAILABLE FROM THE BUILDING DEPARTMENT OF THE VILLAGE OF MAMARONECK.

*THE WORK APPLICABLE TO SOME OF THE ABOVE INSPECTIONS (FOR INSTANCE PLUMBING AND ELECTRICAL) SHALL BE COMPLETED UNDER A SEPARATE PERMIT, FILED BY THE RELEVANT LICENSED CONTRACTORS.

AFTER INSPECTION, THE WORK OR A PORTION THEREOF SHALL BE NOTED AS SATISFACTORY AS COMPLETED, OR THE BUILDING PERMIT HOLDER SHALL BE NOTIFIED AS TO THE MANNER IN WHICH THE WORK FAILS TO COMPLY WITH APPLICABLE CODES, INCLUDING A CITATION OF THE SPECIFIC CODE PROVISION OR PROVISIONS THAT HAVE NOT BEEN MET.

IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO ASCERTAIN THE RESULTS OF REQUIRED INSPECTIONS.

CONSTRUCTION WORK NOT IN COMPLIANCE WITH APPLICABLE CODES SHALL BE REQUIRED TO REMAIN EXPOSED UNTIL IT HAS BEEN BROUGHT INTO COMPLIANCE WITH THE CODES, RE-INSPECTED, AND FOUND SATISFACTORY AS COMPLETED.

DEMOLITION

THE CONTRACTOR SHALL:

- DEMOLISH AND REMOVE ALL ELEMENTS NOTED IN THE DRAWINGS FOR DEMOLITION, AND AS REQUIRED FOR THE COMPLETION OF ALL WORK SHOWN ON THESE DRAWINGS.
- ALLOW NO DEBRIS TO ACCUMULATE, HAIL AWAY FROM SITE ALL DEBRIS AT CONTRACTOR'S EXPENSE; REMOVE ALL DEBRIS ON A REGULAR BASIS AND MAINTAIN JOBSITE IN A CLEAN AND TIDY CONDITION.
- FULLY PROTECT ALL STRUCTURES, BUILDING ELEMENTS, EQUIPMENT, APPLIANCES AND FINISHES THAT ARE TO REMAIN FROM DAMAGE CAUSED BY ANY OF THE CONTRACTOR'S ACTIVITIES.
- PROTECT ALL ADJACENT AREAS, AND ALL NEIGHBORING PROPERTY, FROM DAMAGE, INJURY AND DISCOMFORT CAUSED BY DUST.
- PROTECT ALL PUBLIC PROPERTIES AND PREMISES FROM DAMAGE AND PREVENT ANY ACCUMULATION OF DEBRIS, DUST OR RUBBISH IN ANY PUBLIC AREA.
- ASSUME FULL RESPONSIBILITY FOR ANY DAMAGE CAUSED TO EXISTING ELEMENTS AND MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
- CONDUCT ALL DEMOLITION OPERATIONS IN SUCH A MANNER AS TO PREVENT UNAUTHORIZED ENTRY OF ANY PERSONS AT ANY TIME; POST APPROPRIATE SIGNAGE AS REQUIRED.
- LOCATE ALL UTILITY AND DRAINAGE LINES PRIOR TO COMMENCEMENT OF DEMOLITION AND PROTECT ALL ACTIVE LINES AS REQUIRED. IDENTIFY CLEARLY ANY WORK THAT MAY RESULT IN THE INTERRUPTION OF ANY SERVICES WITHIN THE AREA OF WORK OR IN ANY ADJACENT SPACE OR PROPERTY AND COORDINATE SUCH INTERRUPTIONS WITH ALL INVOLVED PARTIES.
- NOTIFY THE OWNER, UTILITY COMPANIES, FIRE DEPARTMENT, ALARM COMPANIES, ETC.... OF ANY WORK AFFECTING THEIR SYSTEMS AS REQUIRED BY ALL APPLICABLE CODES, RULES, AND REGULATIONS.

WOOD FRAMING

FLOOR FRAMING: STRUCTURAL FLOOR MEMBERS SHALL CONFORM TO THE APPLICABLE PROVISIONS OF SECTION R502.

WALL FRAMING:

LOAD BEARING WALLS SHALL CONFORM TO THE APPLICABLE PROVISIONS OF SECTION R602. INTERNAL LOAD BEARING WOOD FRAMED PARTITIONS ARE TO BE 2X4 WOOD STUDS, DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2, FB=850 PSI, 1.4E OR BETTER, AT 16" (MAXIMUM) ON CENTER, OR AS OTHERWISE NOTED IN THE DRAWINGS.

AVOID NOTCHING (SEE CUTTING AND NOTCHING BELOW). PROVIDE SISTER STUDS AS REQUIRED.

EXCEPTION: BEARING STUDS NOT SUPPORTING FLOORS AND NONBEARING STUDS SHALL BE PERMITTED TO BE UTILITY GRADE LUMBER, PROVIDED THAT THE STUDS ARE SPACED AT 16" O.C. MINIMUM.

BOTTOM (SOLE) PLATE: STUDS SHALL HAVE FULL BEARING ON A NOMINAL 2-BY (51 MM) OR LARGER PLATE OR SILL HAVING A WIDTH NOT LESS THAN THE WIDTH OF THE STUDS.

