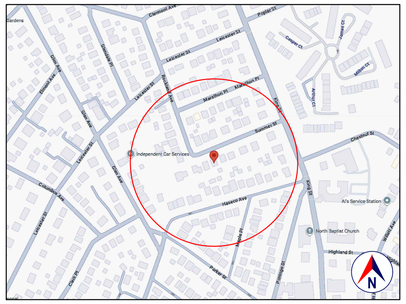
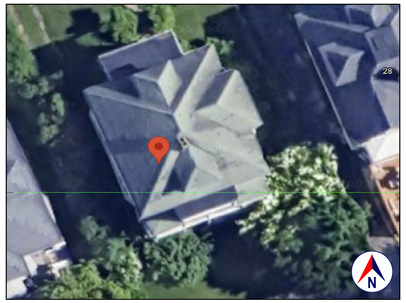


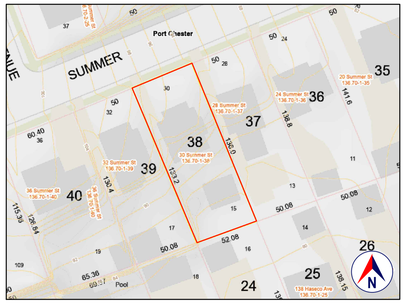
LOCATION
GOOGLE MAPS

***, PORT CHESTER



SATELLITE VIEW
GOOGLE EARTH

***



TAX MAP AND TOPO
WESTCHESTER COUNTY GIS

S-B-L: *

FRONT VIEW
GOOGLE STREET VIEW

***

THIS DRAWING IS AS A SAMPLE ONLY
*** PERSONAL (CLIENT) INFORMATION WITHHELD

1.0 GENERAL REQUIREMENTS:

1.1 PROJECT SCOPE:
REPLACE/REBUILD FRONT PORCH (TWO FLOORS); REPLACE/REBUILD REAR PORCH; ADD DECK(S); ALTER FLOOR PLAN; ADD POWDER ROOM; REFINISH INTERIOR.

1.2 DESIGN INTENT:
THE INVOLVEMENT OF OLIVER ENGINEERING IN THIS PROJECT IS: PROVIDE DESIGN AND DRAWINGS.

IT IS THE INTENT OF THESE DRAWINGS TO CALL FOR COMPLETE AND FINISHED WORK, IN COMPLIANCE WITH THE NOTED CODES, AND TESTED AND GUARANTEED AND READY FOR OPERATION.

THE ENGINEER HAS NOT BEEN ENGAGED TO SUPERVISE ANY WORK AND DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

1.3 EXISTING CONSTRUCTION TYPE:
THE EXISTING BUILDING, PER THE BUILDING CODE OF NEW YORK STATE, TABLE 601 IS CONSTRUCTION TYPE VB - CONSTRUCTION WHERE THE PRIMARY ELEMENTS ARE NOT REQUIRED TO BE FIRE RATED.

1.4 CLASSIFICATION OF PROPOSED WORK:
THIS IS A PROPOSED ALTERATION LEVEL 2, AS DEFINED IN THE EXISTING BUILDING CODE, SECTION 603.1 (MAY INCLUDE THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT), AND SHALL COMPLY WITH THE PROVISIONS OF CHAPTERS 7 AND 8 OF THAT CODE.

1.5 ZONING, OCCUPANCY AND USE:

INSIDE/OUTSIDE:	INSIDE AND OUTSIDE
YEAR BUILT:	1910 (PER ZILLOW)
ZONING:	R5 ONE FAMILY RESIDENCE
OCCUPANCY CLASSIFICATION:	RESIDENTIAL GROUP R-3 *
EXISTING USE:	SINGLE FAMILY
PROPOSED USE:	SINGLE FAMILY (NO CHANGE)

* WHERE THE OCCUPANTS ARE PRIMARILY PERMANENT IN NATURE AND NOT CLASSIFIED AS OCCUPANCY GROUP R-1, R-2, R-4 OR I, INCLUDING BUILDINGS THAT DO NOT CONTAIN MORE THAN TWO DWELLING UNITS.

1.6 COMPLIANCE:
ALL WORK SHALL BE IN COMPLIANCE WITH THE FOLLOWINGS CODES:
- GENERAL: 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS).
- EXISTING: EXISTING BUILDING CODE OF NEW YORK STATE (INTERNATIONAL EXISTING BUILDING CODE 2018 WITH AMENDMENTS).
- ENERGY: ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE 2020 (INTERNATIONAL ENERGY CONSERVATION CODE 2018).
- PLUMBING: PART VII - PLUMBING OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS).
- ELECTRICAL: THE 2017 NATIONAL ELECTRICAL CODE (NFPA 70-2017).
- DRAINAGE: NOT APPLICABLE TO THESE DRAWINGS.
- MUNICIPAL: CHAPTER 151, BUILDING CODE ADMINISTRATION AND ENFORCEMENT OF THE CODE OF THE VILLAGE OF PORT CHESTER.
- OTHER: ALL REFERENCED CODES, OTHER CODES AND REGULATIONS, FEDERAL, STATE AND LOCAL, THAT MAY APPLY.

1.7 AUTHORITY HAVING JURISDICTION:
THE AUTHORITY HAVING JURISDICTION, AS DEFINED IN SECTION 103.1 OF THE RESIDENTIAL CODE, AND WHICH SHALL PROVIDE FOR ADMINISTRATION AND ENFORCEMENT OF THE UNIFORM CODE AND ENERGY CODE BY LOCAL LAW, ORDINANCE, OTHER APPROPRIATE REGULATION, OR COMBINATION THEREOF, IS THE VILLAGE OF PORT CHESTER.

THE DULY APPOINTED BUILDING OFFICIAL OF THE VILLAGE OF PORT CHESTER IS AUTHORIZED TO ENFORCE THE PROVISIONS OF THE CODE.

THE BUILDING OFFICIAL MAY ADOPT POLICIES AND PROCEDURES IN ORDER TO CLARIFY THE APPLICATION OF THE PROVISIONS OF THE CODE. SUCH POLICIES AND PROCEDURES SHALL BE IN COMPLIANCE WITH THE INTENT AND PURPOSE OF THE CODE.

2.0 DESIGN CRITERIA:

2.1 DEAD LOAD:
PER 301.4, THE ACTUAL WEIGHTS OF MATERIALS AND CONSTRUCTION SHALL BE USED FOR DETERMINING DEAD LOAD; THE FOLLOWING APPROXIMATIONS (IN PSF) ARE USED FOR THIS PROJECT:

USE	PSF
FRAMED WALL ASSEMBLY:	15
ROOF /CEILING ASSEMBLY:	20
FLOOR ASSEMBLY:	15

ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.2 LIVE LOAD:
UNIFORMLY DISTRIBUTED LIVE LOADS SHALL BE PER TABLE R301.5 AND AS FOLLOWS* (IN PSF):

USE	PSF	OTHER
UNINHABITABLE SPACE WITHOUT STORAGE:	10	(<42"H, 24"W)
UNINHABITABLE ATTICS W/LIMITED STORAGE:	20	
HABITABLE ATTICS & ATTICS W/FIXED STAIRS:	30	
EXTERIOR BALCONIES & DECKS:	40	
FIRE ESCAPES:	40	
GUARDS & HANDRAILS:	200	(CONCENTRATED)
GUARD IN-FILL COMPONENTS:	50	(HORIZONTAL)
PASSENGER VEHICLE GARAGE:	50	(&2,000LB/20SI)
ROOMS OTHER THAN SLEEPING ROOMS:	40	
SLEEPING ROOMS:	40	
STAIRS:	40	(& 300LB/4SI)
ROOF, PER 301.6 (INC. SNOW):	30	

*SOME OF THE LOADS LISTED ABOVE MAY BE HIGHER THAN THOSE REQUIRED PER CODE.
ALL OF THE LOADS LISTED MAY NOT APPLY TO THE CURRENT PROJECT.

2.3 WIND LOAD:
WIND LOADS SHALL BE BASED ON THE ULTIMATE DESIGN WIND SPEED LISTED IN TABLE 301.2(1) AND ADJUSTED FOR HEIGHT AND EXPOSURE):
120 MPH. WIND LOADS WILL BE ALLOWED FOR IN: THE DESIGN LOAD PERFORMANCE REQUIREMENTS FOR WALL COVERINGS, ROOF COVERINGS, WINDOWS, SKYLIGHTS AND DOORS.
COMPONENT AND CLADDING LOADS WILL BE PER TABLE R301.2(2)

2.4 ALLOWABLE LIVE LOAD DEFLECTION:
THE ALLOWABLE LIVE LOAD DEFLECTION OF ALL STRUCTURAL MEMBERS, SHALL BE PER TABLE R301.7 AND AS FOLLOWS:

STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
RAFTERS HAVING SLOPES GRATER THAN 3:12 WHIT FINISHED	
CEILING NOT ATTACHED TO RAFTERS	L/180
INTERIOR WALLS AND PARTITIONS	H/180
FLOORS	L/360
CEILING WITH BRITTLE FINISHES (INCLUDING PLASTER AND STUCCO)	L/360
CEILING WITH FLEXIBLE FINISHES (INCLUDING GYPSUM BOARD)	L/240
ALL OTHER STRUCTURAL MEMBERS	L/240
EXTERIOR WALLS-WIND LOAD WITH PLASTER OR STUCCO FINISHES	L/360
EXTERIOR WALLS-WIND LOAD WITH OTHER BRITTLE FINISHES	H/240
EXTERIOR WALLS-WIND LOADS WITH FLEXIBLE FINISHES	H/120
LINTELS SUPPORTING MASONRY VENEER WALLS	L/600

2.5 CLIMATIC AND GEOGRAPHIC CRITERIA:
CLIMATIC AND DESIGN CRITERIA FOR THE VILLAGE OF PORT CHESTER ARE PER TABLE R301.2(1) BELOW:

PER 2020 RESIDENTIAL CODE OF NEW YORK STATE, TABLE 301.2(1) (WIND) EXPOSURE CATEGORY: B CLIMATE ZONE: 4A

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLMNT. REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	WIND SPEED MPH	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WINDBORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
20 PSF	120	NO	YES	NO	B	SEVERE	3'-6"	MOD/HEAVY	7.7°	YES	09.28.2007	1,500	52.5°

2.6 INSULATION & FENESTRATION CRITERIA:

THERMAL AND MOISTURE PROTECTION SHALL BE PROVIDED PER THE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS AND THE CRITERIA DENOTED IN TABLE N1102.1.2 (R402.1.2)

(NY) TABLE N1102.1.2 (R402.1.2)
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT[a]

CLIMATE ZONE	FENESTRATION U-FACTOR[b]	SKYLIGHT[b] U-FACTOR	GLAZED FENESTRATION SHGC[b, e]	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE[i]	FLOOR R-VALUE	BASEMENT[c] WALL R-VALUE	SLAB[d] R-VALUE & DEPTH	CRAWL SPACE[c] WALL R-VALUE
4	0.32	0.55	0.40	49	20 or 13 + 5[h]	8/13	19	10/13	10, 2 ft	10/13

2.7 THERMAL & MOISTURE PROTECTION:

ALL WORK IS TO COMPLY WITH CHAPTER 11 ENERGY EFFICIENCY (REFERRED TO HEREIN AS "THIS CHAPTER") OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS) AND ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE 2020 (INTERNATIONAL ENERGY CONSERVATION CODE 2018).

ADDITIONS, ALTERATIONS AND REPAIRS:

NEW AND REPLACEMENT MATERIALS:
EXCEPT AS OTHERWISE REQUIRED OR PERMITTED BY THIS CODE, MATERIALS PERMITTED BY THE APPLICABLE CODE FOR NEW CONSTRUCTION SHALL BE USED. LIKE MATERIALS SHALL BE PERMITTED FOR REPAIRS, PROVIDED THAT HAZARDS TO LIFE, HEALTH OR PROPERTY ARE NOT CREATED. HAZARDOUS MATERIALS SHALL NOT BE USED WHERE THE CODE FOR NEW CONSTRUCTION WOULD NOT ALLOW THEIR USE IN BUILDINGS OF SIMILAR OCCUPANCY, PURPOSE AND LOCATION.

ALTERATIONS TO ANY BUILDING OR STRUCTURE SHALL COMPLY WITH THE REQUIREMENTS OF THE CODE FOR NEW CONSTRUCTION. ALTERATIONS SHALL BE SUCH THAT THE EXISTING BUILDING OR STRUCTURE IS NOT LESS CONFORMING WITH THE PROVISIONS OF THIS CHAPTER THAN THE EXISTING BUILDING OR STRUCTURE WAS PRIOR TO THE ALTERATION.

UNALTERED PORTIONS OF THE EXISTING BUILDING OR BUILDING SUPPLY SYSTEM SHALL NOT BE REQUIRED TO COMPLY WITH THIS CHAPTER.

EXISTING CEILING, WALL OR FLOOR CAVITIES EXPOSED DURING CONSTRUCTION SHALL NOT BE REQUIRED TO COMPLY WITH THE REQUIREMENTS FOR NEW CONSTRUCTION PROVIDED THAT THE ENERGY USE OF THE BUILDING IS NOT INCREASED AND THAT THESE CAVITIES ARE FILLED WITH INSULATION.

ROOFS WITHOUT INSULATION IN THE CAVITY AND WHERE THE SHEATHING OR INSULATION IS EXPOSED DURING RE-ROOFING SHALL NOT BE REQUIRED TO COMPLY WITH THE REQUIREMENTS FOR NEW CONSTRUCTION PROVIDED THAT THE ENERGY USE OF THE BUILDING IS NOT INCREASED AND THE ROOFS SHALL BE INSULATED EITHER ABOVE OR BELOW THE SHEATHING.

MOISTURE PROTECTION:

CLIMATE ZONE (WESTCHESTER COUNTY): ZONE 4A

WALL ASSEMBLIES IN THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH THE VAPOR RETARDER REQUIREMENTS OF SECTION R702.7 AND AS FOLLOWS:
INSTALL CLASS I OR CLASS II VAPOR RETARDER ON THE INTERIOR SIDE OF ALL EXPOSED AREAS OF EXTERIOR WALLS AND CEILINGS.

CLASS I: SHEET POLYETHYLENE, UNPERFORATED ALUMINUM FOIL.

CLASS II: KRAFT-FACED FIBERGLASS BATTS.

EXCEPTIONS:
- BASEMENT WALLS.
- BELOW-GRADE PORTION OF ANY WALL.
- CONSTRUCTION WHERE MOISTURE OR ITS FREEZING WILL NOT DAMAGE THE MATERIALS.

3.0 CONTRACTOR'S RESPONSIBILITIES:

THE CONTRACTOR SHALL:
- PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR A COMPLETE AND FINISHED JOB.
- PROVIDE ALL NECESSARY SHORING AND BRACING FOR ALL BUILDING COMPONENTS IN ORDER TO ADEQUATELY PROTECT AGAINST ANY FAILURES.
- OBTAIN AND PAY FOR ALL REQUIRED PERMITS - UNLESS OTHERWISE STIPULATED.
- PRIOR TO THE SUBMISSION OF ANY BID, AND BEFORE PROCEEDING WITH ANY WORK, VISIT THE SITE AND VERIFY AND FAMILIARIZE HIM/HERSELF WITH ALL SITE DIMENSIONS AND CONDITIONS, WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION, METHODS AND ROUTES OF ACCESS, AND THE EXISTENCE AND EXTENT OF ANY OTHER RESTRICTIONS, AND BE RESPONSIBLE FOR THE VERIFICATION OF ALL SUCH CONDITIONS AND DIMENSIONS WHICH PERTAIN TO THE PROJECT.
- BRING ALL DISCREPANCIES IN CONDITIONS AND DIMENSIONS, BETWEEN THE APPROVED DRAWINGS AND ACTUAL FIELD CONDITIONS, TO THE IMMEDIATE ATTENTION OF THE OWNER, AND RECEIVE DIRECTION IN WRITING, BEFORE PROCEEDING WITH THE AFFECTED WORK.
- VERIFY THE AVAILABILITY, LOCATION LAYOUT AND CONDITION OF UTILITIES, INCLUDING SEWER, WATER, GAS AND ELECTRIC LINES, PRIOR TO THE SUBMISSION OF ANY BID.
- HAVE CONTROL OVER AND SUPERVISE AND DIRECT THE WORK, INCLUDING THAT OF ITS SUBCONTRACTORS, AND BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR JOBSITE SAFETY, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, VERIFY THE CONDITION OF ALL ADJOINING STRUCTURES WHICH MAY BE AFFECTED, AND PROVIDE ADEQUATE PROTECTION TO ANY STRUCTURE THAT MIGHT BE OTHERWISE AFFECTED.
- IN THE EVENT THAT DAMAGE IS CAUSED TO ANY STRUCTURE, FINISH, OR OTHER ELEMENT, RESTORE SUCH ELEMENTS TO THEIR ORIGINAL CONDITION.
- IF APPLICABLE, PROVIDE WEATHER PROTECTION, IN AN EFFECTIVE AND TIMELY MANNER, TO PROTECT THE PREMISES, PERSONNEL, MATERIALS AND INSTALLED WORK.
- BE A HOME IMPROVEMENT CONTRACTOR WITH A CURRENT LICENSE ISSUED BY THE WESTCHESTER COUNTY DEPARTMENT OF CONSUMER AFFAIRS.
- BE CERTIFIED AS A LEAD SAFE FIRM BY THE EPA PER 40 CFR 745.226.
- CARRY LIABILITY INSURANCE TO THE LIMITS REQUIRED BY THE AUTHORITY HAVING JURISDICTION AND ISSUE CERTIFICATE(S) OF INSURANCE AS REQUIRED BY THE HOMEOWNER AND/OR THAT AUTHORITY.
- CARRY WORKMAN'S COMPENSATION AND DISABILITY INSURANCE AS REQUIRED THE LAW AND ISSUE CERTIFICATE(S) AS REQUIRED BY THE HOMEOWNER AND/OR THE AUTHORITY HAVING JURISDICTION.

4.0 BUILDING PERMIT:

NO PERSON OR ENTITY SHALL COMMENCE, PERFORM, OR CONTINUE ANY WORK THAT MUST CONFORM WITH THE UNIFORM CODE AND/OR ENERGY CODE UNLESS:

2. SUCH PERSON OR ENTITY HAS APPLIED TO THE VILLAGE OF PORT CHESTER FOR A BUILDING PERMIT,

3. THE VILLAGE OF PORT CHESTER HAS ISSUED A BUILDING PERMIT AUTHORIZING SUCH WORK,

4. SUCH BUILDING PERMIT HAS NOT BEEN REVOKED OR SUSPENDED, AND

5. SUCH BUILDING PERMIT HAS NOT EXPIRED.

THE BUILDING PERMIT IS REQUIRED TO BE VISIBLY DISPLAYED AT THE WORKSITE AND TO REMAIN VISIBLE UNTIL THE PROJECT, AND ALL REQUIRED INSPECTIONS, HAVE BEEN COMPLETED.

THE APPROVED DRAWINGS MUST BE KEPT AT THE WORKSITE AND BE AVAILABLE FOR REVIEW AT THE TIME OF ANY REQUIRED INSPECTIONS.

5.0 CONSTRUCTION INSPECTIONS:

IT SHALL BE THE DUTY OF THE HOLDER OF THE BUILDING PERMIT, OR THEIR DULY AUTHORIZED AGENT, TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION:

BUILDING DEPARTMENT OF THE VILLAGE OF PORT CHESTER.
222 GRACE CHURCH STREET
PORT CHESTER , NY 10573
TEL: (914) 939-5203
EMAIL: kdonohue@portchesterny.gov
WEB SITE: www.portchesterny.gov/158/building-department

ANY PERSON OR ENTITY PERFORMING WORK FOR WHICH A BUILDING PERMIT HAS BEEN ISSUED SHALL KEEP SUCH WORK ACCESSIBLE AND EXPOSED UNTIL THE WORK HAS BEEN INSPECTED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION, OR ITS AUTHORIZED AGENT, AT EACH ELEMENT OF THE CONSTRUCTION PROCESS THAT IS APPLICABLE TO THE WORK.

BUILDING PERMIT HOLDERS SHALL BE REQUIRED TO NOTIFY THE BUILDING OFFICIAL OF THE VILLAGE OF PORT CHESTER WHEN CONSTRUCTION WORK IS READY FOR INSPECTION.

THE BUILDING OFFICIAL SHALL MAKE THE REQUIRED INSPECTIONS OR SHALL HAVE THE AUTHORITY TO ACCEPT WRITTEN REPORTS OF INSPECTION BY APPROVED AGENCIES OR INDIVIDUALS.

REQUIRED INSPECTIONS FOR THIS PROJECT MAY INCLUDE THE FOLLOWING, AS APPLICABLE, OR AS SPECIFIED IN THE CODE ENFORCEMENT PROGRAM OF THE VILLAGE OF PORT CHESTER:
- WORKSITE PRIOR TO THE ISSUANCE OF A PERMIT
- PLUMBING*
- ELECTRICAL*
- MECHANICAL
- FRAMING (SUBSEQUENT TO THE INSPECTION & APPROVAL OF PLUMBING, ELECTRICAL & MECHANICAL)
- FIRE RESISTANT CONSTRUCTION
- FIRE RESISTANT PENETRATIONS
- ENERGY CODE COMPLIANCE
- A FINAL INSPECTION AFTER ALL WORK AUTHORIZED BY THE BUILDING PERMIT HAS BEEN COMPLETED
- ANY OTHER INSPECTIONS AS REQUIRED BY THE VILLAGE OF PORT CHESTER.

ALL OF THE ABOVE INSPECTION MAY NOT REQUIRED FOR THIS, OR ANY GIVEN, PROJECT.

A SCHEDULE OF REQUIRED INSPECTIONS IS AVAILABLE FROM THE BUILDING DEPARTMENT OF THE VILLAGE OF PORT CHESTER.

*THE WORK APPLICABLE TO SOME OF THE ABOVE INSPECTIONS (FOR INSTANCE PLUMBING AND ELECTRICAL) SHALL BE COMPLETED UNDER A SEPARATE PERMIT, FILED BY THE RELEVANT LICENSED CONTRACTORS.

AFTER INSPECTION, THE WORK OR A PORTION THEREOF SHALL BE NOTED AS SATISFACTORY AS COMPLETED, OR THE BUILDING PERMIT HOLDER SHALL BE NOTIFIED AS TO THE MANNER IN WHICH THE WORK FAILS TO COMPLY WITH APPLICABLE CODES, INCLUDING A CITATION OF THE SPECIFIC CODE PROVISION OR PROVISIONS THAT HAVE NOT BEEN MET.

IT SHALL BE THE DUTY OF THE PERMIT HOLDER TO ASCERTAIN THE RESULTS OF REQUIRED INSPECTIONS.

CONSTRUCTION WORK NOT IN COMPLIANCE WITH APPLICABLE CODES SHALL BE REQUIRED TO REMAIN EXPOSED UNTIL IT HAS BEEN BROUGHT INTO COMPLIANCE WITH THE CODES, RE-INSPECTED, AND FOUND SATISFACTORY AS COMPLETED.

DEMOLITION:

THE CONTRACTOR SHALL:
DEMOLISH AND REMOVE ALL ELEMENTS NOTED IN THE DRAWINGS FOR DEMOLITION, AND AS REQUIRED FOR THE COMPLETION OF ALL WORK SHOWN ON THESE DRAWINGS.

ALLOW NO DEBRIS TO ACCUMULATE; HAUL AWAY FROM SITE ALL DEBRIS AT CONTRACTOR'S EXPENSE; REMOVE ALL DEBRIS ON A REGULAR BASIS AND MAINTAIN JOBSITE IN A CLEAN AND TIDY CONDITION.

FULLY PROTECT ALL STRUCTURES, BUILDING ELEMENTS, EQUIPMENT, APPLIANCES AND FINISHES THAT ARE TO REMAIN FROM DAMAGE CAUSED BY ANY OF THE CONTRACTOR'S ACTIVITIES.

PROTECT ALL ADJACENT AREAS, AND ALL NEIGHBORING PROPERTY, FROM DAMAGE, INJURY AND DISCOMFORT CAUSED BY DUST.

PROTECT ALL PUBLIC PROPERTIES AND PREMISES FROM DAMAGE AND PREVENT ANY ACCUMULATION OF DEBRIS, DUST OR RUBBISH IN ANY PUBLIC AREA.

ASSUME FULL RESPONSIBILITY FOR ANY DAMAGE CAUSED TO EXISTING ELEMENTS AND MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.

CONDUCT ALL DEMOLITION OPERATIONS IN SUCH A MANNER AS TO PREVENT UNAUTHORIZED ENTRY OF ANY PERSONS AT ANY TIME; POST APPROPRIATE SIGNAGE AS REQUIRED.

LOCATE ALL UTILITY AND DRAINAGE LINES PRIOR TO COMMENCEMENT OF DEMOLITION AND PROTECT ALL ACTIVE LINES AS REQUIRED. IDENTIFY CLEARLY ANY WORK THAT MAY RESULT IN THE INTERRUPTION OF ANY SERVICES WITHIN THE AREA OF WORK OR IN ANY ADJACENT SPACE OR PROPERTY AND COORDINATE SUCH INTERRUPTIONS WITH ALL INVOLVED PARTIES.

NOTIFY THE OWNER, UTILITY COMPANIES, FIRE DEPARTMENT, ALARM COMPANIES, ETC. OF ANY WORK AFFECTING THEIR SYSTEMS AS REQUIRED BY ALL APPLICABLE CODES, RULES, AND REGULATIONS.

MASONRY AND CONCRETE

CONCRETE
STRUCTURAL CONCRETE AND CONCRETING PRACTICES SHALL CONFORM WITH THE LATEST EDITION OF ACI 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, ISSUED AND MAINTAINED BY THE AMERICAN CONCRETE INSTITUTE, AND AS NOTED BELOW.
ALL ACI REQUIREMENTS FOR HOT AND COLD WEATHERING CONCRETE MUST BE ADHERED TO.

STRENGTH:
CONCRETE SHALL HAVE A MINIMUM. COMPRESSIVE STRENGTH AT 28 DAYS AS FOLLOWS UNLESS OTHERWISE NOTED ON THE DRAWINGS:

FOUNDATION WALLS, SLAB ON GRADE:	4000 PSI, NORMAL WEIGHT
FOOTINGS AND PIERS:	4000 PSI, NORMAL WEIGHT
CONCRETE ON METAL DECK:	4000 PSI, NORMAL WEIGHT
ALL OTHER CONCRETE:	4000 PSI, NORMAL WEIGHT

ALL EXPOSED CONCRETE SHALL HAVE AN AIR ENTRAINING ADMIXTURE.

COVER:
MINIMUM CONCRETE COVER SHALL BE AS FOLLOWS, UNLESS OTHERWISE ON THE DRAWINGS:

SLABS:	¾"
WALLS:	¾"
COLUMNS:	1½"
EXPOSED TO WEATHER OR EARTH:	2"
CONCRETE PLACED AGAINST EARTH:	3"

REINFORCING STEEL:
DETAILS SHALL BE IN ACCORDANCE WITH ACI-315, DETAILING AND DETAILING OF CONCRETE REINFORCEMENT UNLESS OTHERWISE NOTED ON THE DRAWINGS.

ALL REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60 UNLESS REQUIRED TO BE WELDED AS SHOWN ON PLANS.

ALL REINFORCING BARS REQUIRED TO BE WELDED SHALL CONFORM TO ASTM A706, GRADE 50.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
SUPPORT WIRE FABRIC WITH CHAIRS OR LIFTS DURING CONCRETE PLACEMENT TO INSURE PROPER POSITION IN SLAB.

ALL REINFORCEMENT SHALL BE SECURELY HELD IN PLACE WHILE PLACING CONCRETE. IF REQUIRED, ADDITIONAL BARS OR STIRRUPS SHALL BE PROVIDED BY THE CONTRACTOR TO FURNISH SUPPORT FOR ALL BARS. REINFORCEMENT SHALL BE SECURED IN THE PROPER LOCATION IN THE FORMS WITH TIE WIRE OR OTHER BAR SUPPORT SYSTEM TO PREVENT DISPLACEMENT DURING THE CONCRETE PLACEMENT OPERATION.

WHERE NOT SPECIFICALLY INDICATED ON THE DRAWINGS, SPLICING & EMBEDMENTS SHALL BE IN ACCORDANCE TABLE R608.5.4(1) LAP SPLICE AND TENSION DEVELOPMENT LENGTHS

REBUILD FRONT "PORCH"
EXISTING CONDITION
05.23.2025

REBUILD REAR "PORCH"
EXISTING CONDITION
05.23.2025

FLOOR PLAN ALTERATION
EXISTING CONDITION
05.23.2025

STATEMENT OF DESIGN PROFESSIONAL:

1. THESE PLANS HAVE BEEN PREPARED IN CONFORMANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS).

2. TO THE BEST OF MY KNOWLEDGE AND PROFESSIONAL JUDGEMENT, THESE PLANS ARE IN CONFORMANCE WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE 2020 (INTERNATIONAL ENERGY CONSERVATION CODE 2018).

KEVIN J. COAKLEY, P.E.
(STAMP AFFIXED AND SIGNED).

LIST OF DRAWINGS

SHEET	DRAWING NAME	DATE	REVISION
C-01	COVER SHEET	05.15.2025	12.04.2025
C-02	SITE PLAN	05.15.2025	12.04.2025
D-01	EXISTING AND DEMOLITION 01	05.15.2025	12.04.2025
D-02	EXISTING AND DEMOLITION 02	05.15.2025	12.04.2025
A-01.1	PROPOSED 01	05.15.2025	12.04.2025
A-01.2	PROPOSED 02	05.15.2025	12.04.2025
A-02.1	ELEVATIONS	05.15.2025	12.04.2025
A-03.1	SECTIONS	05.15.2025	12.04.2025
A-04.1.1	BATHROOM	05.15.2025	12.04.2025
A-04.1.2	KITCHEN	05.15.2025	12.04.2025
A-05.1.1	DECK	05.15.2025	12.04.2025
A-05.1.2	TYPICAL DECK DETAILS	05.15.2025	12.04.2025
A-06.1	TYPICAL DETAILS	05.15.2025	12.04.2025
A-06.2	FINISHES	05.15.2025	12.04.2025
E-01	ELECTRICAL 01	05.15.2025	12.04.2025
E-02	ELECTRICAL 02	05.15.2025	12.04.2025

SAMPLE ONLY
NOT FOR REPRODUCTION
OR UNAUTHORIZED USE

Oliver Engineering, P.C.
Design - Permit Applications - Legalizations
Code Compliance - Project Supervision
188 Nepperhan Street, Suite 1, Port Chester, NY 10573
(914) 774-9878 | www.proeng.nyc | ve@proeng.nyc

PROPERTY ADDRESS:
***
PORT CHESTER, NY 10573 (VILLAGE OF PORT CHESTER BUILDING DEPARTMENT)

S-B-L:
***

CLIENT:
*** ***

TEL: ***
EMAIL:
***

DATE:	ISSUE:
05.15.2025	PRELIMINARY
07.23.2025	FOR PERMIT
08.15.2025	FOR PERMIT
12.04.2025	AMENDMENT

2

PROJECT NAME:
FLOOR PLAN ALTERATION

DRAWING NAME:
COVER SHEET

DRAWING NUMBER:
C-01

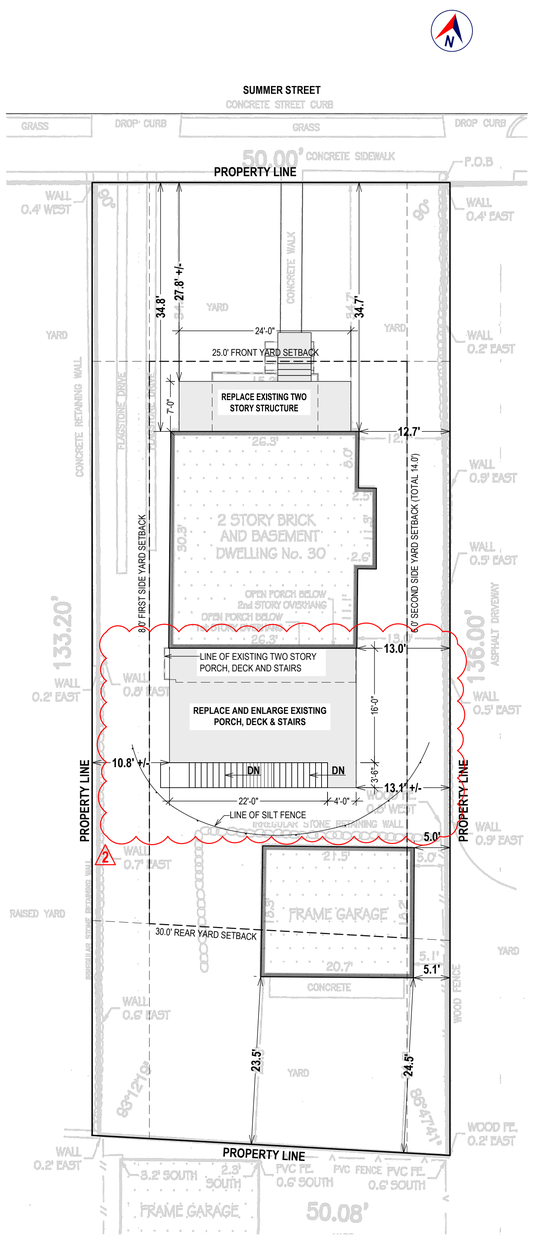
DATE:
05.15.2025

SCALE:
AS NOTED

NOTE:
THIS DRAWING IS VALID FOR CONSTRUCTION IF (AND ONLY IF) A PERMIT IS ISSUED, BASED ON THIS DRAWING, BY THE VILLAGE OF PORT CHESTER.

PERMIT SUBMISSION REQUIREMENTS FOR THE VILLAGE OF PORT CHESTER INCLUDE ----. CHECK TO CONFIRM EXACT REQUIREMENTS WITH THE BUILDING DEPARTMENT, TEL: (914) 939-5203.

DO NOT SCALE DRAWINGS | THIS DRAWING IS SCALED TO PRINT ON AN ARCH D (24" X 36") SHEET



SITE PLAN

BACKGROUND INFORMATION FROM SURVEY BY LALSA LAND SURVEYING PLLC, 03.24.2025
1" = 10'-0"

SITE WORK

EXCAVATION SAFETY:

THE CONTRACTOR SHALL COMPLY WITH THE TRENCHING AND EXCAVATION REQUIREMENTS OF 29 CFR 1926.651 AND 1926.652 OR COMPARABLE OSHA-APPROVED STATE PLAN REQUIREMENTS. TRENCHES 5 FEET DEEP OR GREATER REQUIRE A PROTECTIVE SYSTEM UNLESS THE EXCAVATION IS MADE ENTIRELY IN STABLE ROCK.

THE CONTRACTOR SHALL HAVE A COMPETENT PERSON INSPECT EXCAVATIONS DAILY AND AS CONDITIONS CHANGE TO ENSURE ELIMINATION OF EXCAVATION HAZARDS.

A COMPETENT PERSON IS AN INDIVIDUAL WHO IS CAPABLE OF IDENTIFYING EXISTING AND PREDICTABLE HAZARDS OR WORKING CONDITIONS THAT ARE HAZARDOUS, UNSANITARY, OR DANGEROUS TO WORKERS, SOIL TYPES AND PROTECTIVE SYSTEMS REQUIRED, AND WHO IS AUTHORIZED TO TAKE PROMPT CORRECTIVE MEASURES TO ELIMINATE THESE HAZARDS AND CONDITIONS.

EXCAVATION - LOCATING UTILITIES - CALL 811:

NEW YORK STATE LAW (16 NYCRR PART 753) REQUIRES ALL EXCAVATORS TO PLACE A LOCATION REQUEST WITH DIG SAFELY NEW YORK AT LEAST TWO (2) FULL WORKING DAYS, BUT NO MORE THAN 10 WORKING DAYS BEFORE BEGINNING AN EXCAVATION PROJECT IN ORDER TO ENSURE ALL UNDERGROUND UTILITY LINES ARE PROPERLY MARKED BY THEIR OWNERS.

A LOCATION REQUEST MAY BE PLACED, AND THE PROCESS OF MARKING UNDERGROUND UTILITIES MAY BE TRACKED, BY USING THE ONLINE LOCATION REQUEST PROGRAM, EXACTIX. OR, THE EXCAVATOR MAY CALL 811 TO PLACE THE LOCATION REQUEST.

- NOTIFY: NOTIFY 811 ONLINE WITH EXACTIX OR BY CALLING 811.
- WAIT: AT LEAST TWO DAYS FOR UTILITIES TO RESPOND (NOT INC. THE DAY YOU CALL).
- CONFIRM: CHECK ALL UTILITIES HAVE RESPONDED.
- RESPECT: ADHERE TO UTILITY MARKS AND FLAGS.
- DIG W/CAUTION: DIG CAREFULLY AROUND BURIED UTILITIES.

NOTE:
THE VILLAGE OF PORT CHESTER MAY REQUIRE THE CONTRACTOR TO PROVIDE A "DIG SAFELY" CODE 753 CASE NUMBER.

EROSION CONTROL:

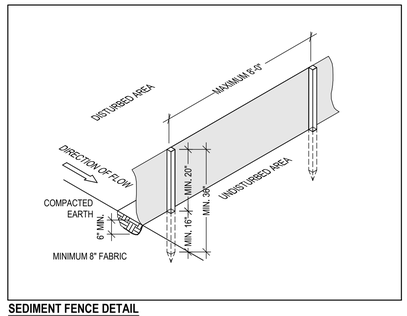
THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYS DEC) PROVIDES MINIMUM STANDARDS AND SPECIFICATIONS FOR THE CONTROL OF STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY.
EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, WITH ALL RELEVANT REGULATIONS OF THE VILLAGE OF PORT CHESTER AND AS FOLLOWS:

THE SILT FENCE SHALL BE INSTALLED BEFORE UP-SLOPE GROUND COVER IS REMOVED.
FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE; A RUN OF SILT FENCE SHOULD FOLLOW THE CONTOUR AS CLOSELY AS POSSIBLE WITH THE ENDS TURNED UPSLOPE TO POND WATER BEHIND THE FENCE.

THE SILT FENCE FABRIC SHOULD BE BURIED AT LEAST 6" DEEP AND HAVE A TOTAL OF 8" (MINIMUM) FABRIC BELOW THE GROUND.

STAKES SHALL BE A MINIMUM OF 2X2 NOMINAL (1 ½" X 1 ½" ACTUAL) HARDWOOD AND OF SOUND QUALITY. THE STAKES SHALL BE PLACED ON THE DOWN-SLOPE SIDE OF THE GEOTEXTILE AND AT A MAXIMUM SPACING OF 8'-0" ON CENTER.

THE APPLICANT AND/OR CONTRACTOR SHALL ESTABLISH EROSION CONTROL AS NOTED IN THESE DRAWINGS AND SHALL MAINTAIN EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION UNTIL SUCH TIME THAT THE BUILDING INSPECTOR DEEMS THE LAND TO BE STABILE.