TOP PLATE: WOOD STUD WALLS SHALL BE CAPPED WITH A DOUBLE TOP PLATE INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND INTERSECTIONS WITH BEARING PARTITIONS. END JOINTS IN TOP PLATES SHALL BE OFFSET NOT LESS THAN 24 INCHES (610 MM). JOINTS IN PLATES NEED NOT OCCUR OVER STUDS. PLATES SHALL BE NOT LESS THAN 2-INCHES (51 MM) NOMINAL THICKNESS AND HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE STUDS.

TRUSS TYPE CONSTRUCTION

UTILIZATION:

WHERE NOT SPECIFICALLY INDICATED ON THE DRAWINGS, SPLICING & EMBEDMENTS SHALL BE IN ACCORDANCE TABLE R608.5.4(1) LAP SPLICE AND TENSION DEVELOPMENT LENGTHS

THE UTILIZATION OF TRUSS-TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND/OR TIMBER CONSTRUCTION IN RESIDENTIAL STRUCTURES IS SUBJECT TO THE REQUIREMENTS OF TITLE 19 OF THE NEW YORK CODES, RULES AND REGULATIONS (NYCRR), PART 1266:

ANY PERSON UTILIZING TRUSS TYPE, PRE-ENGINEERED WOOD OR TIMBER CONSTRUCTION FOR THE ERECTION OF ANY NEW RESIDENTIAL STRUCTURE, FOR ANY ADDITION TO AN EXISTING RESIDENTIAL STRUCTURE, OR FOR ANY REHABILITATION OF AN EXISTING RESIDENTIAL STRUCTURE, SHALL, UPON APPLICATION FOR A BUILDING PERMIT WITH THE LOCAL GOVERNMENT HAVING JURISDICTION, INCLUDE ON THE PERMIT APPLICATION THAT TRUSS TYPE, PRE-ENGINEERED WOOD OR TIMBER CONSTRUCTION IS BEING UTILIZED, AND THAT THE PROPERTY OWNER OR THE PROPERTY OWNER'S REPRESENTATIVE SHALL COMPLETE A FORM PRESCRIBED BY THE STATE FIRE PREVENTION AND BUILDING CODE COUNCIL, (HEREINAFTER REFERRED TO AS THE CODE COUNCIL) DESIGNATING THE STRUCTURE AS TRUSS TYPE, PRE-ENGINEERED WOOD OR TIMBER CONSTRUCTION AND FILE SUCH FORM WITH THE APPLICATION FOR A BUILDING PERMIT.

REQUIRED SIGN:

AS A CONDITION OF THE REQUIRED CERTIFICATE OF OCCUPANCY, A SIGN OR SYMBOL, DESIGNATED AND APPROVED BY THE CODE COUNCIL, SHALL BE AFFIXED TO THE ELECTRIC BOX ATTACHED TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE, PROVIDED:

HOWEVER:

IF AFFIXING THE SIGN OR SYMBOL TO THE ELECTRIC BOX WOULD obscure any METER ON THE ELECTRIC BOX, OR IF THE UTILITY PROVIDER'S ELECTRICAL SERVICE TO THE RESIDENTIAL STRUCTURE DOES NOT ALLOW THE SIGN OR SYMBOL TO BE AFFIXED TO THE ELECTRIC BOX, THE SIGN OR SYMBOL SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE AT A POINT IMMEDIATELY ADJACENT TO THE ELECTRIC BOX, AND

IF NO ELECTRIC BOX IS ATTACHED TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE OR IF, IN THE OPINION OF THE AUTHORITY HAVING JURISDICTION, THE ELECTRIC BOX ATTACHED TO THE EXTERIOR OF THE BUILDING IS NOT LOCATED IN A PLACE LIKELY TO BE SEEN BY FIREFIGHTERS OR OTHER FIRST RESPONDERS RESPONDING TO A FIRE OR OTHER EMERGENCY AT THE RESIDENTIAL STRUCTURE, THE SIGN OR SYMBOL SHALL BE AFFIXED TO THE EXTERIOR OF THE STRUCTURE IN A LOCATION APPROVED BY THE BUILDING OFFICIAL OF THE VILLAGE OF MAMARONECK AS A LOCATION LIKELY TO BE SEEN BY FIREFIGHTERS OR OTHER FIRST RESPONDERS RESPONDING TO A FIRE OR OTHER EMERGENCY AT THE RESIDENTIAL STRUCTURE.

CONCRETE

STRUCTURAL CONCRETE AND CONCRETING PRACTICES SHALL CONFORM WITH THE LATEST EDITION OF ACI 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, ISSUED AND MAINTAINED BY THE AMERICAN CONCRETE INSTITUTE, AND AS NOTED BELOW.

ALL ACI REQUIREMENTS FOR HOT AND COLD WEATHERING CONCRETE MUST BE ADHERED TO.