SEDIMENT FENCE DETAIL
NOT TO SCALE

LOT AREA AND IMPERVIOUS COVERAGE:				
	LOT AREA COVERAGE		IMPERVIOUS COVERAGE	
	EXISTING	PROPOSED	EXISTING	PROPOSED
HOUSE FOOTPRINT	825.6 +/-	825.6 +/-	825.6 +/-	825.6 +/-
DETACHED GARAGE	387.9 +/-	387.9 +/-	387.9 +/-	387.9 +/-
FRONT PORCH/DECK		-	120 +/-	168 +/-
FRONT STEPS			30.3 +/-	31.89 +/-
FRONT WALKWAY			66.26 +/-	62.44 +/-
REAR PORCH/DECK			134.8 +/-	431.3 +/-
REAR STEPS				81.6 +/-
FLAGSTONE DRIVEWAY			139.6 +/-	139.6 +/-
TOTAL:	**1,213.5 +/-**	**1,213.5 +/-**	**1,704.46 +/-**	**2,128.3 +/-**

ZONING COMPLIANCE			
ADDRESS: 30 SUMMER STREET	ZONE: R5 ONE FAMILY RESIDENCE	MUNICIPALITY: VILLAGE OF PORT CHESTER	TAX ID: 136.70-1-38
	REQUIRED	EXISTING	PROPOSED
LOT INFORMATION			
LOT AREA (SF)	5,000.0	6730 +/-	NO CHANGE
LOT FRONTAGE (FT)	50.0	50.0	NO CHANGE
YARD SETBACKS (FT):			
FRONT YARD	25.0	34.7	NO CHANGE
REAR YARD	30.0	70.1 +/-	NO CHANGE
FIRST SIDE YARD	8.0	12.7	NO CHANGE
TOTAL OF TWO	14.0	> 14.0	NO CHANGE
SIDE YARD ADJOINING STREET			
PRINCIPAL BUILDING INFORMATION			
GROSS FLOOR AREA (SF)			NO CHANGE
BUILDING HEIGHT:			
STORIES			NO CHANGE
HEIGHT TO PRINCIPAL EAVE (FT)			NO CHANGE
HEIGHT TO HIGHEST ROOF RIDGE (FT)			NO CHANGE
BUILDING COVERAGE			
PRINCIPAL BUILDING COVERAGE (SF)		825.6 +/-	NO CHANGE
PRINCIPAL BUILDING COVERAGE (%)		12.3% +/-	NO CHANGE
ACCESSORY BUILDING COVERAGE (SF)			NO CHANGE
ACCESSORY BUILDING COVERAGE (%)			NO CHANGE
ACCESSORY STRUCTURES			
DETACHED GARAGE			
SETBACKS:			
TO PRINCIPAL BUILDING (FT)	10.0	27.6 +/-	NO CHANGE
TO SIDE LOT LINE (FT)	5.0	5.0	NO CHANGE
TO REAR LOT LINE (FT)	5.0	23.5	NO CHANGE
BUILDING HEIGHT:			
HEIGHT TO PRINCIPAL EAVE (FT)			NO CHANGE
HEIGHT TO HIGHEST ROOF RIDGE (FT)			NO CHANGE
IMPERVIOUS SURFACE COVERAGE			
IMPERVIOUS SURFACE COVERAGE (SF)		1,704.46 +/-	2,128.3 +/-
IMPERVIOUS SURFACE COVERAGE (%)			

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PROPERTY ADDRESS:
***
PORT CHESTER, NY 10573 (VILLAGE OF PORT CHESTER BUILDING DEPARTMENT)

S-B-L:
***

CLIENT:
*** ***

TEL: ***
EMAIL:
***

DATE:	ISSUE:
05.15.2025	PRELIMINARY
~~07.23.2025~~	~~FOR PERMIT~~
08.15.2025	FOR PERMIT
12.04.2025	AMENDMENT

PROJECT NAME:
FLOOR PLAN ALTERATION

DRAWING NAME:
SITE PLAN

DRAWING NUMBER:
C-02

DATE:
05.15.2025

SCALE:
AS NOTED

NOTE:
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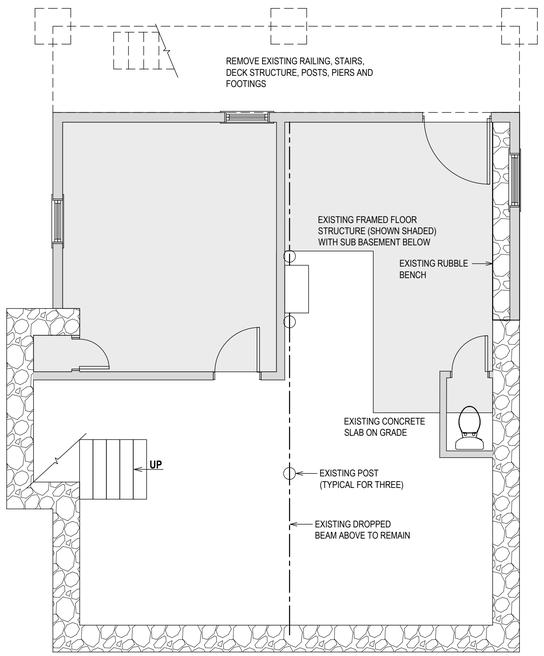
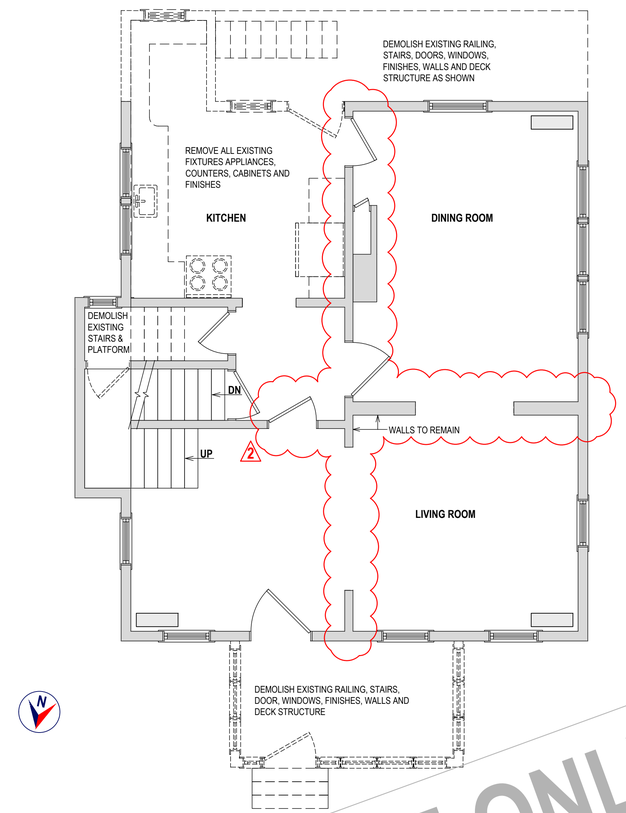


FOUNDATION PLAN EXISTING AND DEMOLITION
¼" = 1'-0"



FIRST FLOOR EXISTING AND DEMOLITION
¼" = 1'-0"

EXISTING TO REMAIN
EXISTING TO BE REMOVED
EXISTING RADIATOR TO REMAIN

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2

PROJECT NAME:
FLOOR PLAN ALTERATION

DRAWING NAME:
EXISTING AND DEMOLITION 01

DRAWING NUMBER:
D-01

DATE:
05.15.2025

SCALE:
AS NOTED

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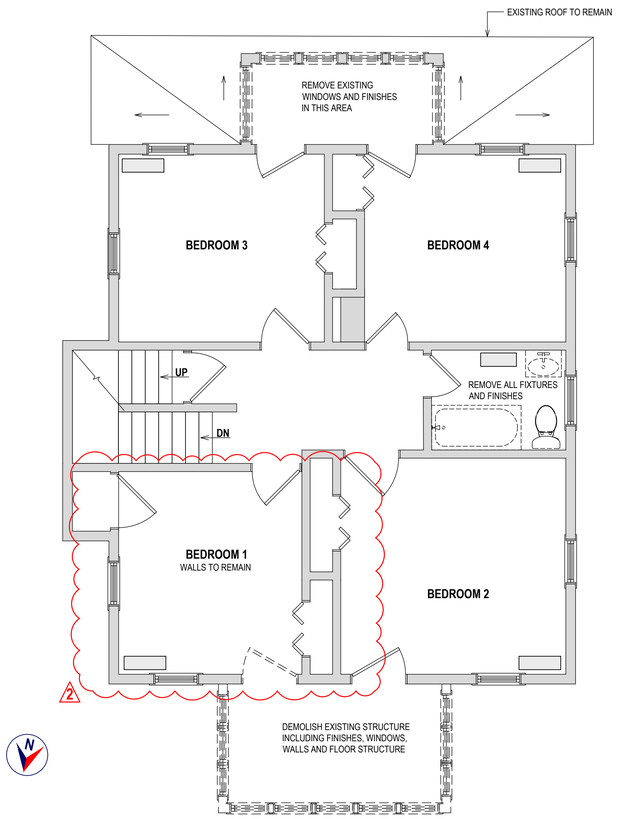
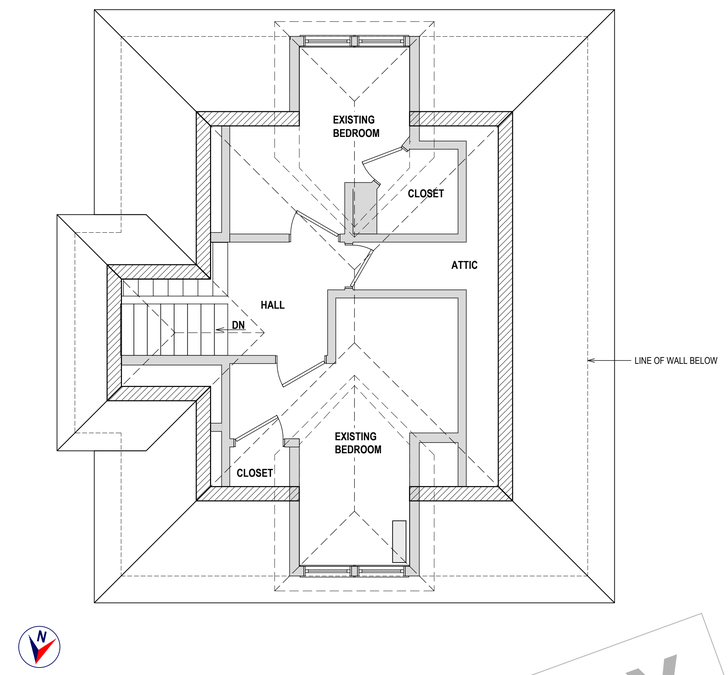
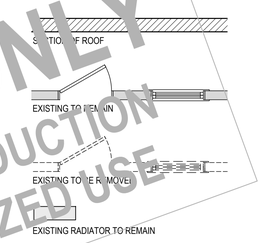


SECOND FLOOR EXISTING AND DEMOLITION
¼" = 1'-0"



ATTIC AND ROOF PLAN (NO DEMOLITION)
¼" = 1'-0"



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PROJECT NAME:
FLOOR PLAN ALTERATION

DRAWING NAME:
EXISTING AND DEMOLITION 02

DRAWING NUMBER:
D-02

DATE:
05.15.2025

SCALE:
AS NOTED

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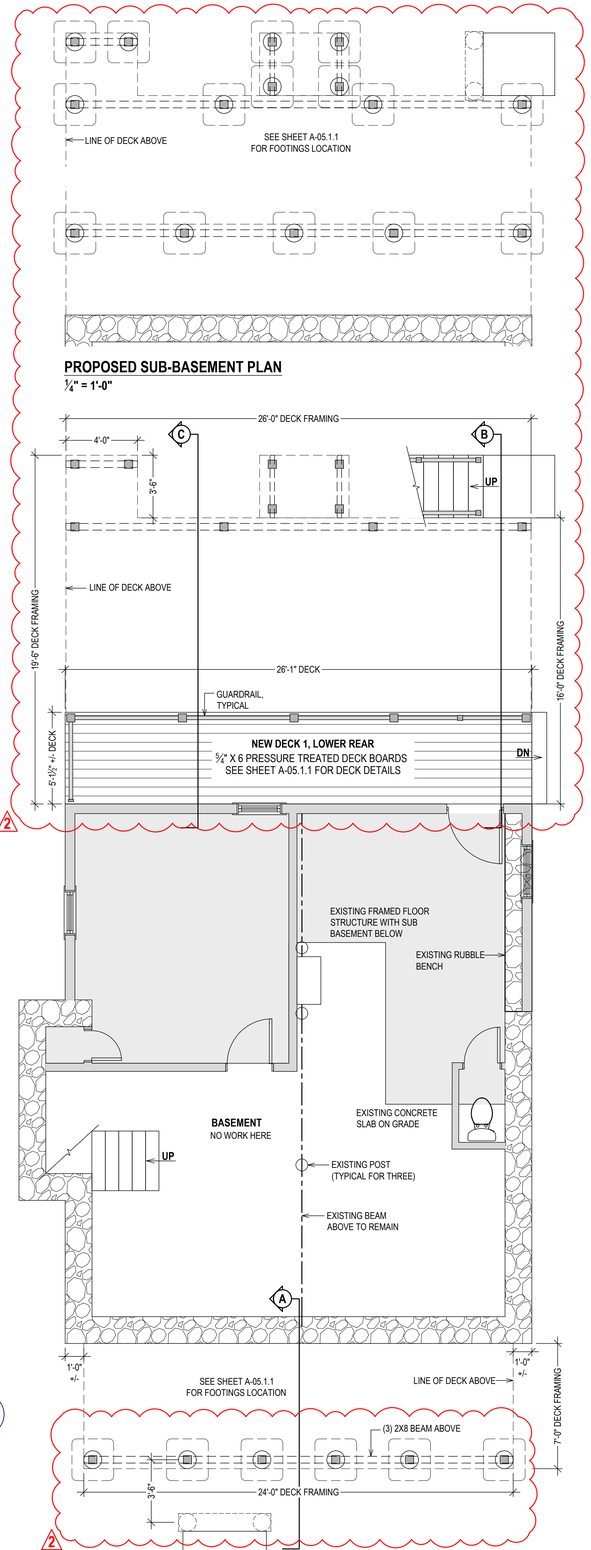


PROPOSED SUB-BASEMENT PLAN

¼" = 1'-0"

PROPOSED BASEMENT/FOUNDATION PLAN

¼" = 1'-0"

WINDOW SCHEDULE

ALL WINDOWS: SIMULATED DIVIDED LIGHT ON TOP SASH; LOW E GLASS; ENERGY CODE COMPLIANT; 3.5" FLAT EXTERIOR CASING; WHITE INSIDE AND OUT; WHITE HARDWARE; FULL SCREENS; EXTENSION JAMBS AS REQUIRED; CONFIRM ALL DETAILS WITH OWNER; SITE-MEASURE ALL WINDOWS BEFORE ORDERING - CONSIDER LARGER SIZE(S)

MARK	NO.	TYPE	MODEL**	WIDE*	HIGH*	GLASS	OTHER
W-1	1	ANDERSEN A 200 SERIES DOUBLE-HUNG	244DH2840	2'-8"	4'-0"		
W-2	1	ANDERSEN A 200 SERIES DOUBLE-HUNG	244DH2849	2'-8"	4'-9"		
W-3	1	ANDERSEN A 200 SERIES DOUBLE-HUNG	244DH1849	1'-8"	4'-9"		

NOTES: **ALL ITEMS ABOVE ARE SUBJECT TO OWNER APPROVAL AND/OR AS SELECTED BY OWNER;
* CONFIRM ALL DIMENSIONS BEFORE ORDERING DOORS

DOOR SCHEDULE

TO BE APPROVED BY OWNER
CONFIRM ALL DIMENSIONS

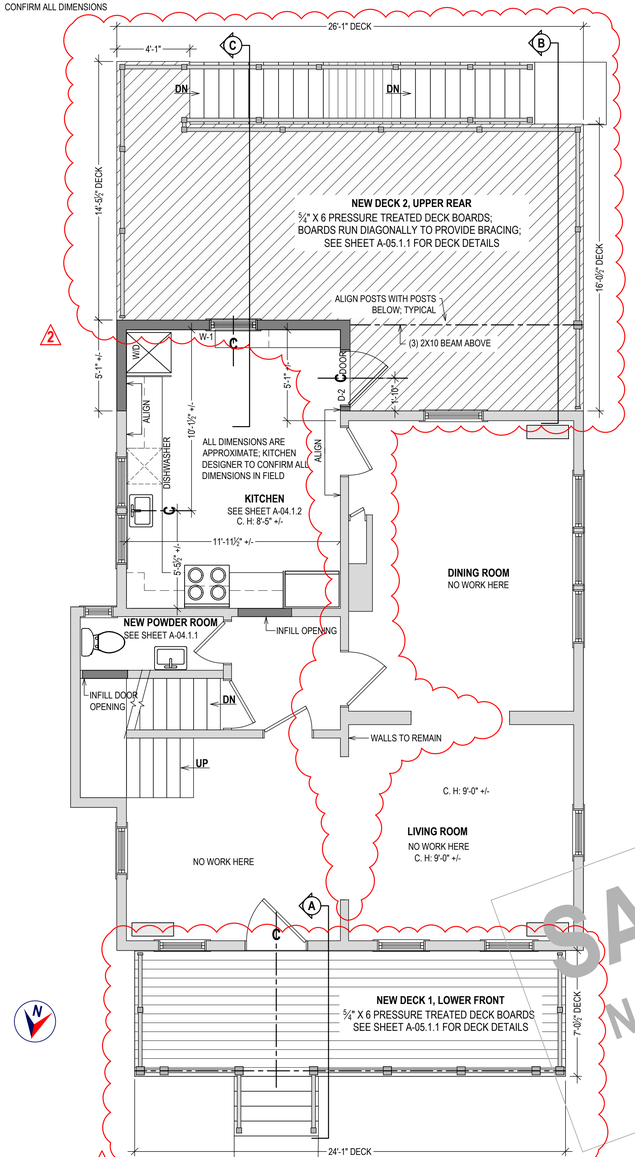
MARK	NO.	TYPE	MODEL**	HAND	WIDE*	HIGH*	HARDWARE**	OTHER
~~D-1~~	~~1~~	~~ANDERSEN A 100 SERIES PATIO DOOR~~			~~71 1/4"~~	~~79 1/2"~~	~~ENTRY~~	~~SLIDING~~
D-2	1	12 LITE PRIMED STEEL PREHUNG FRONT DOOR		L.H.	36"	80"	ENTRY	OUTSWING
INTERIORS	VARIES	MATCH WITH EXISTING		-	-	-	VARIES	

NOTES: **ALL ITEMS ABOVE ARE SUBJECT TO OWNER APPROVAL AND/OR AS SELECTED BY OWNER;
* CONFIRM ALL DIMENSIONS BEFORE ORDERING DOORS

2

DOOR SCHEDULE

TO BE APPROVED BY OWNER
CONFIRM ALL DIMENSIONS

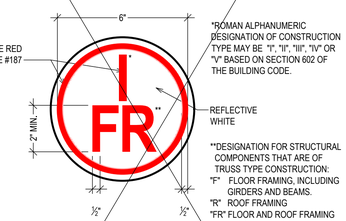


PROPOSED FIRST FLOOR

¼" = 1'-0"

TRUSS TYPE CONSTRUCTION:

UTILIZATION:
THE UTILIZATION OF TRUSS-TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND/OR TIMBER CONSTRUCTION IN RESIDENTIAL STRUCTURES IS SUBJECT TO THE REQUIREMENTS OF TITLE19 OF THE NEW YORK CODES, RULES AND REGULATIONS (NYCRR), PART 1265:
ANY PERSON UTILIZING TRUSS TYPE, PRE-ENGINEERED WOOD OR TIMBER CONSTRUCTION FOR THE ERECTION OF ANY NEW RESIDENTIAL STRUCTURE, FOR ANY ADDITION TO AN EXISTING RESIDENTIAL STRUCTURE, OR FOR ANY REHABILITATION OF AN EXISTING RESIDENTIAL STRUCTURE, SHALL, UPON APPLICATION FOR A BUILDING PERMIT WITH THE LOCAL GOVERNMENT HAVING JURISDICTION, INCLUDE ON THE PERMIT APPLICATION THAT TRUSS TYPE, PRE-ENGINEERED WOOD OR TIMBER CONSTRUCTION IS BEING UTILIZED, AND THAT THE PROPERTY OWNER OR THE PROPERTY OWNER'S REPRESENTATIVE SHALL COMPLETE A FORM PRESCRIBED BY THE STATE FIRE PREVENTION AND BUILDING CODE COUNCIL (HEREINAFTER REFERRED TO AS THE CODE COUNCIL) DESIGNATING THE STRUCTURE AS TRUSS TYPE, PRE-ENGINEERED WOOD OR TIMBER CONSTRUCTION AND FILE SUCH FORM WITH THE APPLICATION FOR A BUILDING PERMIT.