STRENGTH: CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS AS FOLLOWS UNLESS OTHERWISE NOTED ON THE DRAWINGS:
FOUNDATION WALLS, SLAB ON GRADE: 4000 PSI, NORMAL WEIGHT
FOOTINGS AND PIERS: 4000 PSI, NORMAL WEIGHT
CONCRETE ON METAL DECK: 4000 PSI, NORMAL WEIGHT
ALL OTHER CONCRETE: 4000 PSI, NORMAL WEIGHT

ALL EXPOSED CONCRETE SHALL HAVE AN AIR ENTRAINING AGENT.

COVER:

MINIMUM CONCRETE COVER SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE ON THE DRAWINGS:

SLABS:	3/4"
WALLS:	1"
COLUMNS:	1 1/2"
EXPOSED TO WEATHER OR EARTH:	2"
CONCRETE PLACED AGAINST EARTH:	3"

REINFORCING STEEL:

DETAILS SHALL BE IN ACCORDANCE WITH ACI-315, DETAILS AND DETAILING OF CONCRETE REINFORCEMENT UNLESS OTHERWISE NOTED ON THE DRAWINGS.

ALL REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60 UNLESS REQUIRED TO BE WELDED AS SHOWN ON PLANS.

ALL REINFORCING BARS REQUIRED TO BE WELDED SHALL CONFORM TO ASTM A706, GRADE 50.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. SUPPORT WIRE FABRIC WITH CHAIRS OR LIFTS DURING CONCRETE PLACEMENT TO INSURE PROPER POSITION IN SLAB.

ALL REINFORCEMENT SHALL BE SECURELY HELD IN PLACE WHILE PLACING CONCRETE. IF REQUIRED, ADDITIONAL BARS OR STIRRUPS SHALL BE PROVIDED BY THE CONTRACTOR TO FURNISH SUPPORT FOR ALL BARS. REINFORCEMENT SHALL BE SECURED IN THE PROPER LOCATION IN THE FORMS WITH THE WIRE OR OTHER BAR SUPPORT SYSTEM TO PREVENT DISPLACEMENT DURING THE CONCRETE PLACEMENT OPERATION.

WHERE NOT SPECIFICALLY INDICATED ON THE DRAWINGS, SPLICING & EMBEDMENTS SHALL BE IN ACCORDANCE TABLE R608.5.4(1) LAP SPLICE AND TENSION DEVELOPMENT LENGTHS

STATEMENT OF DESIGN PROFESSIONAL:

1. THESE PLANS HAVE BEEN PREPARED IN CONFORMANCE WITH THE 2020 RESIDENTIAL CODE OF STATE OF NEW YORK.

VINCENT COAKLEY, P.E.

(STAMP AFFIXED AND SIGNED) HE CODES, RE-INSPECTED, AND FOUND SATISFACTORY AS COMPLETED.

LIST OF STRUCTURAL DRAWINGS			
SHEET	DRAWING NAME	DATE	REVISION
C.01	COVER SHEET	03.22.2024	04.25.2024
S.01	BASEMENT AND FIRST FLOOR	03.22.2024	04.25.2024
S.02	SECOND FLOOR AND DETAILS	03.22.2024	04.25.2024

Katherine Martin
Architect

KOM Design LLC
132 Larchmont Avenue #11
Larchmont, NY 10538
t. 917.691.8680

PROPERTY ADDRESS:

MAMARONECK, NY 10543
(VILLAGE OF MAMARONECK)

S-B-L

CLIENT:

DATE:
03.22.2024
04.25.2024

ISSUE:
FOR PERMIT
FOR PERMIT

PROJECT NAME:
REMOVE LOAD BEARING
WALL

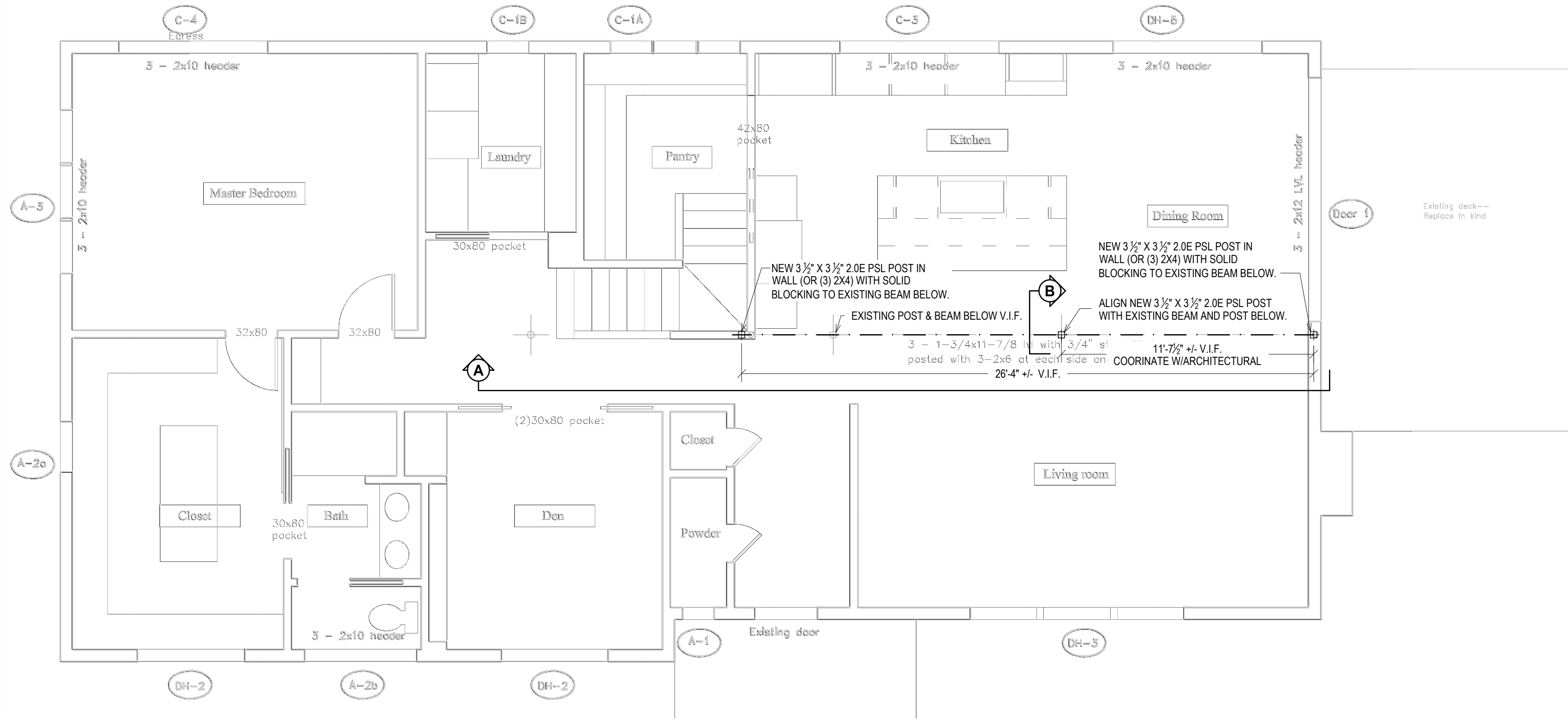
DRAWING NAME:
COVER SHEET

DRAWING NUMBER:
C-01

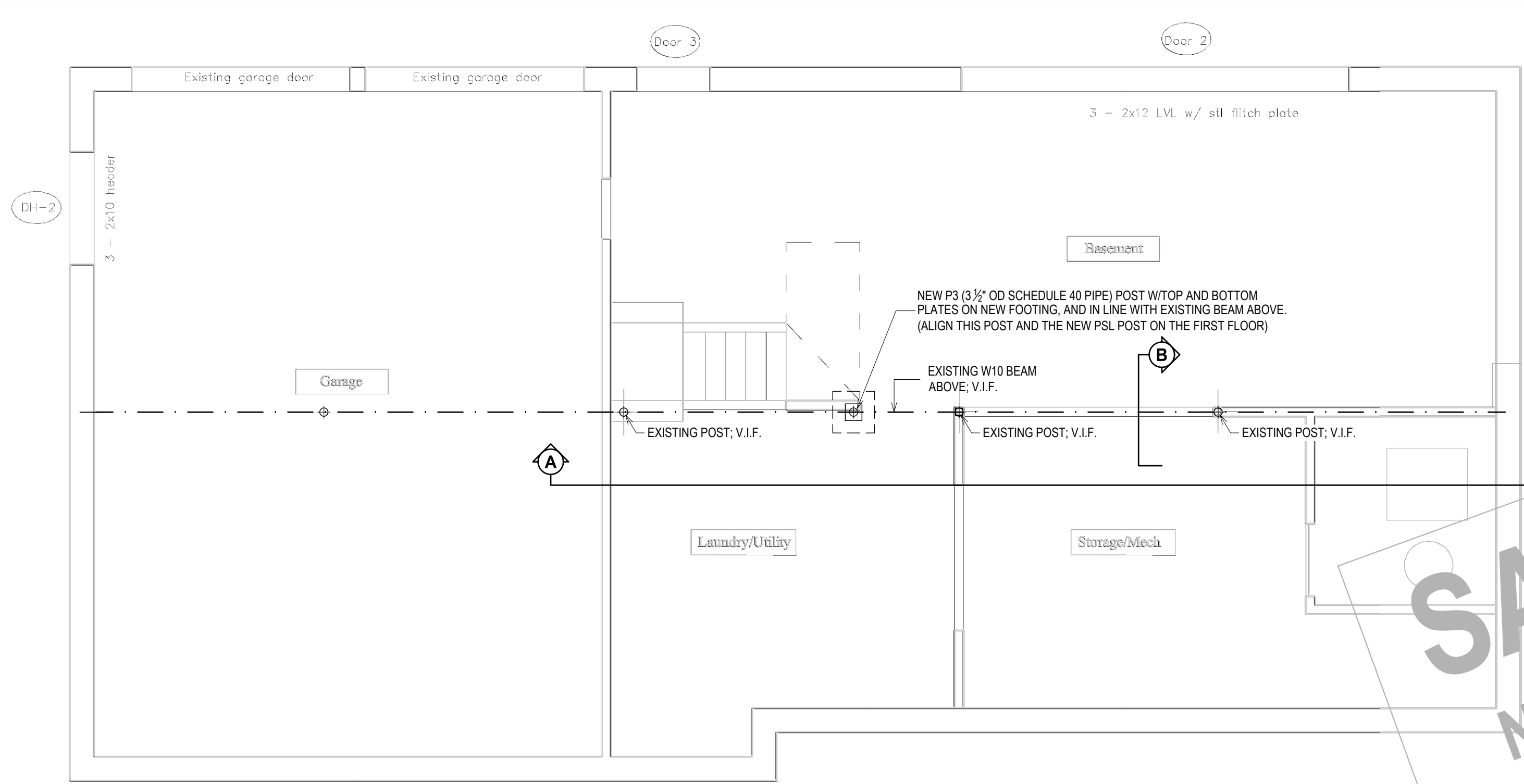
DATE:
03.22.2024

SCALE:
AS NOTED

NOTE:
THIS DRAWING IS VALID FOR
CONSTRUCTION IF (AND ONLY IF) A
PERMIT IS ISSUED, BASED ON THIS
DRAWING, BY THE VILLAGE OF
MAMARONECK.



FIRST FLOOR PLAN
COORDINATE WITH ARCHITECTURAL DRAWINGS
(FLOOR PLAN UNDERLY IS REPRODUCED FROM ARCHITECTURAL DRAWINGS)
1/4" = 1'-0"



BASEMENT PLAN
COORDINATE WITH ARCHITECTURAL DRAWINGS
(FLOOR PLAN UNDERLY IS REPRODUCED FROM ARCHITECTURAL DRAWINGS)
1/4" = 1'-0"

SAMPLE ONLY
NOT FOR REPRODUCTION
OR UNAUTHORIZED USE