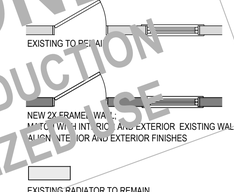


REQUIRED SIGN:
AS A CONDITION OF THE RECEIPT OF A CERTIFICATE OF OCCUPANCY, A SIGN OR SYMBOL DESIGNED AND APPROVED BY THE CODE COUNCIL SHALL BE AFFIXED TO THE ELECTRIC BOX ATTACHED TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE; PROVIDED.
HOWEVER:

IF AFFIXING THE SIGN OR SYMBOL TO THE ELECTRIC BOX WOULD OBSCURE ANY METER ON THE ELECTRIC BOX, OR IF THE UTILITY PROVIDING ELECTRIC SERVICE TO THE RESIDENTIAL STRUCTURE DOES NOT ALLOW THE SIGN OR SYMBOL TO BE AFFIXED TO THE ELECTRIC BOX, THE SIGN OR SYMBOL SHALL BE AFFIXED TO THE EXTERIOR WALL OF THE RESIDENTIAL STRUCTURE AT A POINT IMMEDIATELY ADJACENT TO THE ELECTRIC BOX, AND:

IF NO ELECTRIC BOX IS ATTACHED TO THE EXTERIOR OF THE RESIDENTIAL STRUCTURE, OR IF, IN THE OPINION OF THE AUTHORITY HAVING JURISDICTION, THE ELECTRIC BOX ATTACHED TO THE EXTERIOR OF THE BUILDING IS NOT LOCATED IN A PLACE LIKELY TO BE SEEN BY FIREFIGHTERS OR OTHER FIRST RESPONDERS RESPONDING TO A FIRE OR OTHER EMERGENCY AT THE RESIDENTIAL STRUCTURE, THE SIGN OR SYMBOL SHALL BE AFFIXED TO THE EXTERIOR OF THE STRUCTURE IN A LOCATION APPROVED BY THE BUILDING OFFICIAL OF THE VILLAGE OF PORT CHESTER AS A LOCATION LIKELY TO BE SEEN BY FIREFIGHTERS OR OTHER FIRST RESPONDERS RESPONDING TO A FIRE OR OTHER EMERGENCY AT THE RESIDENTIAL STRUCTURE.

2



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08.15.2025	FOR PERMIT
12.04.2025	AMENDMENT

2

PROJECT NAME:
FLOOR PLAN ALTERATION

DRAWING NAME:
PROPOSED 01

DRAWING NUMBER:
A-01.1

DATE:
05.15.2025

SCALE:
AS NOTED

NOTE:
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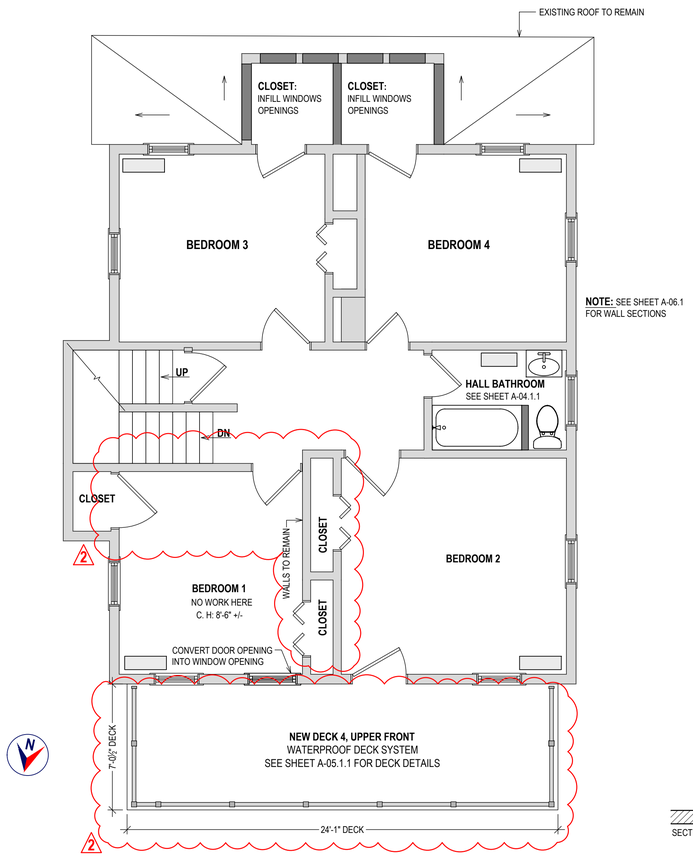
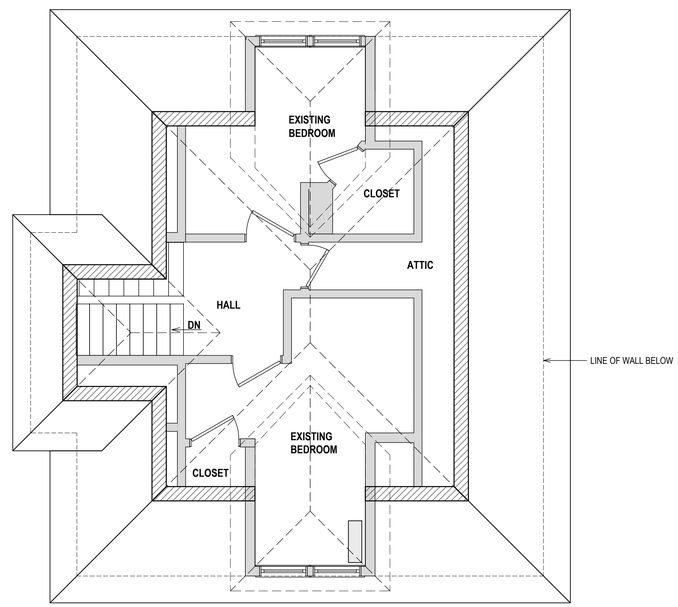


PROPOSED SECOND FLOOR

¼" = 1'-0"



PROPOSED ATTIC (NO WORK THIS AREA)

¼" = 1'-0"

SECTION OF ROOF

EXISTING TO REMAIN

NEW 2X FRAMED WALL;
MATCH WITH INTERIOR AND EXTERIOR EXISTING WALL;
ALIGN INTERIOR AND EXTERIOR FINISHES

EXISTING RADIATOR TO REMAIN

WOOD FRAMING:

FLOOR FRAMING:
STRUCTURAL FLOOR MEMBERS SHALL CONFORM TO THE APPLICABLE PROVISIONS OF SECTION R502.

ALL FLOOR FRAMING, INCLUDING JOISTS, LEDGERS, HEADERS AND BLOCKING, IS TO BE 2X DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2, FB=850 PSI, 1.4E OR BETTER.

FLOOR FRAMING IS TO BE AT 16" (MAXIMUM) ON CENTER, OR AS OTHERWISE NOTED IN THE DRAWINGS.

AVOID NOTCHING (SEE CUTTING AND NOTCHING) PROVIDE SISTER MEMBERS AS REQUIRED.

FLOOR SHEATHING SHALL BE ¾" AVANTECH T&G SUBFLOOR FASTENED WITH 8D COMMON NAILS @ 6" O.C. AND AVANTECH SUBFLOOR ADHESIVE PER MANUFACTURERS INSTRUCTIONS AND SHALL CONFORM TO SECTION 502 OF THE RESIDENTIAL CODE.

WALL FRAMING:
LOAD BEARING WALLS SHALL CONFORM TO THE APPLICABLE PROVISIONS OF SECTION R602.

ALL LOAD BEARING WOOD FRAMED PARTITIONS INCLUDING STUDS, TOP AND BOTTOM PLATE AND BLOCKING, IS TO BE 2X DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2, FB=850 PSI, 1.4E OR BETTER.

WALL FRAMING IS TO BE AT 16" (MAXIMUM) ON CENTER, OR AS OTHERWISE NOTED IN THE DRAWINGS.

AVOID NOTCHING (SEE CUTTING AND NOTCHING) PROVIDE SISTER STUDS AS REQUIRED.

EXCEPTION:
BEARING STUDS NOT SUPPORTING FLOORS AND NONBEARING STUDS SHALL BE PERMITTED TO BE UTILITY GRADE LUMBER, PROVIDED THAT THE STUDS ARE SPACED AT 16" O.C. MINIMUM.

BOTTOM (SOLE) PLATE:
STUDS SHALL HAVE FULL BEARING ON A NOMINAL 2X OR LARGER PLATE OR SILL HAVING A WIDTH NOT LESS THAN TO THE WIDTH OF THE STUDS.

TOP PLATE:
WOOD STUD WALLS SHALL BE CAPPED WITH A DOUBLE TOP PLATE INSTALLED TO PROVIDE OVERLAPPING AT CORNERS AND INTERSECTIONS WITH BEARING PARTITIONS. END JOINTS IN TOP PLATES SHALL BE OFFSET NOT LESS THAN 24" JOINTS IN PLATES NEED NOT OCCUR OVER STUDS. PLATES SHALL BE NOT LESS THAN 2" NOMINAL THICKNESS AND HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE STUDS.

WALL SHEATHING SHALL BE MINIMUM 1/2" WOOD STRUCTURAL PANEL ,ZIP SYSTEM, PER MANUFACTURERS INSTRUCTIONS HARDIE PLANK LAP SIDING AND SHALL CONFORM TO SECTION 602 OF THE RESIDENTIAL CODE.

ROOF-CEILING CONSTRUCTION:
ROOF FRAMING SHALL CONFORM TO THE APPLICABLE PROVISIONS OF SECTION R802.

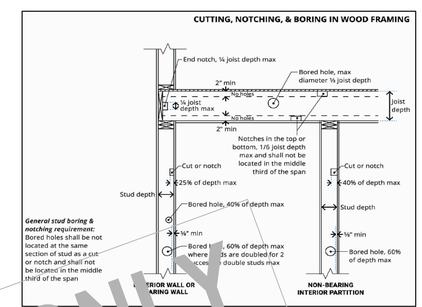
ALL ROOF FRAMING, INCLUDING RAFTERS, COLLAR TIES, RAFTER TIES AND CEILING JOISTS, IS TO BE 2X , DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2, FB=850 PSI, 1.4E, OR BETTER.

ROOF FRAMING IS TO BE AT 16" (MAXIMUM) ON CENTER, OR AS OTHERWISE NOTED IN THE DRAWINGS.

AVOID NOTCHING (SEE CUTTING AND NOTCHING) PROVIDE SISTER MEMBERS AS REQUIRED.

ROOF SHEATHING SHALL BE ZIP SYSTEM 5/8" SHEATHING AND SHALL CONFORM TO SECTION 803 OF THE RESIDENTIAL CODE.

CUTTING, DRILLING AND NOTCHING FOR WIRES AND PIPES:
WOOD-FRAMED STRUCTURAL MEMBERS SHALL NOT BE DRILLED, NOTCHED OR ALTERED IN ANY MANNER EXCEPT AS PROVIDED IN SECTIONS R502.8, R602.6, R802.7 AND R802.7.1 OF THE RESIDENTIAL CODE.



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***
PORT CHESTER, NY 10573 (VILLAGE OF PORT CHESTER BUILDING DEPARTMENT)

S-B-L:
***

CLIENT:
*** ***

TEL: ***
EMAIL:
***

DATE:	ISSUE:
05.15.2025	PRELIMINARY
~~07.23.2025~~	~~FOR PERMIT~~
08.15.2025	FOR PERMIT
12.04.2025	AMENDMENT

2

PROJECT NAME:
FLOOR PLAN ALTERATION

DRAWING NAME:
PROPOSED 02

DRAWING NUMBER:
A-01.2

DATE:
05.15.2025

SCALE:
AS NOTED

NOTE:
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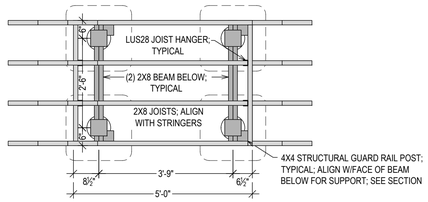
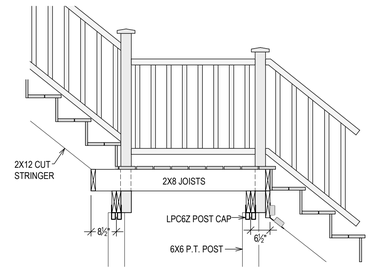
DO NOT SCALE DRAWINGS | THIS DRAWING IS SCALED TO PRINT ON AN ARCH D (24" X 36") SHEET



PLAN

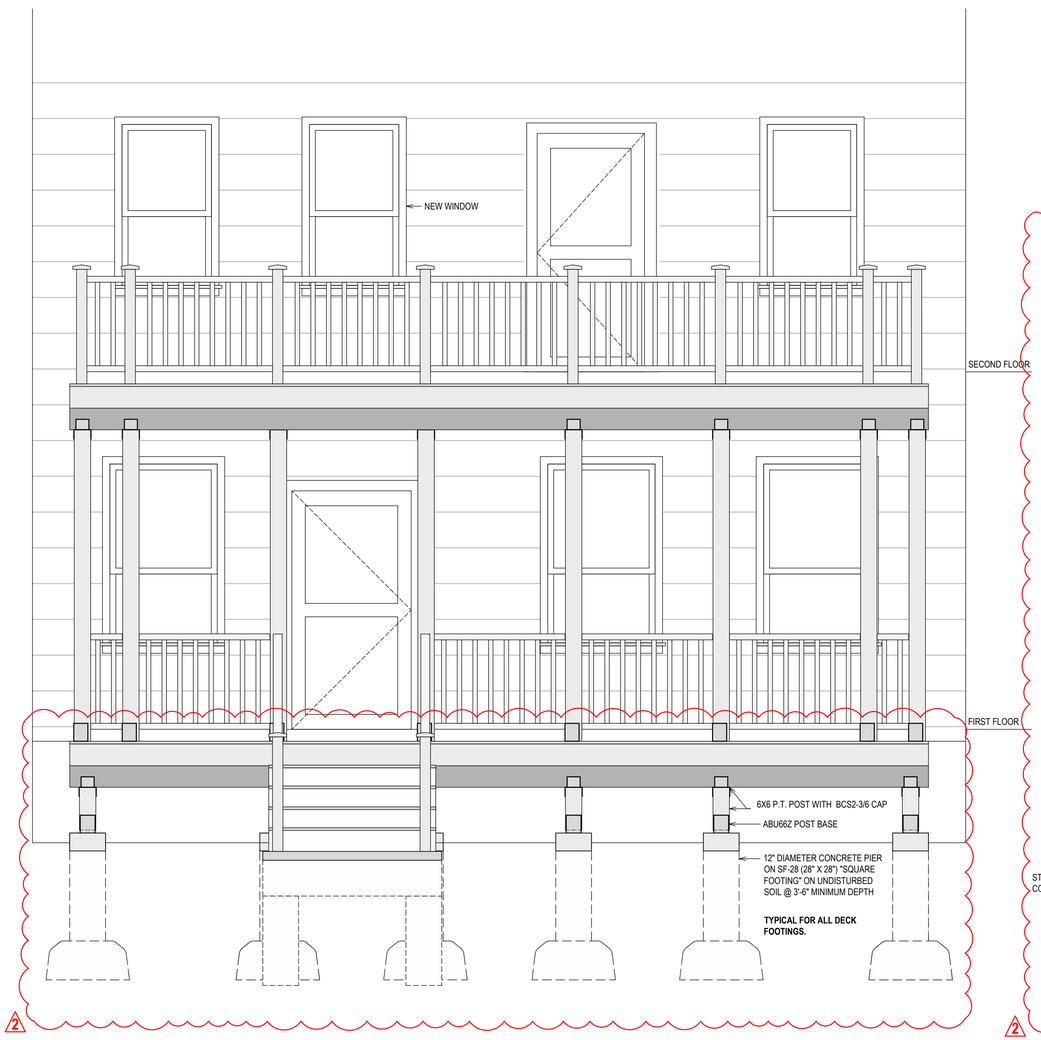


SECTION

REAR STAIRS LANDING FRAMING

½" = 1'-0"

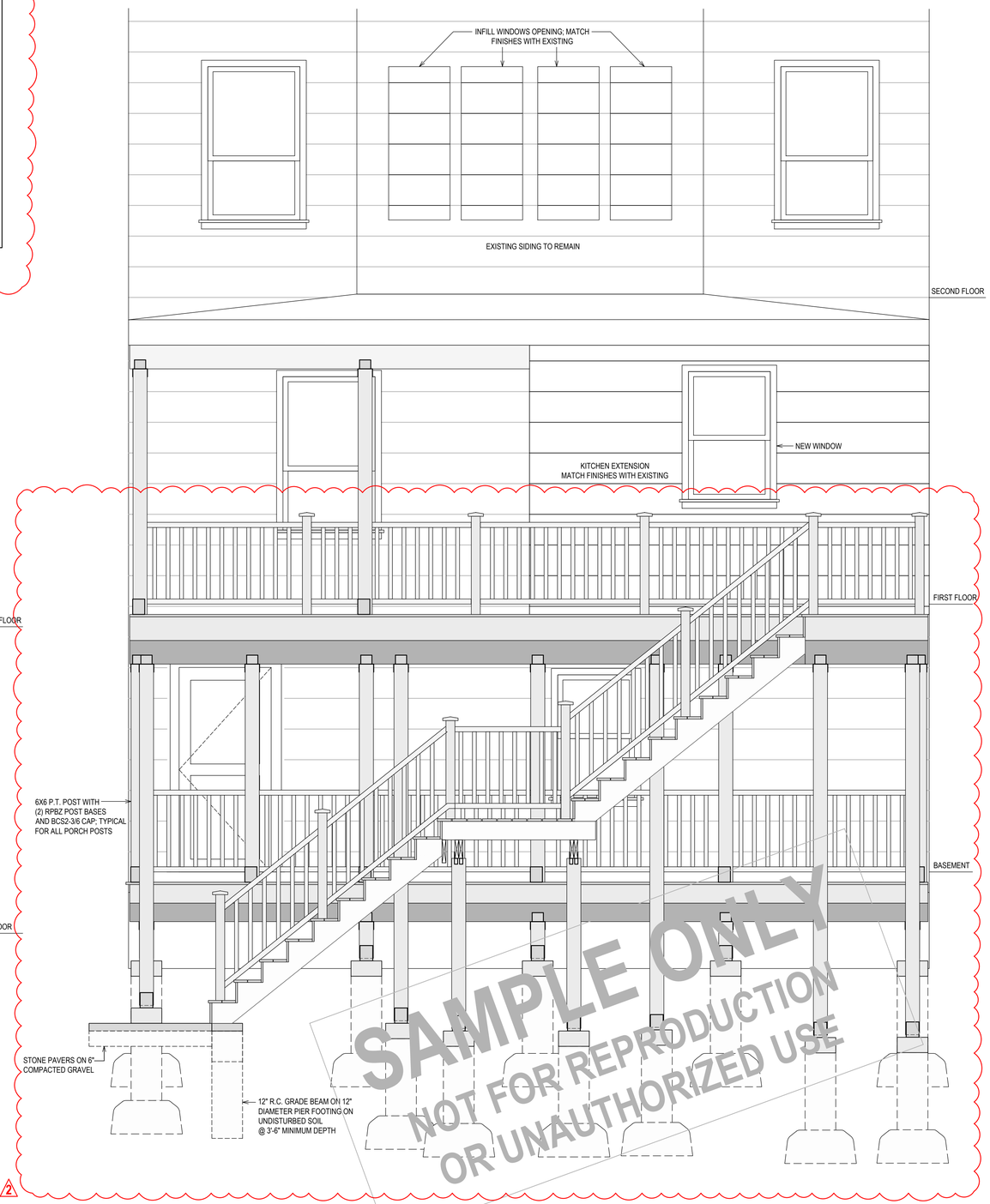
2



2

FRONT ELEVATION

½" = 1'-0"



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2

REAR ELEVATION

½" = 1'-0"