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Code Compliance - Project Supervision
163 North Main Street, #207 Port Chester, NY 10573
(914) 774-9878 www.proeng.nyc ve@proeng.nyc

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PROPERTY ADDRESS:

MAMARONECK, NY 10543
(VILLAGE OF MAMARONECK)

S-B-L:

CLIENT:
*** ***

DATE: 03.22.2024
04.25.2024
ISSUE: FOR PERMIT
FOR PERMIT

PROJECT NAME:
REMOVE LOAD BEARING
WALL

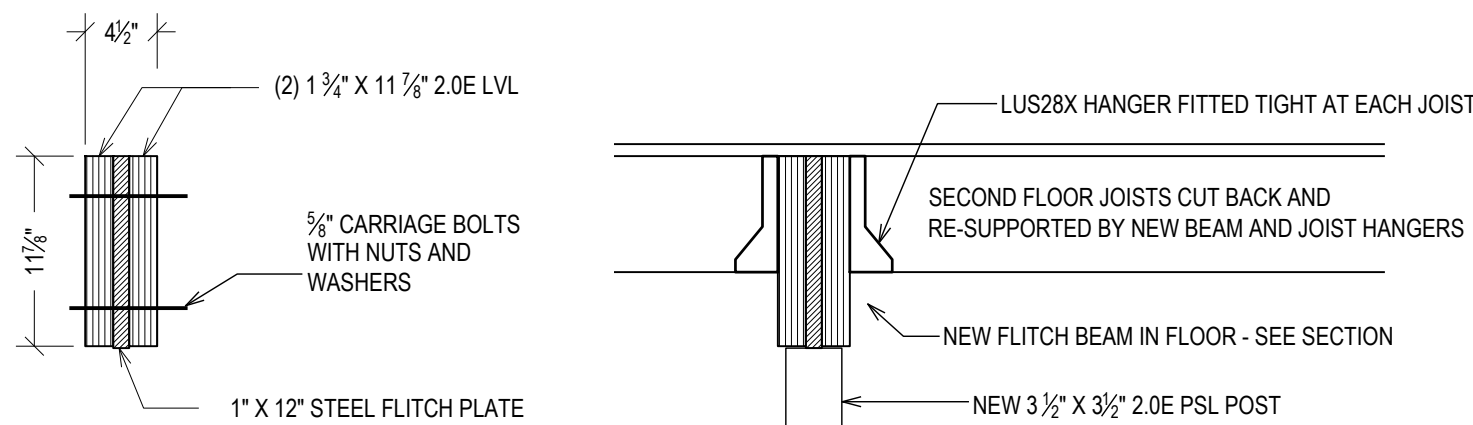
DRAWING NAME:
BASEMENT AND FIRST FLOOR
PLAN

DRAWING NUMBER:
S-01

DATE:
03.22.2024

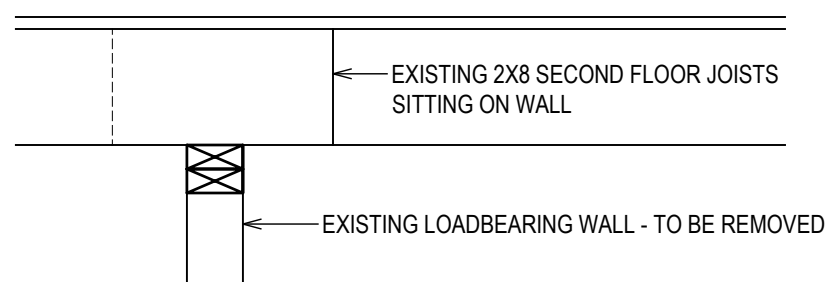
SCALE:
AS NOTED

NOTE:
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CONSTRUCTION IF (AND ONLY IF) A
PERMIT IS ISSUED, BASED ON THIS
DRAWING, BY THE VILLAGE OF
MAMARONECK.



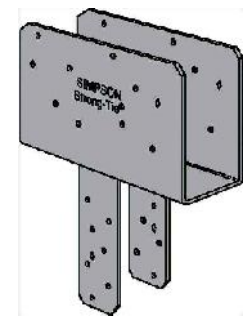
FLITCH BEAM SECTION
1" = 1'-0"

IN-FLOOR FLITCH BEAM
1" = 1'-0"



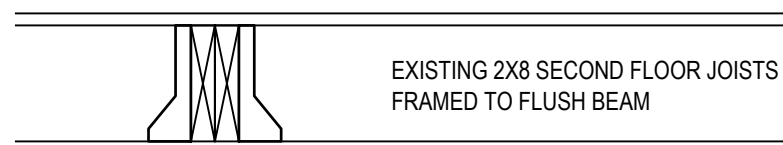
ASSUMED EXISTING CONDITION @ WALL

1" = 1'-0"
VERIFY ALL EXISTING CONDITIONS IN FIELD
FINISHES NOT SHOWN



BEAM-POST CONNECTION

SIMPSON STRONG TIE CCO4 62-3 62SDS
(16) SDS 25112 (1/2" X 1 1/2") SCREWS IN BEAM
(14) SDS 25112 (1/2" X 1 1/2") SCREWS IN POST