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*** ***

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EMAIL:
***

DATE:	ISSUE:
05.15.2025	PRELIMINARY
07.23.2025	FOR PERMIT
08.15.2025	FOR PERMIT
12.04.2025	AMENDMENT

2

PROJECT NAME:
FLOOR PLAN ALTERATION

DRAWING NAME:
ELEVATIONS

DRAWING NUMBER:
A-02.1

DATE:
05.15.2025

SCALE:
AS NOTED

NOTE:
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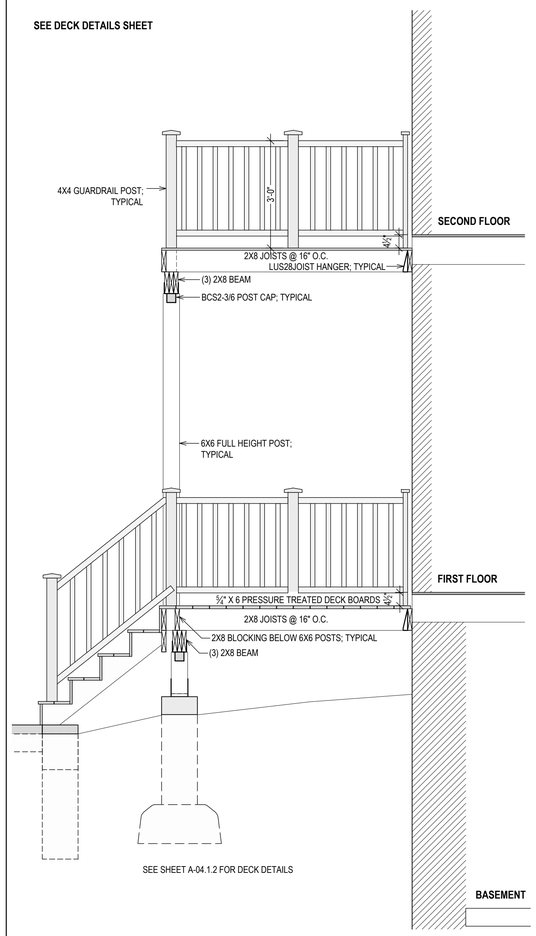
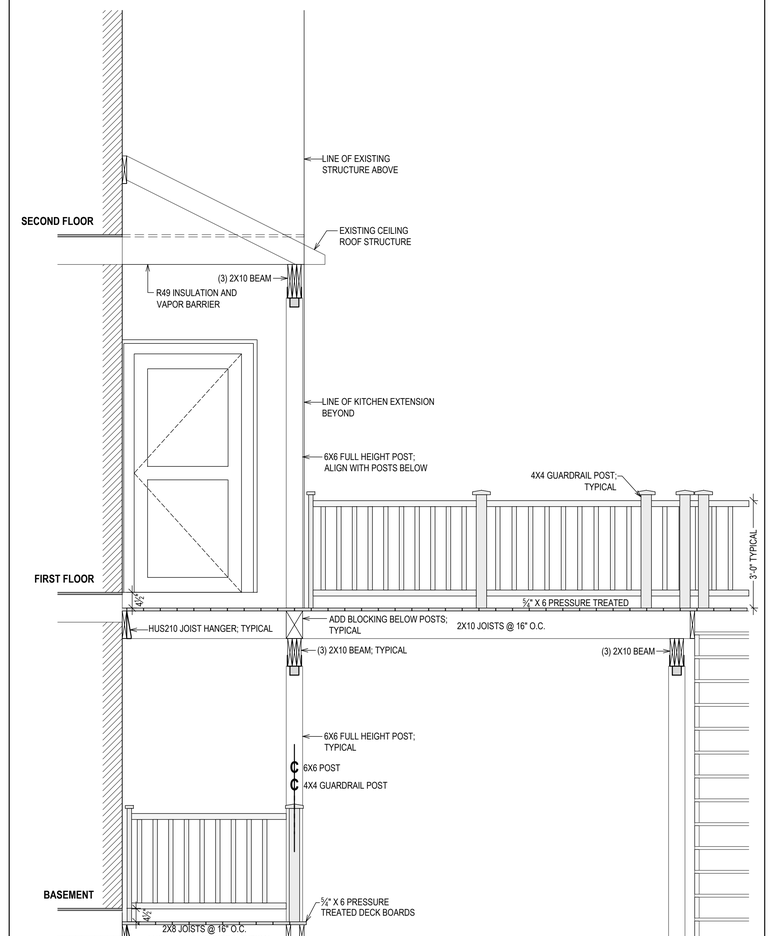
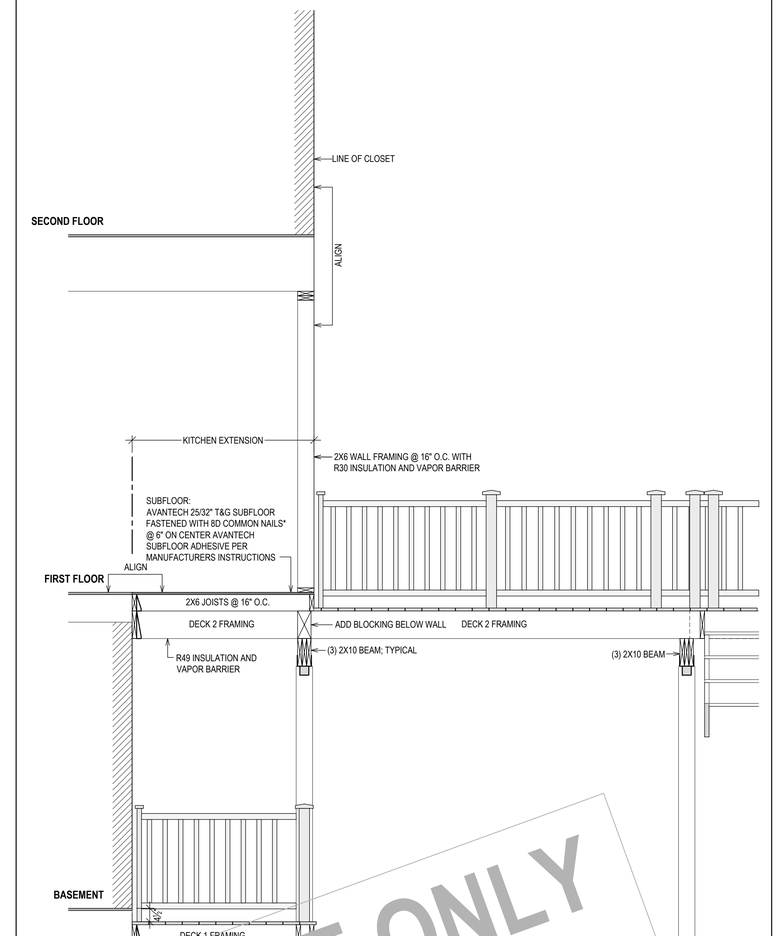


SECTION A: FRONT DECK
½" = 1'-0"



SECTION B: REAR DECK
½" = 1'-0"



SECTION C: REAR DECK
½" = 1'-0"

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2

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12.04.2025	AMENDMENT

2

PROJECT NAME:
FLOOR PLAN ALTERATION

DRAWING NAME:
SECTIONS

DRAWING NUMBER:
A-03.1

DATE:
05.15.2025

SCALE:
AS NOTED

NOTE:
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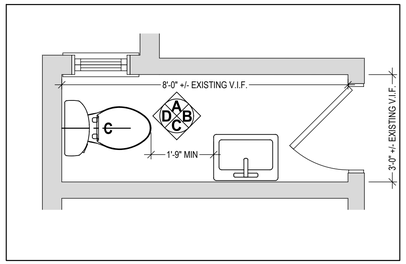
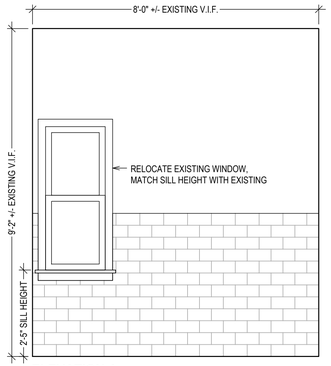
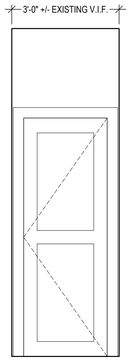


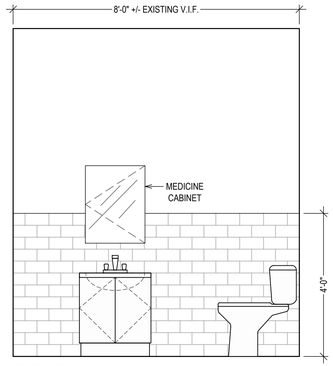
NEW POWDER ROOM LAYOUT
½" = 1'-0"



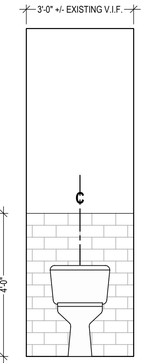
ELEVATION A
½" = 1'-0"



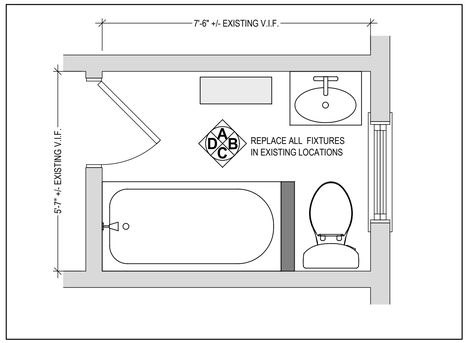
ELEVATION B
½" = 1'-0"



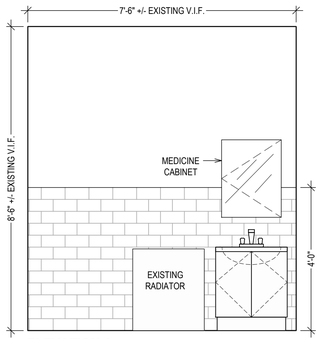
ELEVATION C
½" = 1'-0"



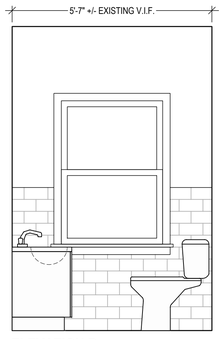
ELEVATION D
½" = 1'-0"



HALL BATHROOM LAYOUT
½" = 1'-0"



ELEVATION A
½" = 1'-0"



ELEVATION B
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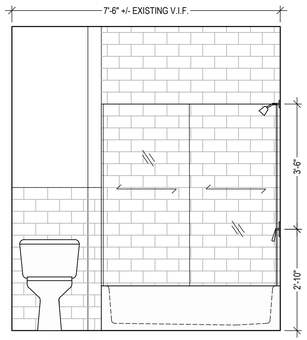
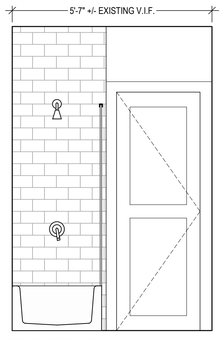
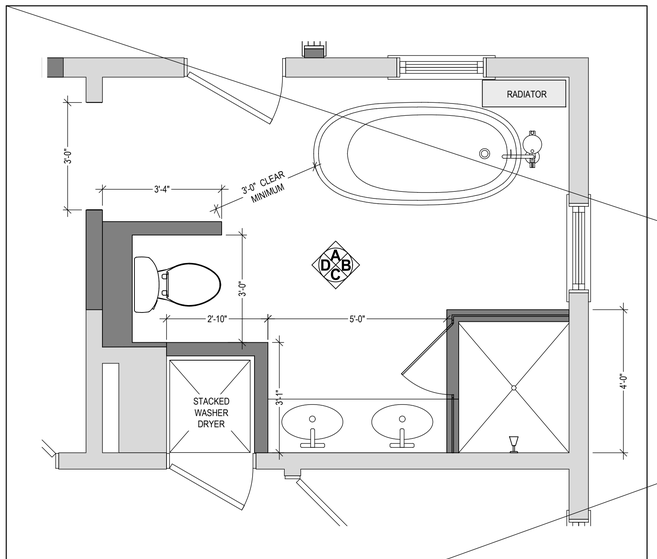


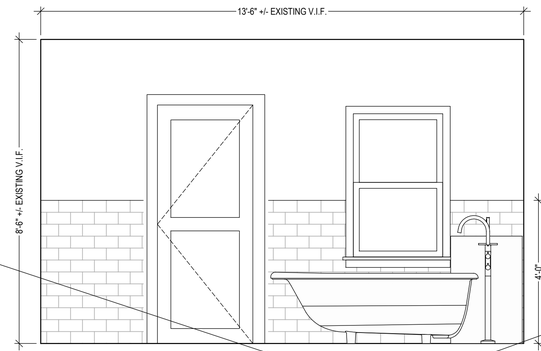
ELEVATION C
½" = 1'-0"



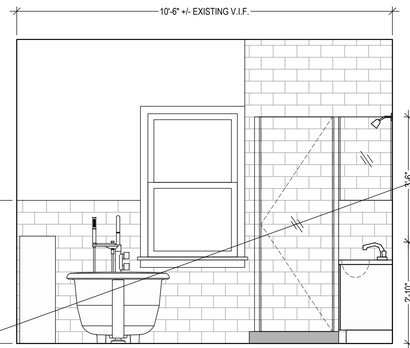
ELEVATION D
½" = 1'-0"



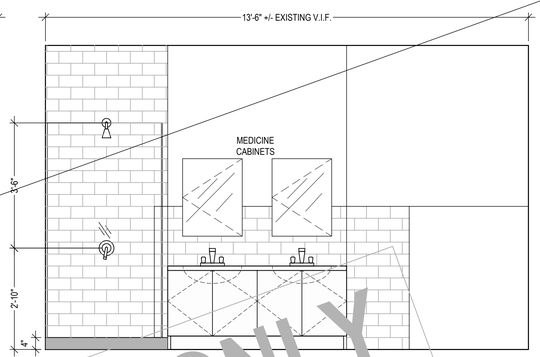
NEW MASTER BATHROOM LAYOUT
½" = 1'-0"



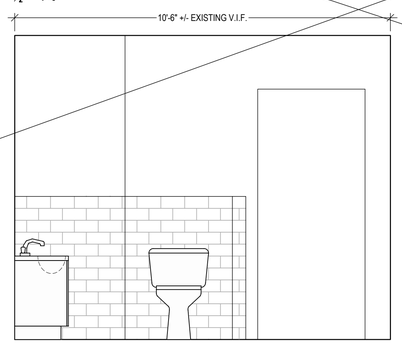
ELEVATION A
½" = 1'-0"



ELEVATION B
½" = 1'-0"



ELEVATION C
½" = 1'-0"



ELEVATION D
½" = 1'-0"

NOTE:
-VERIFY ALL DIMENSIONS IN FIELD
-SEE SHEET A-06.1 FOR BATHROOM CLEARANCES.
-SEE SHEET A-06.2 FOR FINISHES.
-SEE SHEET E-01 AND E-02 FOR ELECTRICAL PLAN.

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DATE:	ISSUE:
05.15.2025	PRELIMINARY
~~07.23.2025~~	~~FOR PERMIT~~
08.15.2025	FOR PERMIT

PROJECT NAME:
FLOOR PLAN ALTERATION

DRAWING NAME:
BATHROOM

DRAWING NUMBER:
A-04.1.1

DATE:
05.15.2025

SCALE:
AS NOTED

NOTE:
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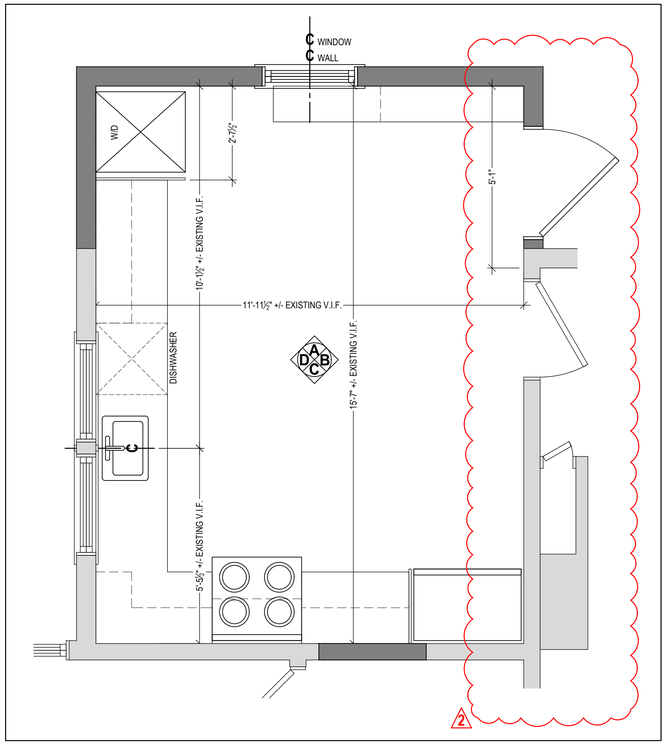
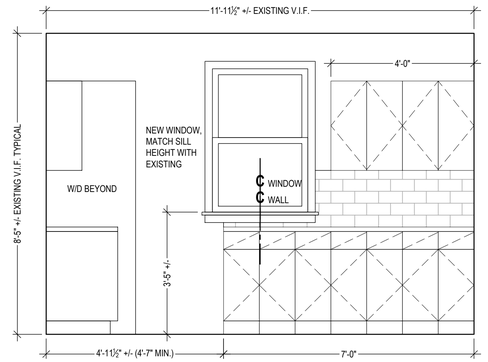


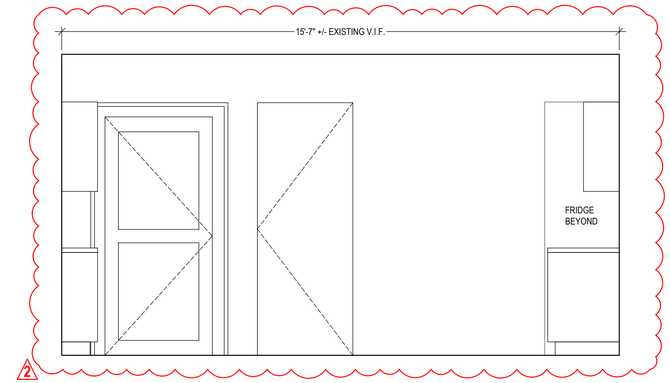
KITCHEN LAYOUT

VERIFY ALL DIMENSIONS IN FIELD
SEE SHEET A-06.2 FOR FINISHES
SEE SHEET E-01 FOR ELECTRICAL PLAN
½" = 1'-0"



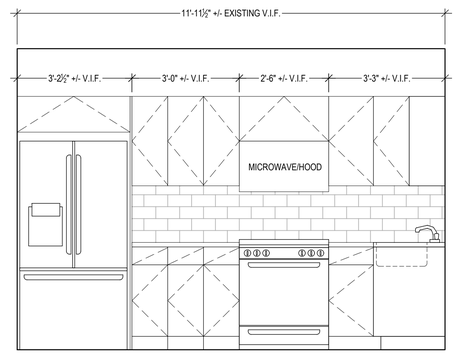
ELEVATION A

½" = 1'-0"



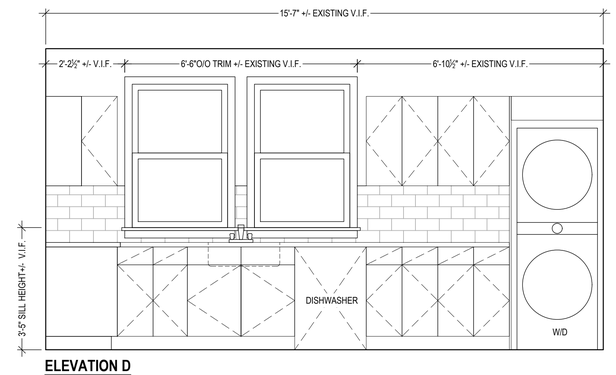
ELEVATION B

½" = 1'-0"



ELEVATION C

½" = 1'-0"



ELEVATION D

½" = 1'-0"

PLUMBING:

1. ALL PLUMBING WORK IS TO BE:
   - PERFORMED BY A PLUMBER LICENSED TO WORK IN WESTCHESTER COUNTY AND IN THE VILLAGE OF PORT CHESTER.
   - COMPLETED PER PART VII OF THE THE 2017 NATIONAL ELECTRICAL CODE (NFPA 70-2017).
   - FILED UNDER A SEPARATE PERMIT.
   - INSPECTED PER THE REQUIREMENTS OF THE BUILDING DEPARTMENT, AND BUILDING OFFICIAL, OF VILLAGE OF PORT CHESTER.
2. ALL ABANDONED PIPING MUST BE REMOVED TO A POINT OF CONCEALMENT AND PROPERLY CAPPED.
3. ALL EXPOSED EXISTING AND NEW HOT AND COLD WATER AND HEATING PIPES MUST BE PROPERLY INSULATED.
4. ALL MATERIALS USED SHALL BE NEW, BEST OF THEIR RESPECTIVE BRANDS AND CONFORM TO THE REQUIREMENTS OF ALL STATE AND LOCAL AUTHORITIES HAVING JURISDICTION.