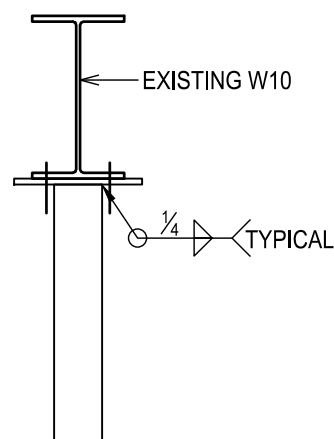
ASSUMED EXISTING CONDITION @ FLUSH BEAM

1" = 1'-0"
VERIFY ALL EXISTING CONDITIONS IN FIELD
FINISHES NOT SHOWN

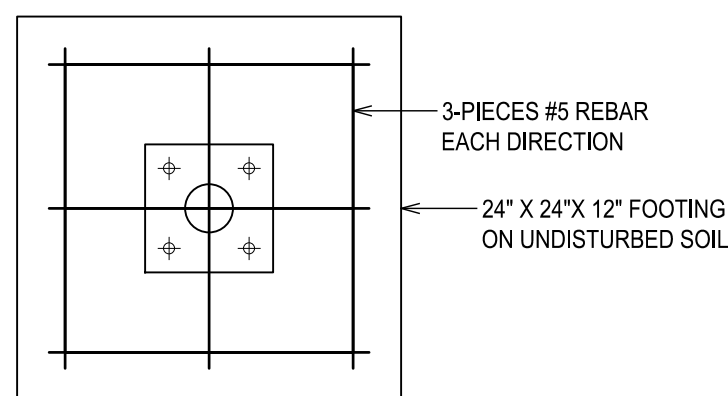


POST BASE CONNECTOR

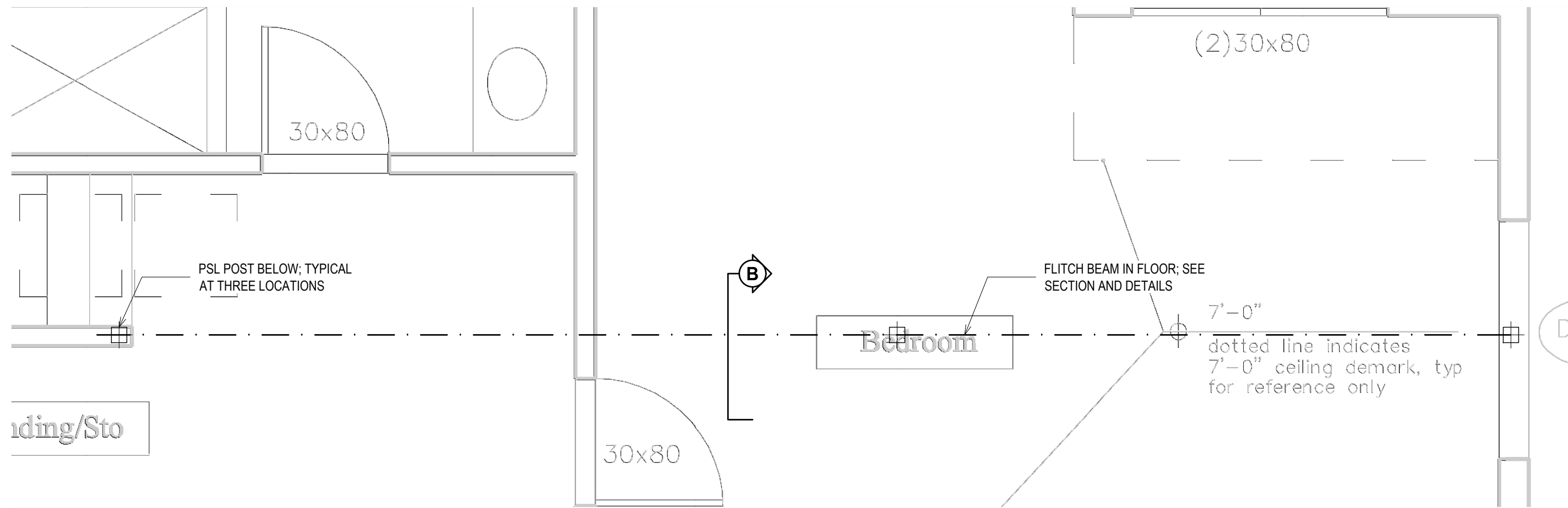
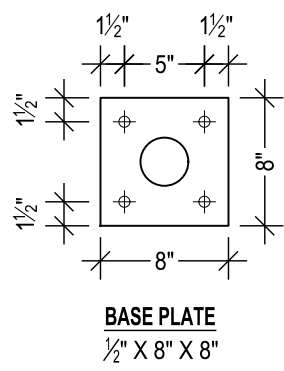
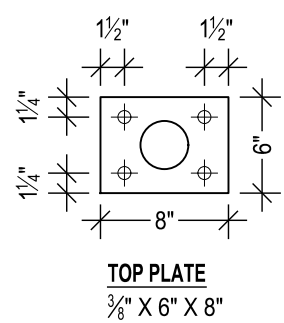
(2) SIMPSON STRONG TIE RPBZ
(4) SDS 25112 (1/2" X 1 1/2") PIECE IN POST
(4) SDS 25112 (1/2" X 1 1/2") PIECE IN BASE



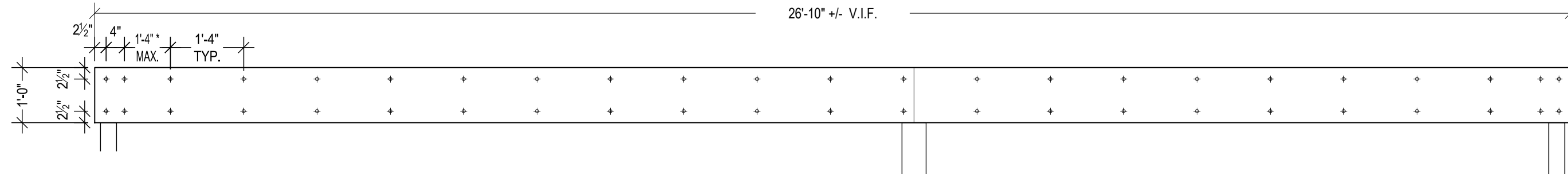
STEEL POST
1" = 1'-0"



FOOTING
1" = 1'-0"



PARTIAL SECOND FLOOR PLAN
COORDINATE WITH ARCHITECTURAL DRAWINGS
(FLOOR PLAN UNDERLY IS REPRODUCED FROM ARCHITECTURAL DRAWINGS)
1/2" = 1'-0"

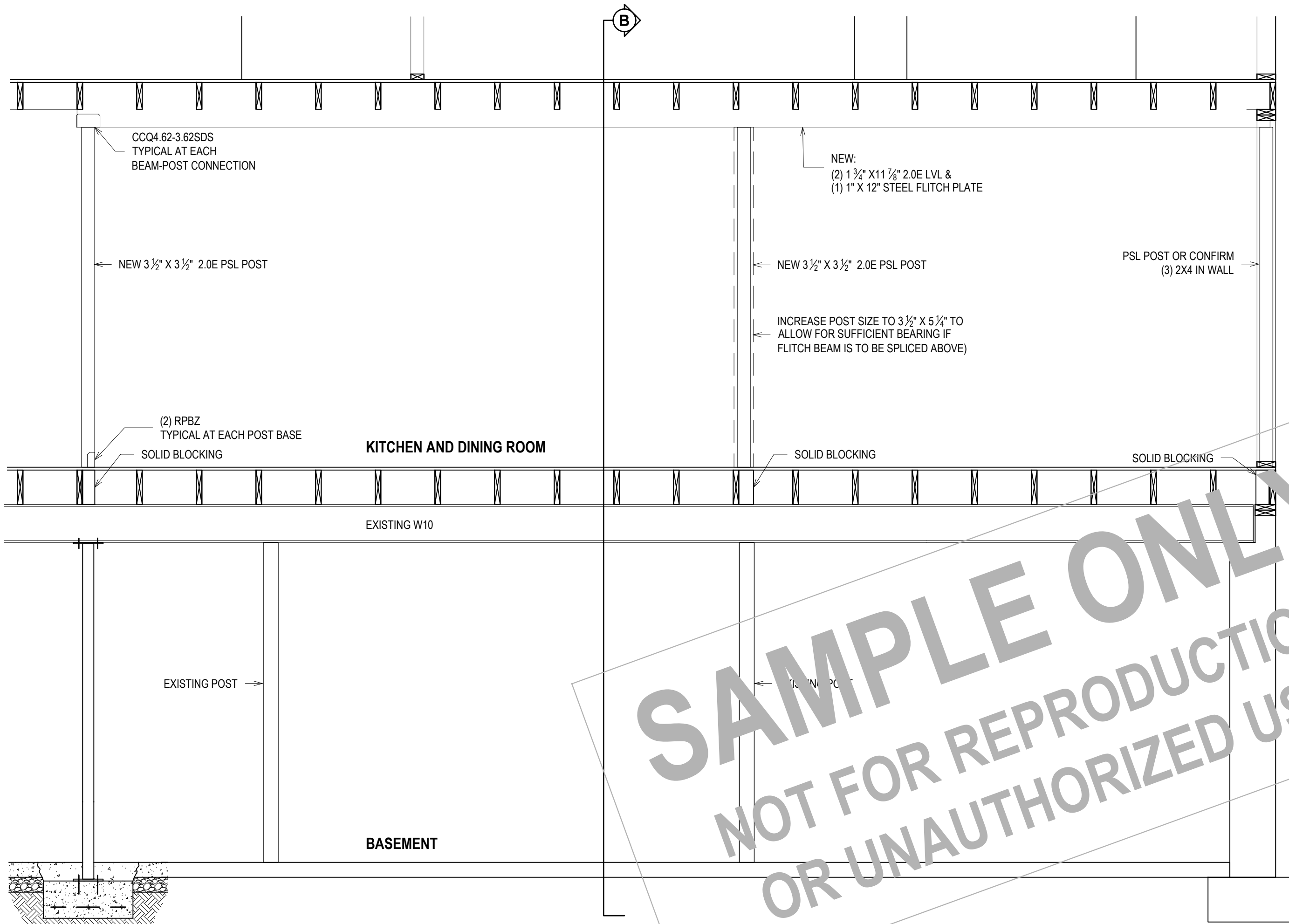


FLITCH PLATE LAYOUT

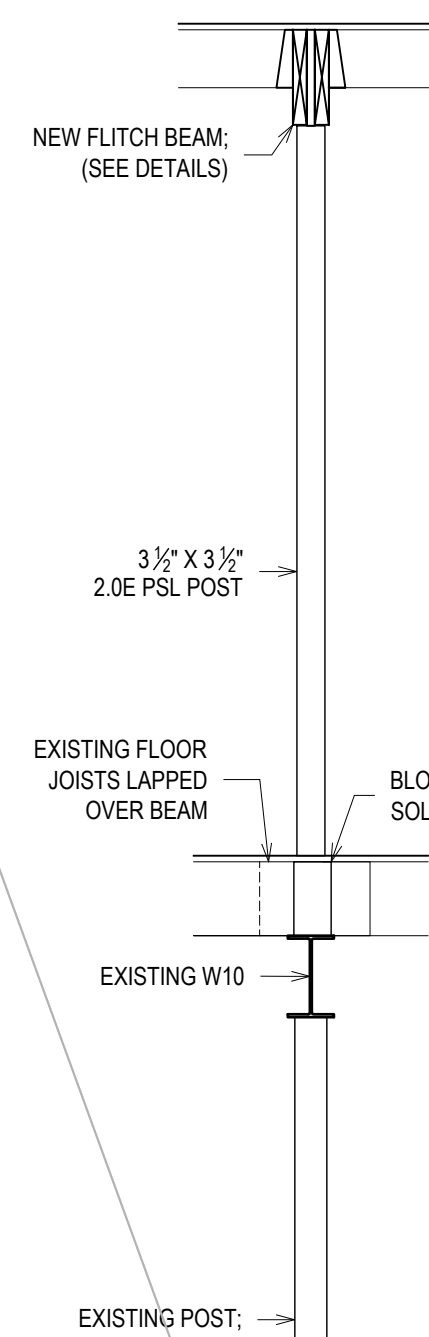
L = 26'-10" +/-
(2) 1 3/4" X 11 7/8" 2.0E LVL
(1) 1" X 12" STEEL FLITCH PLATE
3/8" CARRIAGE BOLTS WITH NUTS AND WASHERS
1/8" DIAMETER HOLES

*HOLE LOCATIONS:
COORDINATE HOLE LAYOUT WITH
(EXISTING) JOIST SPACING;

REPEAT HOLE PATTERN AT EACH BEAM END,
INCLUDING, IF APPLICABLE, SPLICED END AT POST



SECTION A
1/2" = 1'-0"



SECTION B
1/2" = 1'-0"

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Larchmont, NY 10538
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PROPERTY ADDRESS:

MAMARONECK, NY 10543
(VILLAGE OF MAMARONECK)

S-B-L:

CLIENT:

DATE:
03.22.2024
04.25.2024

ISSUE:
FOR PERMIT
FOR PERMIT

PROJECT NAME:
REMOVE LOAD BEARING
WALL

DRAWING NAME:
SECOND FLOOR AND
DETAILS

DRAWING NUMBER:
S-02

DATE:
03.22.2024

SCALE:
AS NOTED

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Code Compliance - Project Supervision
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