ADDITIONS, ALTERATIONS OR REPAIRS

ADDITIONS, ALTERATIONS, RENOVATIONS OR REPAIRS TO ANY PLUMBING SYSTEM SHALL CONFORM TO THAT REQUIRED FOR A NEW PLUMBING SYSTEM WITHOUT REQUIRING THE EXISTING PLUMBING SYSTEM TO COMPLY WITH THE REQUIREMENTS OF THIS CODE. ADDITIONS, ALTERATIONS OR REPAIRS SHALL NOT CAUSE AN EXISTING SYSTEM TO BECOME UNSAFE, UNSANITARY OR OVERLOADED.
MINOR ADDITIONS, ALTERATIONS, RENOVATIONS AND REPAIRS TO EXISTING PLUMBING SYSTEMS SHALL BE PERMITTED IN THE SAME MANNER AND ARRANGEMENT AS IN THE EXISTING SYSTEM, PROVIDED THAT SUCH REPAIRS OR REPLACEMENT ARE NOT HAZARDOUS AND ARE APPROVED.

INSPECTION REQUIRED:

NEW PLUMBING WORK AND PARTS OF EXISTING SYSTEMS AFFECTED BY NEW YORK OR ALTERATIONS SHALL BE INSPECTED BY THE BUILDING OFFICIAL TO ENSURE COMPLIANCE WITH THE REQUIREMENTS OF THE CODE.
A PLUMBING OR DRAINAGE SYSTEM, OR PART THEREOF, SHALL NOT BE COVERED, CONCEALED OR PUT INTO USE UNTIL IT HAS BEEN TESTED, INSPECTED AND APPROVED BY THE BUILDING OFFICIAL.WASTE AND VENT SYSTEMS TESTING
ROUGH-IN AND FINISHED PLUMBING INSTALLATIONS OF DRAIN, WASTE AND VENT SYSTEMS SHALL BE TESTED IN ACCORDANCE WITH SECTIONS P2503.5.1 AND P2503.5.2.P2503.5.

DRILLING AND NOTCHING:

WOOD-FRAMED STRUCTURAL MEMBERS SHALL NOT BE DRILLED, NOTCHED OR ALTERED IN ANY MANNER EXCEPT AS PROVIDED IN SECTIONS R502.8, R602.6, R802.7 AND R802.7.1.

DWV TESTING:

DWV SYSTEMS SHALL BE TESTED ON COMPLETION OF THE ROUGH PIPING INSTALLATION BY WATER OR, FOR PIPING SYSTEMS OTHER THAN PLASTIC, BY AIR, WITHOUT EVIDENCE OF LEAKAGE.
EITHER TEST SHALL BE APPLIED TO THE DRAINAGE SYSTEM IN ITS ENTIRETY OR IN SECTIONS AFTER ROUGH-IN PIPING HAS BEEN INSTALLED, AS FOLLOWS:

1. **WATER TEST:**
   EACH SECTION SHALL BE FILLED WITH WATER TO A POINT NOT LESS THAN 5 '-0" ABOVE THE HIGHEST FITTING CONNECTION IN THAT SECTION, OR TO THE HIGHEST POINT IN THE COMPLETED SYSTEM. WATER SHALL BE HELD IN THE SECTION UNDER TEST FOR A PERIOD OF 15 MINUTES. THE SYSTEM SHALL PROVE LEAK FREE BY VISUAL INSPECTION.
2. **AIR TEST:**
   THE PORTION UNDER TEST SHALL BE MAINTAINED AT A GAUGE PRESSURE OF 5 POUNDS PER SQUARE INCH (PSI) OR 10" OF MERCURY COLUMN. THIS PRESSURE SHALL BE HELD WITHOUT INTRODUCTION OF ADDITIONAL AIR FOR A PERIOD OF 15 MINUTES.

WATER-SUPPLY SYSTEM TESTING:

UPON COMPLETION OF THE WATER-SUPPLY SYSTEM OR A SECTION OF IT, THE SYSTEM OR PORTION COMPLETED SHALL BE TESTED AND PROVED TIGHT UNDER A WATER PRESSURE OF NOT LESS THAN THE WORKING PRESSURE OF THE SYSTEM OR, FOR PIPING SYSTEMS OTHER THAN PLASTIC, BY AN AIR TEST OF NOT LESS THAN 50 PSI. THIS PRESSURE SHALL BE HELD FOR NOT LESS THAN 15 MINUTES.
THE WATER USED FOR TESTS SHALL BE OBTAINED FROM A POTABLE WATER SOURCE.

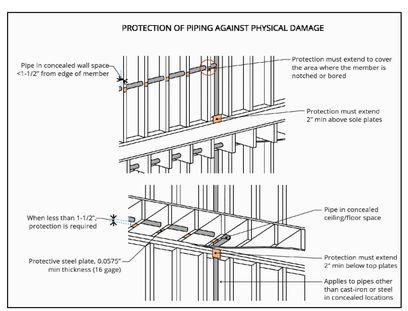
PROTECTION AGAINST PHYSICAL DAMAGE:

IN CONCEALED LOCATIONS, WHERE PIPING, OTHER THAN CAST-IRON OR GALVANIZED STEEL IS INSTALLED THROUGH HOLES OR NOTCHES IN STUDS, JOISTS, RAFTERS OR SIMILAR MEMBERS LESS THAN 1½" FROM THE NEAREST EDGE OF THE MEMBER, THE PIPE SHALL BE PROTECTED BY STEEL SHIELD PLATES. SUCH SHIELD PLATES SHALL HAVE A THICKNESS OF NOT LESS THAN 0.0575 INCH (NO. 16 GAGE). SUCH PLATES SHALL COVER THE AREA OF THE PIPE WHERE THE MEMBER IS NOTCHED OR BORED AND SHALL EXTEND NOT LESS THAN 2" ABOVE SOLE PLATES AND BELOW TOP PLATES.

FIXTURE INSTALLATION:

FLOOR-OUTLET OR FLOOR-MOUNTED FIXTURES SHALL BE SECURED TO THE DRAINAGE CONNECTION AND TO THE FLOOR, WHERE SO DESIGNED, BY SCREWS, BOLTS, WASHERS, NUTS AND SIMILAR FASTENERS OF COPPER, COPPER ALLOY OR OTHER CORROSION RESISTANT MATERIAL.
WALL-HUNG FIXTURES SHALL BE RIGIDLY SUPPORTED SO THAT STRAIN IS NOT TRANSMITTED TO THE PLUMBING SYSTEM.

WHERE FIXTURES COME IN CONTACT WITH WALLS AND FLOORS, THE CONTACT AREA SHALL BE WATERTIGHT.



KITCHEN VENTILATION

SECTION M1503 DOMESTIC COOKING EXHAUST EQUIPMENT

M1503.1 GENERAL

DOMESTIC COOKING EXHAUST EQUIPMENT SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION.

M1503.2 DOMESTIC COOKING EXHAUST

WHERE DOMESTIC COOKING EXHAUST EQUIPMENT IS PROVIDED, IT SHALL COMPLY WITH ONE OF THE FOLLOWING:

THE FAN FOR OVERHEAD RANGE HOODS AND DOWNDRAFT EXHAUST EQUIPMENT NOT INTEGRAL WITH THE COOKING APPLIANCE SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 507.

OVERHEAD RANGE HOODS AND DOWNDRAFT EXHAUST EQUIPMENT WITH INTEGRAL FANS SHALL COMPLY WITH UL 507.

DOMESTIC COOKING APPLIANCES WITH INTEGRAL DOWNDRAFT EXHAUST EQUIPMENT SHALL BE LISTED AND LABELED IN ACCORDANCE WITH ANSI Z21.1 OR UL 858.

MICROWAVE OVENS WITH INTEGRAL EXHAUST FOR INSTALLATION OVER THE COOKING SURFACE SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 923

M1503.3 EXHAUST DISCHARGE

DOMESTIC COOKING EXHAUST EQUIPMENT SHALL DISCHARGE TO THE OUTDOORS THROUGH A DUCT. THE DUCT SHALL HAVE A SMOOTH INTERIOR SURFACE, SHALL BE AIRTIGHT, SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER AND SHALL BE INDEPENDENT OF ALL OTHER EXHAUST SYSTEMS. DUCTS SERVING DOMESTIC COOKING EXHAUST EQUIPMENT SHALL NOT TERMINATE IN AN ATTIC OR CRAWL SPACE OR AREAS INSIDE THE BUILDING.

EXCEPTION: WHERE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS, AND WHERE MECHANICAL OR NATURAL VENTILATION IS OTHERWISE PROVIDED, LISTED AND LABELED DUCTLESS RANGE HOODS SHALL NOT BE REQUIRED TO DISCHARGE TO THE OUTDOORS.

M1503.5 KITCHEN EXHAUST RATES

WHERE DOMESTIC KITCHEN COOKING APPLIANCES ARE EQUIPPED WITH DUCTED RANGE HOODS OR DOWN-DRAFT EXHAUST SYSTEMS, THE FANS SHALL BE SIZED IN ACCORDANCE WITH SECTION M1505.4.4.

M1503.6 MAKEUP AIR REQUIRED

WHERE ONE OR MORE GAS, LIQUID OR SOLID FUEL-BURNING APPLIANCE THAT IS NEITHER DIRECT-VENT NOR USES A MECHANICAL DRAFT VENTING SYSTEM IS LOCATED WITHIN A DWELLING UNIT'S AIR BARRIER, EACH EXHAUST SYSTEM CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE (0.19 M3/S) SHALL BE MECHANICALLY OR PASSIVELY PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH NOT FEWER THAN ONE DAMPER COMPLYING WITH SECTION M1503.6.2.

EXCEPTION: MAKEUP AIR IS NOT REQUIRED FOR EXHAUST SYSTEMS INSTALLED FOR THE EXCLUSIVE PURPOSE OF SPACE COOLING AND INTENDED TO BE OPERATED ONLY WHEN WINDOWS OR OTHER AIR INLETS ARE OPEN.

M1503.6.1 LOCATION

KITCHEN EXHAUST MAKEUP AIR SHALL BE DISCHARGED INTO THE SAME ROOM IN WHICH THE EXHAUST SYSTEM IS LOCATED OR INTO ROOMS OR DUCT SYSTEMS THAT COMMUNICATE THROUGH ONE OR MORE PERMANENT OPENINGS WITH THE ROOM IN WHICH SUCH EXHAUST SYSTEM IS LOCATED. SUCH PERMANENT OPENINGS SHALL HAVE A NET CROSS-SECTIONAL AREA NOT LESS THAN THE REQUIRED AREA OF THE MAKEUP AIR SUPPLY OPENINGS.

M1503.6.2 MAKEUP AIR DAMPERS

WHERE MAKEUP AIR IS REQUIRED BY SECTION M1503.6, MAKEUP AIR DAMPERS SHALL COMPLY WITH THIS SECTION. EACH DAMPER SHALL BE A GRAVITY DAMPER OR AN ELECTRICALLY OPERATED DAMPER THAT AUTOMATICALLY OPENS WHEN THE EXHAUST SYSTEM OPERATES. DAMPERS SHALL BE LOCATED TO ALLOW ACCESS FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION OR ANY OTHER DUCTS NOT CONNECTED TO THE DAMPER BEING INSPECTED, SERVICED, REPAIRED OR REPLACED. GRAVITY OR BAROMETRIC DAMPERS SHALL NOT BE USED IN PASSIVE MAKEUP AIR SYSTEMS EXCEPT WHERE THE DAMPERS ARE RATED TO PROVIDE THE DESIGN MAKEUP AIRFLOW AT A PRESSURE DIFFERENTIAL OF 0.01 IN. W.C. (3 PA) OR LESS.

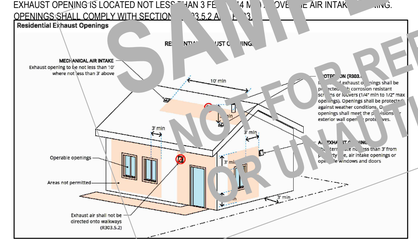
M1504.3 EXHAUST OPENINGS

AIR EXHAUST OPENINGS SHALL TERMINATE AS FOLLOWS:

NOT LESS THAN 3 FEET (914 MM) FROM PROPERTY LINES.

NOT LESS THAN 3 FEET (914 MM) FROM GRAVITY AIR INTAKE OPENING[illegible] LE[illegible]NDOWS AN[illegible] DOORS.

NOT LESS THAN 10 FEET (3048 MM) FROM MECHANIC[illegible]R IN[illegible] OPE[illegible] EXCEPT WHERE THE EXHAUST OPENING IS LOCATED NOT LESS THAN 3 FE[illegible]4 M[illegible]OVE[illegible]E AIR INTAK[illegible]NING. OPENINGS SHALL COMPLY WITH SECTION[illegible]3.5.2 A[illegible]



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PROPERTY ADDRESS:
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PORT CHESTER, NY 10573 (VILLAGE OF PORT CHESTER BUILDING DEPARTMENT)

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EMAIL:
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DATE:	ISSUE:
05.15.2025	PRELIMINARY
~~07.23.2025~~	~~FOR PERMIT~~
08.15.2025	FOR PERMIT
12.04.2025	AMENDMENT

2

PROJECT NAME:
FLOOR PLAN ALTERATION

DRAWING NAME:
KITCHEN

DRAWING NUMBER:
A-04.1.2

DATE:
05.15.2025

SCALE:
AS NOTED

NOTE:
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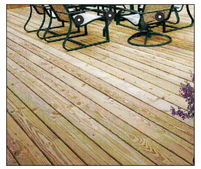
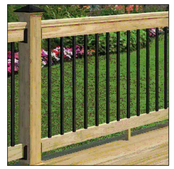
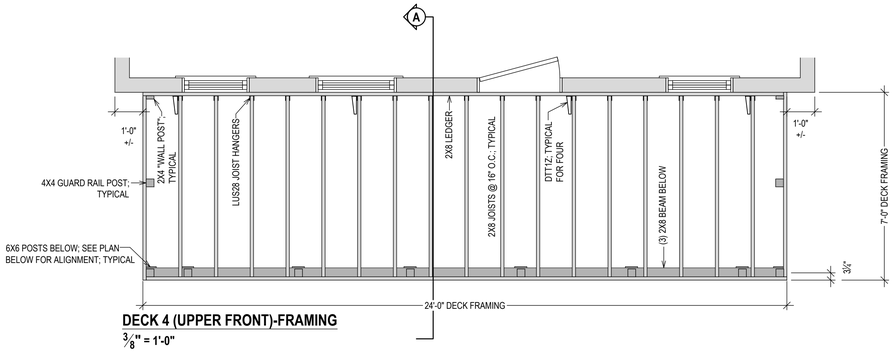


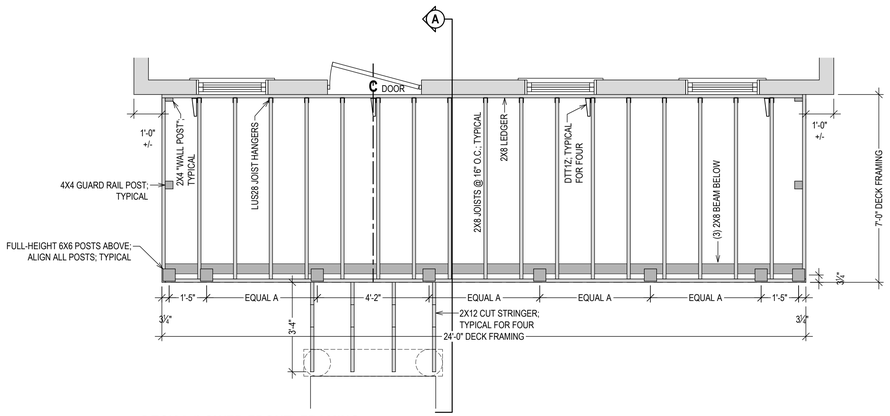
DECKING:
5/4" X 6" PRESSURE TREATED



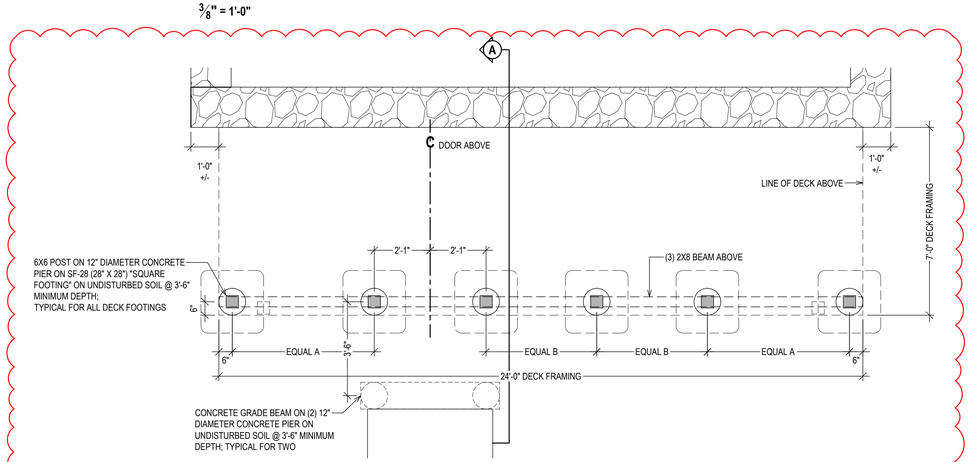
POSTS: PRESSURE TREATED 4X4; 6'-0" CENTER TO CENTER
RAILS: WOOD AND ALUMINUM RAIL KIT



DECK 4 (UPPER FRONT)-FRAMING
3/8" = 1'-0"



DECK 3 (LOWER FRONT)-FRAMING
3/8" = 1'-0"



DECK 3 (LOWER FRONT)-FOOTINGS
3/8" = 1'-0"

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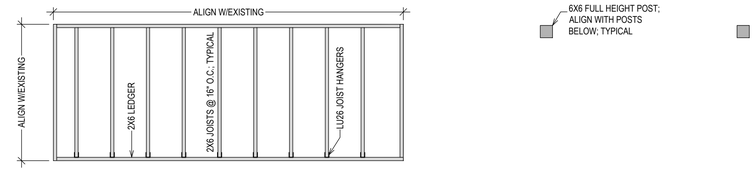
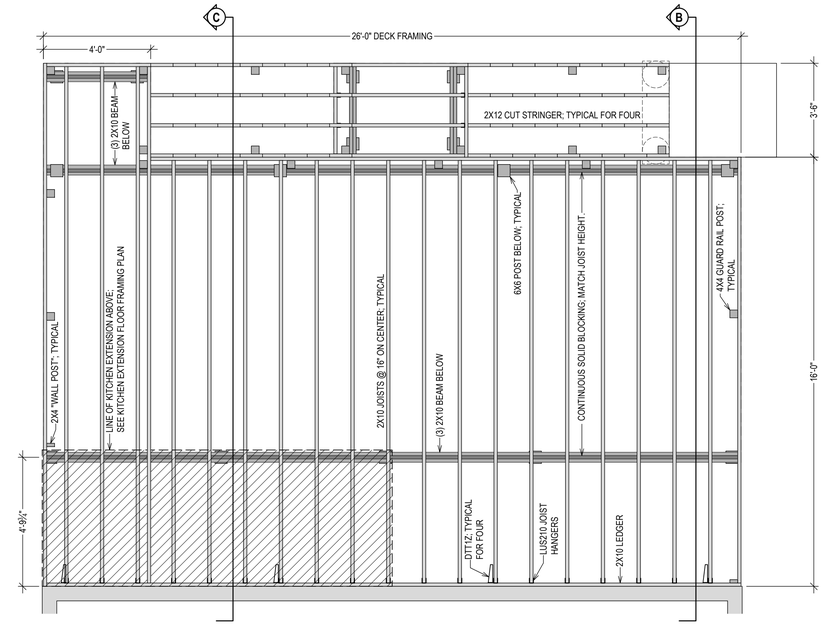
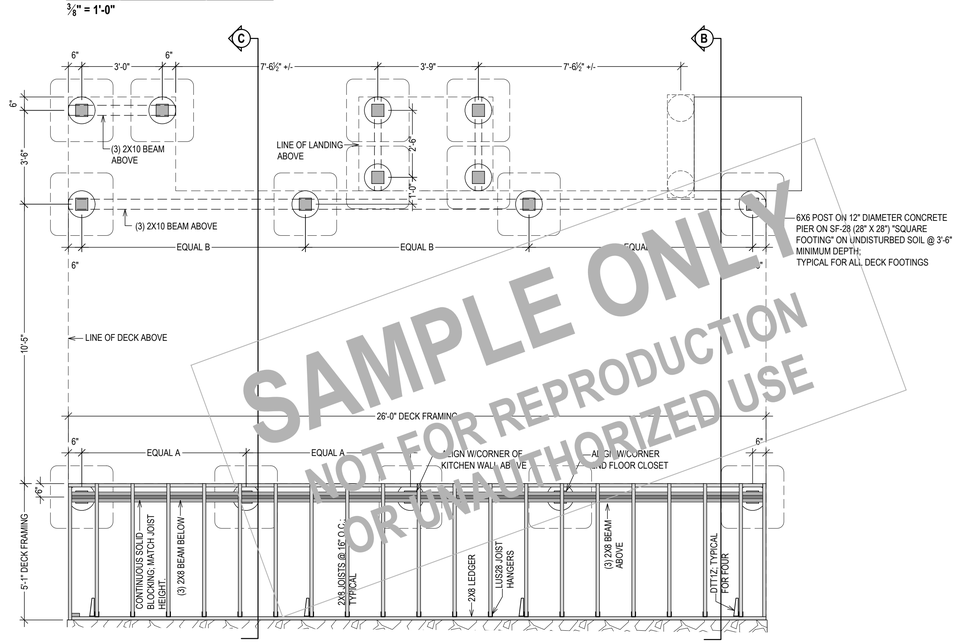


KITCHEN EXTENSION FLOOR FRAMING
STRUCTURE ON TOP OF DECK FRAMING, SEE DECK 2 (UPPER REAR) FRAMING PLAN
3/8" = 1'-0"



DECK 2 (UPPER REAR)-FRAMING
3/8" = 1'-0"

VERIFY ALL DIMENSIONS FOR ALIGNMENT OF FOOTINGS, PIERS AND POSTS



DECK 1 (LOWER REAR)-FRAMING
3/8" = 1'-0"

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12.04.2025	AMENDMENT

2

PROJECT NAME:
FLOOR PLAN ALTERATION

DRAWING NAME:
DECKS

DRAWING NUMBER:
A-05.1.1

DATE:
05.15.2025

SCALE:
AS NOTED

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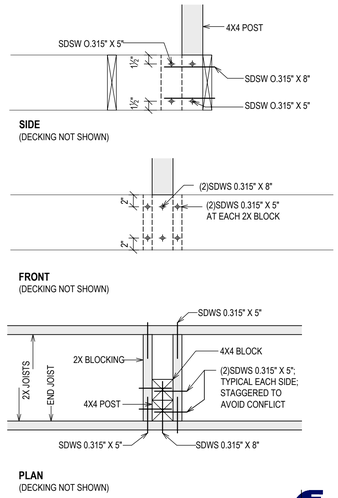
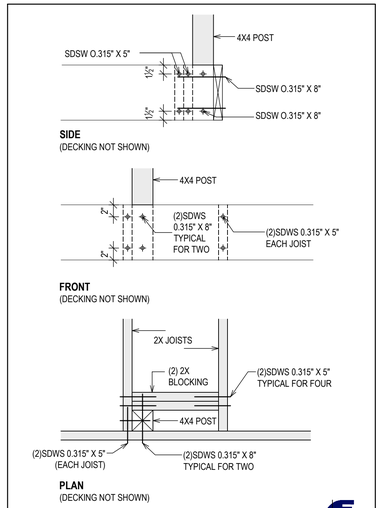
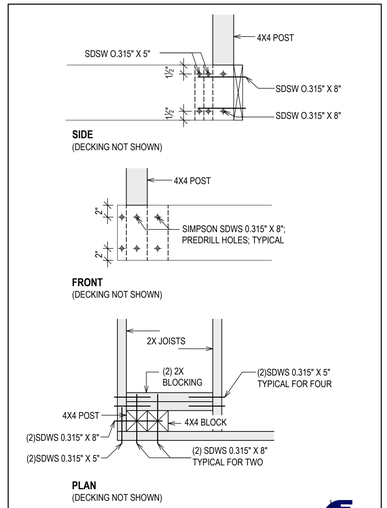


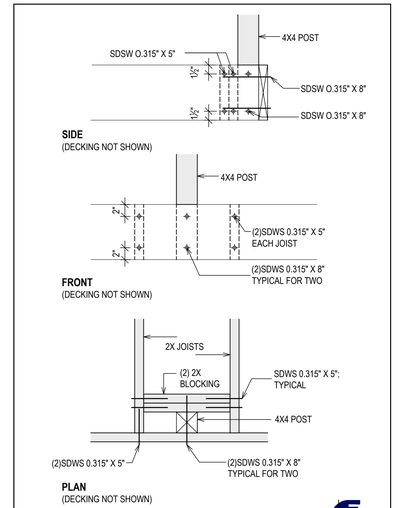
1. LINE POST ATTACHMENT (JOISTS PARALLEL)
***
1" = 1'-0"



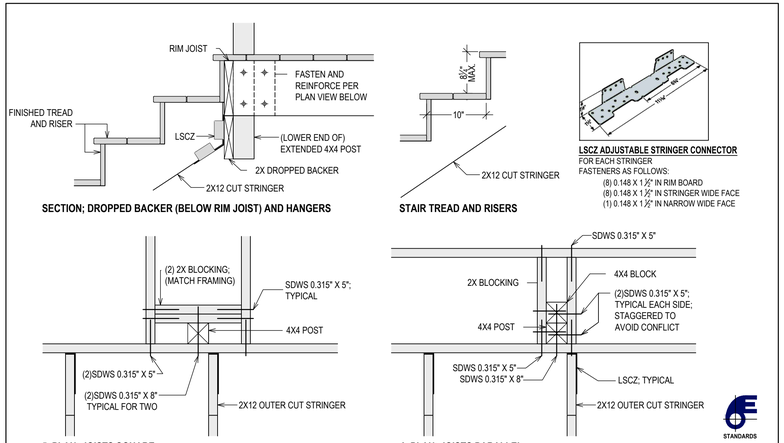
2. LINE POST ATTACHMENT
***
1" = 1'-0"



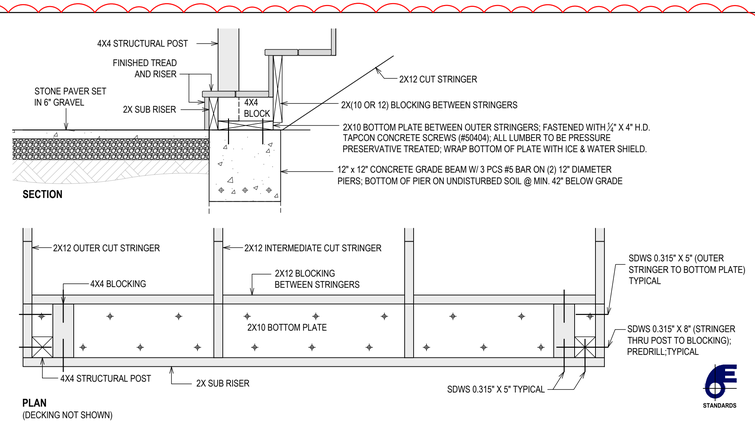
3. CORNER POST ATTACHMENT
***
1" = 1'-0"



4. POST BETWEEN JOISTS
***
1" = 1'-0"



5. & 6. TOP OF STAIR POST & STRINGER ATTACHMENT
1" = 1'-0"



7. BOTTOM STAIR POST ATTACHMENT
***
1" = 1'-0"

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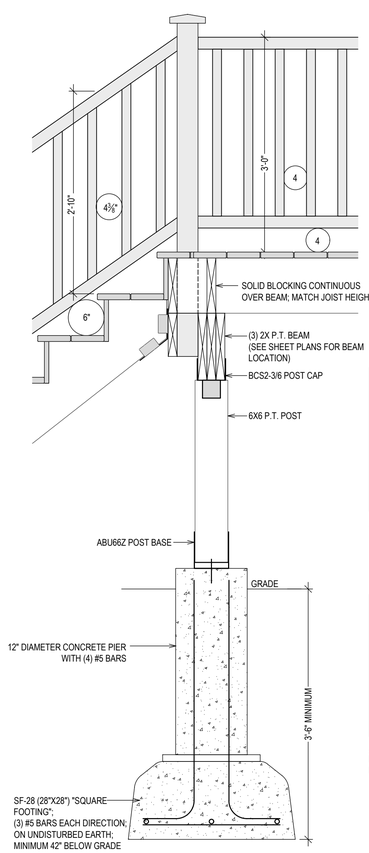
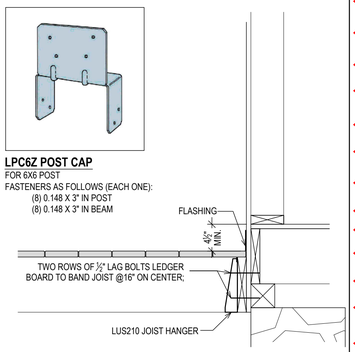
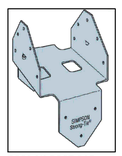
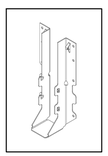


LPC6Z POST CAP
FOR 6X6 POST
FASTENERS AS FOLLOWS (EACH ONE):
(8) 0.148 X 3" IN POST
(8) 0.148 X 3" IN BEAM

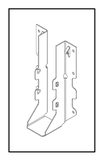




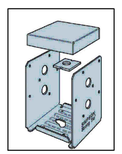
BCS2-3/6 POST CAP
FASTENERS AS FOLLOWS:
(12) 0.162 x 3 ½" IN BEAM
(6) 0.162 x 3 ½" IN POST



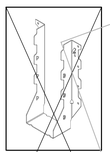
LUS210 JOIST HANGER
FOR 2X10 JOISTS
FASTENERS AS FOLLOWS:
(8) 0.148 X 3 IN HEADER
(4) 0.148 X 3 IN JOIST



LUS28 JOIST HANGER
FOR 2X8 JOISTS
FASTENERS AS FOLLOWS:
(8) 0.148 X 3 IN HEADER
(4) 0.148 X 3 IN JOIST



ABU66Z POST BASE
FOR 6X6 POST
FASTENERS AS FOLLOWS:
(12) 0.162 x 3 ½" IN POST
(1) THDB62500H
SCREW ANCHOR (⅝" X 5")



LUS210-2 JOIST HANGER
FOR (2) 2X10 JOISTS
FASTENERS AS FOLLOWS:
(8) 0.148 X 3 IN HEADER
(4) 0.148 X 3 IN JOIST

DTT1Z TENSION TIE
LOAD CAPACITY 750 LBS
USE FOUR PER DECK
FASTENERS AS FOLLOWS:
SDWH HDG
(6) #9 X 1½" SD

DECK SECTION: FOOTING, GUARD RAIL, STRUCTURE AND CONNECTIONS
***
1" = 1'-0"

GUARD RAILS:

HEIGHT:
GUARDS SHALL BE NOT LESS THAN 36" IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE.
HEIGHT EXCEPTIONS:
GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT OF NOT LESS THAN 34" MEASURED VERTICALLY FROM A LINE CONNECTING THE NOSINGS.
WHERE THE TOP OF THE GUARD SERVES AS A HANDRAIL ON THE OPEN SIDES OF STAIRS, THE TOP OF THE GUARD SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38 INCHES AS MEASURED VERTICALLY FROM A LINE CONNECTING THE NOSINGS.

OPENINGS:
GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER.
EXCEPTIONS:
THE TRIANGULAR OPENINGS AT THE OPEN SIDE OF STAIR, FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD, SHALL NOT ALLOW PASSAGE OF A SPHERE 6" IN DIAMETER.
GUARDS ON THE OPEN SIDE OF STAIRS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4⅜" IN DIAMETER.

HAND RAILS:

HEIGHT:
HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38".

GRIP SIZE:
REQUIRED HANDRAILS SHALL BE OF ONE OF THE FOLLOWING TYPES (I OR II) OR PROVIDE EQUIVALENT GRASPABILITY.

TYPE I.
HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF NOT LESS THAN 1¼" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER OF NOT LESS THAN 4" AND NOT GREATER THAN 6" AND A CROSS SECTION OF NOT MORE THAN 2¼". EDGES SHALL HAVE A RADIUS OF NOT LESS THAN 0.01".

TYPE II.
HANDRAILS WITH A PERIMETER GREATER THAN 6¼" SHALL HAVE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN ¾" MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND HAVE A DEPTH OF NOT LESS THAN 5/16" WITHIN ½" BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR NOT LESS THAN ⅞" TO A LEVEL THAT IS NOT LESS THAN 1¾" BELOW THE TALLEST PORTION OF THE PROFILE. THE WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE NOT LESS THAN 1¼" AND NOT MORE THAN 2¾". EDGES SHALL HAVE A RADIUS OF NOT LESS THAN 0.01".

CONTINUITY:
HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.

EXCEPTIONS:
HANDRAIL CONTINUITY SHALL BE PERMITTED TO BE INTERRUPTED BY A NEWEL POST AT A TURN IN A FLIGHT WITH WINDERS, AT A LANDING, OR OVER THE LOWEST TREAD.

PLASTIC COMPOSITE MATERIALS:

PLASTIC COMPOSITE EXTERIOR DECK BOARDS, STAIR TREADS, GUARDS AND HANDRAILS SHALL COMPLY WITH THE REQUIREMENTS OF R507.2.2 OF THE RESIDENTIAL CODE AND OF ASTM D7032.

LABELING:
PLASTIC OR COMPOSITE EXTERIOR DECK BOARDS, STAIR TREADS, HANDRAILS AND GUARDS, OR THEIR PACKAGING, SHALL BEAR A LABEL THAT INDICATES COMPLIANCE WITH ASTM D7032 AND INCLUDES THE MAXIMUM ALLOWABLE SPAN DETERMINED IN ACCORDANCE WITH ASTM D7032.

INSTALLATION:
THEY SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

APPROVAL:
NEW POSTS (TRIM) AND RAILINGS TO BE COMPOSITE MATERIAL, COMPLIANT WITH THE ABOVE REQUIREMENTS, AND TO BE APPROVED BY OWNER PRIOR TO INSTALLATION;
RAILS TO BE TIMBERTECH CLASSIC COMPOSITE SERIES OR OTHER APPROVED BY OWNER.

EXTERIOR DECK STRUCTURE

LOADING:
DECKS SHALL BE DESIGNED FOR A LIVE LOAD OR 40 PSF.

FOOTINGS:
FOOTINGS SHALL BEAR ON UNDISTURBED EARTH WITH A MINIMUM BEARING CAPACITY OF 2,500 PSF AND AT A MINIMUM OF 42" BELOW GRADE; OR BEAR ON SOLID ROCK.
CONCRETE AND REBAR SHALL BE PER THE GENERAL NOTES ON SHEET C-01.

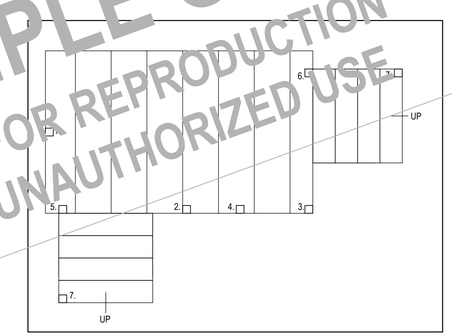
WOOD MATERIALS:
UNLESS OTHERWISE NOTED, ALL WOOD MATERIALS (NOTED HEREIN AS PT) SHALL BE NO. 2 GRADE PRESSURE-PRESERVATIVE-TREATED SOUTHERN PINE, HEM-FIR, OR OTHER APPROVED, OR BETTER LUMBER, PRESERVATIVE-TREATED IN ACCORDANCE WITH SECTION R317

BEAMS:
BEAM PLIES SHALL BE FASTENED TOGETHER WITH TWO ROWS OF 10D (3" × 0.128") NAILS MINIMUM AT 16" ON CENTER ALONG EACH EDGE OR AS NOTED.
THE ENDS OF BEAMS SHALL HAVE NOT LESS THAN 1 ½" OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3" OF BEARING ON CONCRETE OR MASONRY FOR THE ENTIRE WIDTH OF THE BEAM. WHERE MULTIPLE-SPAN BEAMS BEAR ON INTERMEDIATE POSTS, EACH PLY SHALL HAVE FULL BEARING ON THE POST.

JOISTS:
SPANS FOR WOOD DECK JOISTS, SHALL BE AS SHOWN IN THESE DRAWINGS; THE MAXIMUM JOIST SPACING MAY ALSO BE LIMITED BY THE DECKING MATERIALS.
EACH JOIST SHALL BE SECURED TO THE BEAM WITH A MINIMUM OF (3) 10D (3" × 0.128") TOE NAILS.
RIM JOISTS SHALL BE SECURED TO THE END OF EACH JOIST WITH NOT FEWER THAN THREE 10D (3" X 0.128") NAILS OR THREE NO. 10 X 3" LONG WOOD SCREWS.

DECKING:
WOOD DECKING SHALL BE ATTACHED TO EACH SUPPORTING MEMBER WITH NOT LESS THAN TWO 8D THREADED NAILS OR TWO NO. 8 WOOD SCREWS.
SPACING FOR JOISTS SUPPORTING PLASTIC COMPOSITE DECKING SHALL BE IN ACCORDANCE WITH SECTION R507.2 AND MANUFACTURER'S INSTRUCTIONS.

HARDWARE:
ALL HARDWARE AND FASTENERS USED IN EXTERIOR CONSTRUCTION SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL AND SHALL BE INSTALLED IN ACCORDANCE WITH THESE DRAWINGS AND THE FACTORY'S INSTRUCTIONS.



TYPICAL POST LOCATION CONNECTION DETAILS
(SEE DETAILS 1. THRU 7.)

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08.15.2025	FOR PERMIT
12.04.2025	AMENDMENT

PROJECT NAME:
FLOOR PLAN ALTERATION

DRAWING NAME:
TYPICAL DECK DETAILS

DRAWING NUMBER:
A-05.1.2

DATE:
05.15.2025

SCALE:
AS NOTED

NOTE:
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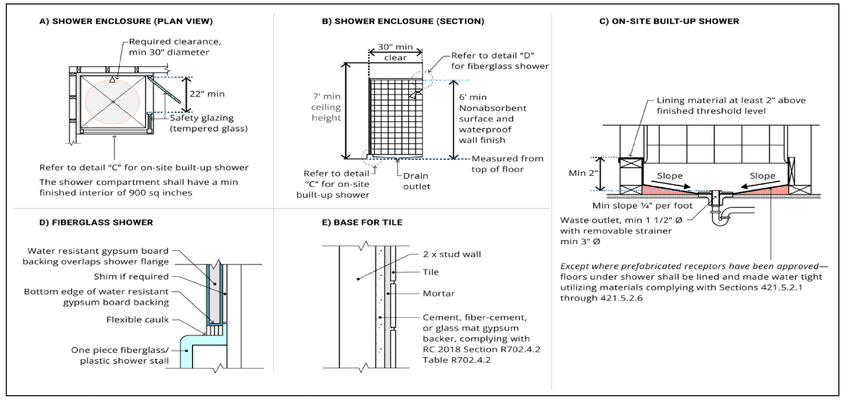
BATHROOM

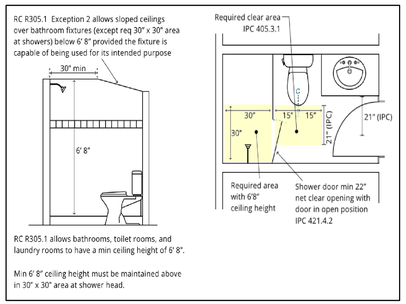
1. BATHTUB & SHOWER SPACES:



BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE.
SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.

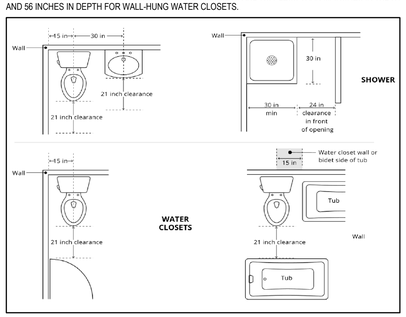
TYPICAL BATHROOM DETAILS
ALL CONFIGURATIONS MAY NOT APPLY

2. PLUMBING FIXTURE CLEARANCES:



FIXTURE CLEARANCES (SECTION 405 OF THE PLUMBING CODE):
FIXTURE CLEARANCES SHOWN APPLY TO NON-ACCESSIBLE / ADA CONDITIONS.
VERIFY WITH MULTIFAMILY HOUSING OR ACCESSIBLE FIXTURE CLEARANCE REQUIREMENTS WHEN FIXTURES ARE REQUIRED TO BE ACCESSIBLE.

WATER CLOSETS, URINALS, LAVATORIES AND BIDETS:
A WATER CLOSET, URINAL, LAVATORY OR BIDET SHALL NOT BE SET CLOSER THAN 15 INCHES FROM ITS CENTER TO ANY SIDE WALL, PARTITION, VANITY OR OTHER OBSTRUCTION.
WHERE PARTITIONS OR OTHER OBSTRUCTIONS DO NOT SEPARATE ADJACENT WATER CLOSETS, URINALS, OR BIDETS, THE FIXTURES SHALL NOT BE SET CLOSER THAN 30 INCHES CENTER TO CENTER BETWEEN ADJACENT FIXTURES OR ADJACENT WATER CLOSETS, URINALS, OR BIDETS.
THERE SHALL BE NOT LESS THAN A 21-INCH CLEARANCE IN FRONT OF A WATER CLOSET, URINAL, LAVATORY OR BIDET TO ANY WALL, FIXTURE OR DOOR.
WATER CLOSET COMPARTMENTS SHALL BE NOT LESS THAN 30 INCHES IN WIDTH AND NOT LESS THAN 60 INCHES IN DEPTH FOR FLOOR-MOUNTED WATER CLOSETS AND NOT LESS THAN 30 INCHES IN WIDTH AND 56 INCHES IN DEPTH FOR WALL-HUNG WATER CLOSETS.



PLUMBING FIXTURE CLEARANCES:
PLUMBING FIXTURES REQUIRE MINIMUM AREAS IN FRONT TO PROVIDE SAFE USABILITY AND MAINTENANCE OF THE FIXTURE. SOME JURISDICTIONS MAY REQUIRE COMPLIANCE WITH PLUMBING CODES, WHICH MAY BE MORE STRINGENT THAN SHOWN IN THIS DIAGRAM.
THESE CLEARANCES SHOULD NOT BE CONFUSED WITH THE CLEARANCES REQUIRED FOR DISABLED ACCESS.
THE LOCATION OF PIPING, FIXTURES OR EQUIPMENT SHALL NOT INTERFERE WITH THE OPERATION OF WINDOWS OR DOORS.

FIXTURE INSTALLATION:
FLOOR-OUTLET OR FLOOR-MOUNTED FIXTURES SHALL BE SECURED TO THE DRAINAGE CONNECTION AND TO THE FLOOR, WHERE SO DESIGNED, BY SCREWS, BOLTS, WASHERS, NUTS AND SIMILAR FASTENERS OF COPPER, COPPER ALLOY OR OTHER CORROSION RESISTANT MATERIAL.
WALL-HUNG FIXTURES SHALL BE RIGIDLY SUPPORTED SO THAT STRAIN IS NOT TRANSMITTED TO THE PLUMBING SYSTEM.
WHERE FIXTURES COME IN CONTACT WITH WALLS AND FLOORS, THE CONTACT AREA SHALL BE WATERTIGHT.

3. WALL COVERINGS:

WATER-RESISTANT GYPSUM BACKING BOARD (R702.3.7):
GYPSUM BOARD USED AS THE BASE OR BACKER FOR ADHESIVE APPLICATION OF CERAMIC TILE OR OTHER REQUIRED NONABSORBENT FINISH MATERIAL SHALL CONFORM TO ASTM C1178, C1278 OR C1396.
USE OF WATER-RESISTANT GYPSUM BACKING BOARD SHALL BE PERMITTED ON CEILINGS.
WATER-RESISTANT GYPSUM BOARD SHALL NOT BE INSTALLED OVER A CLASS I OR II VAPOR RETARDER IN A SHOWER OR TUB COMPARTMENT.
CUT OR EXPOSED EDGES, INCLUDING THOSE AT WALL INTERSECTIONS, SHALL BE SEALED AS RECOMMENDED BY THE MANUFACTURER.

LIMITATIONS: WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY.

BACKER BOARDS FOR CERAMIC TILE (R702.4.2):
MATERIALS USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS SHALL BE OF MATERIALS LISTED BELOW (PER TABLE R702.4.2) AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

MATERIAL	STANDARD
GLASS MAT GYPSUM BACKING PANEL	ASTM C1178
FIBER-REINFORCED GYPSUM PANELS	ASTM C1278
NONASBESTOS FIBER-CEMENT BACKER BOARD	ASTM C1288 OR ISO 8336, CATEGORY C
NONASBESTOS FIBER MAT-REINFORCED CEMENTITIOUS BACKER UNITS	ASTM C1325

4. LIGHT AND VENTILATION

BATHROOMS
BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA IN WINDOWS OF NOT LESS THAN 3 SQUARE FEET, ONE-HALF OF WHICH SHALL BE OPENABLE.

EXCEPTION:
THE GLAZED AREAS SHALL NOT BE REQUIRED WHERE ARTIFICIAL LIGHT AND A LOCAL EXHAUST SYSTEM ARE PROVIDED; MINIMUM LOCAL EXHAUST RATES SHALL BE DETERMINED IN ACCORDANCE WITH SECTION M1505.
EXHAUST AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS.

MECHANICAL VENTILATION (M1505):
EXHAUST AIR FROM BATHROOMS AND TOILET ROOMS SHALL NOT BE RECIRCULATED WITHIN A RESIDENCE OR CIRCULATED TO ANOTHER DWELLING UNIT AND SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS.

EXHAUST AIR FROM BATHROOMS, TOILET ROOMS AND KITCHENS SHALL NOT DISCHARGE INTO AN ATTIC, CRAWL SPACE OR OTHER AREAS INSIDE THE BUILDING.
EXHAUST EQUIPMENT SERVING SINGLE DWELLING UNITS SHALL BE LISTED AND LABELED AS PROVIDING THE MINIMUM REQUIRED AIRFLOW IN ACCORDANCE WITH ANSI/AMCA 210-ANSI/ASHRAE 51.

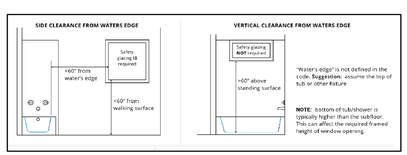
LOCAL EXHAUST SYSTEMS SHALL BE DESIGNED TO HAVE THE CAPACITY TO EXHAUST THE MINIMUM AIRFLOW RATE DETERMINED AS FOLLOWS:

BATHROOMS-TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF	50 CFM INTERMITTENT,
OR		20 CFM CONTINUOUS

5. SAFETY GLAZING:

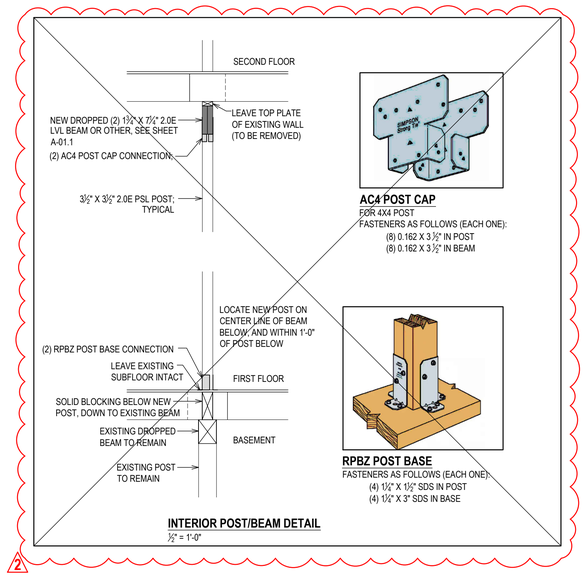
GLAZING AND WET SURFACES (R308.4.5):
GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.
THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANES IN MULTIPLE GLAZING.

EXCEPTION: GLAZING THAT IS MORE THAN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR SWIMMING POOL.

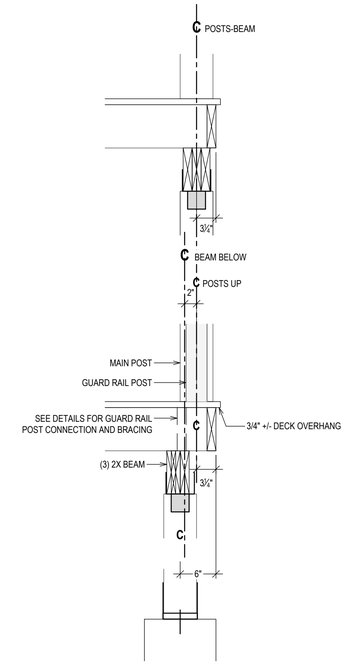


IDENTIFICATION OF SAFETY GLAZING (R308.1):
EXCEPT AS INDICATED IN SECTION R308.1.1 EACH PANE OF GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED IN SECTION R308.4 SHALL BE PROVIDED WITH A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE TYPE OF GLASS AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES, AND THAT IS VISIBLE IN THE FINAL INSTALLATION. THE DESIGNATION SHALL BE ACID ETCHED, SANDBLASTED, CERAMIC-FIRED, LASER ETCHED, EMBOSSED, OR BE OF A TYPE THAT ONCE APPLIED CANNOT BE REMOVED WITHOUT BEING DESTROYED. A LABEL SHALL BE PERMITTED IN LIEU OF THE MANUFACTURER'S DESIGNATION.

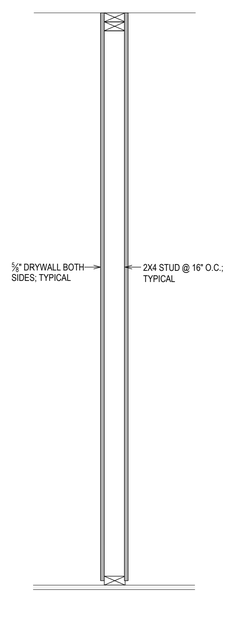
EXCEPTIONS: FOR OTHER THAN TEMPERED GLASS, MANUFACTURER'S DESIGNATIONS ARE NOT REQUIRED PROVIDED THAT THE BUILDING OFFICIAL APPROVES THE USE OF A CERTIFICATE, AFFIDAVIT OR OTHER EVIDENCE CONFIRMING COMPLIANCE WITH THIS CODE.



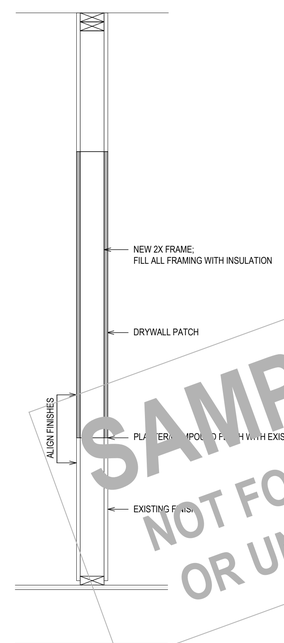
INTERIOR POST/BEAM DETAIL
½" = 1'-0"



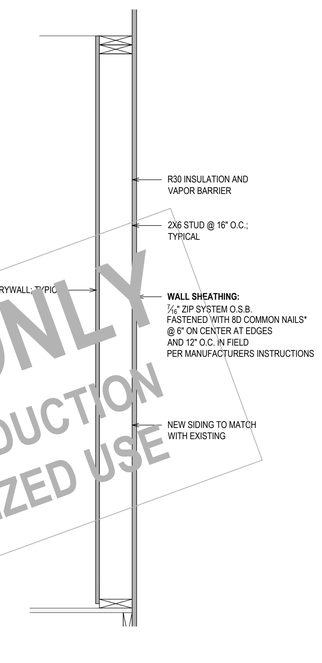
POST/BEAM DETAIL
1" = 1'-0"



SECTION AT NEW INTERIOR WALL; TYPICAL
1" = 1'-0"



SECTION AT EXTERIOR WALL; TYPICAL
1" = 1'-0"



NEW EXTERIOR WALL; TYPICAL
1"= 1'-0"

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PORT CHESTER, NY 10573 (VILLAGE OF PORT CHESTER BUILDING DEPARTMENT)

S-B-L:
***

CLIENT:
*** ***

TEL: ***
EMAIL:
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PROJECT NAME:
FLOOR PLAN ALTERATION

DRAWING NAME:
TYPICAL DETAILS

DRAWING NUMBER:
A-06.1

DATE:
05.15.2025

SCALE:
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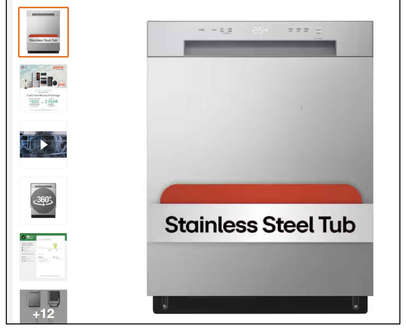
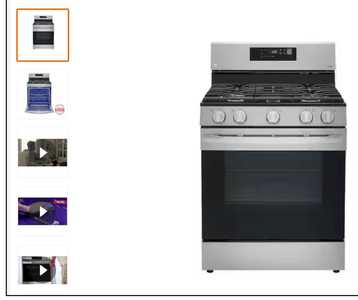
LG
24 in. Stainless Look Front Control Dishwasher with Stainless Steel Tub and SenseClean
★★★★ (573) Questions & Answers (155)



DISHWASHER

LG
30 in. 5.8 cu.ft. Smart Single Oven Gas Range with EasyClean, Wi-Fi Enabled in. Stainless Steel
★★★★½ (265) Questions & Answers (102)



STOVE

Cosmo
22.4 cu. ft. 3-Door French Door Refrigerator with Water Dispenser and Ice Maker in Stainless Steel, Counter Depth
★★★★★ (432) Questions & Answers (4)

FRIDGE

KITCHEN SINK

KITCHEN SINK FAUCET

CANVAS
MERINGUE GLOSSY CERAMIC TILE

LENOX GRAY MATTE PORCELAIN TILE

MAPEI
MAPEI 5038 AVALANCHE ULTRACOLOR PLUS FA GROUT

MAPEI
MAPEI 5019 PEARL GRAY ULTRACOLOR PLUS FA GROUT

TILE AND GROUT
ALL BATHROOMS

KOHLER
Elmbrook 12in. Rough In 2-Piece 1.28 GPF Single Flush Elongated Chair Height Toilet in White with Soft Close Seat

TOILET
ALL BATHROOMS

KOHLER 20-in x 26.125-in Surface/Recessed Mount Mirrored Soft Close Medicine Cabinet
Item #2050mirr | Model #K-87290-NA

MEDICINE CABINET
ALL BATHROOMS

Project Source 30-in White Single Sink Bathroom Vanity with White Cultured Marble Top
Item #328426 | Model #KSE VSC1,3039

BATHROOM SINK
POWDER ROOM AND HALL BATHROOM

Moen Adler Spot Resist Brushed Nickel 4-in centerset 2-Handle WaterSense Bathroom Sink Faucet with Drain
Item #6900EC | Model #6900EC

BATHROOM SINK FAUCET
POWDER ROOM AND HALL BATHROOM

Moen Adler Spot Resist Brushed Nickel 1-Handle Multi-Function Round Bathtub and Shower Faucet Valve Included
Item #8130EP | Model #

BATHTUB TRIM
HALL BATHROOM

Oswell 8-in Widespread Double-Handle High-Arc Bathroom Faucet in Matte Black

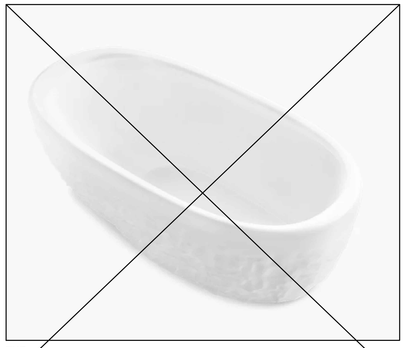
SINK FAUCET
MASTER BATHROOM

KOHLER
Elmbrook 60 in. x 32 in. Soaking Bathtub with Left-Hand Drain in White

KOHLER
Levity 56-60 in. W x 60 in. H Semi-Frameless Sliding Tub Door in Nickel with 1/4 in. Crystal Clear Glass

studiodesign COLLECTION
HUDSON 61 IN. NATURAL OAK VANITY WITH QUARTZ TOP

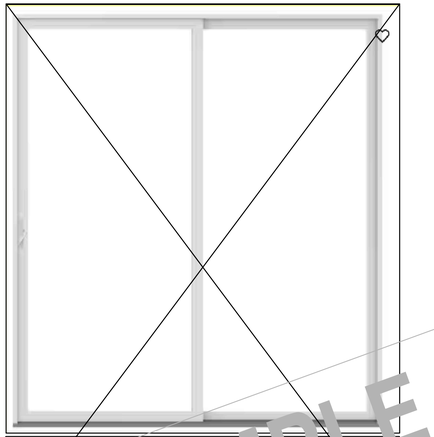
SINK VANITY
MASTER BATHROOM



TUB
LANDSHAPES BY DANIEL ARSHAM 69½" X 34½" FREESTANDING BATH K-32131-HW1
MASTER BATHROOM

TUB TRIM
FLOOR-MOUNT BATH FILLER TRIM WITH LEVER HANDLES AND HANDSHOWER K-T77984-4-CP
MASTER BATHROOM

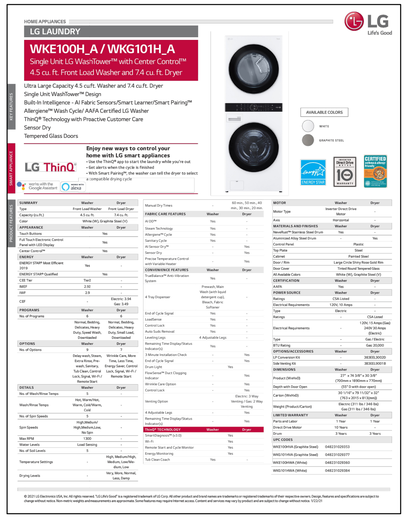
SHOWER TRIM
RITE-TEMP SHOWER TRIM KIT 1.75GPM K-TS35916-4G-CP
MASTER BATHROOM



71-1/4 in. x 79-1/2 in. 300 Series White Right-Hand Composite Sliding Patio Door with White Interior and White Hardware

PATIO DOOR

SPECIFIED ITEMS:
SEVERAL ITEMS OF MILLWORK, APPLIANCES, FIXTURES, FINISHES, AND EQUIPMENT ARE SPECIFIED IN THESE DRAWINGS. THE SPECIFICATIONS ARE INTENDED AS SUGGESTIONS ONLY AND MAY OR MAY NOT BE APPROPRIATE FOR THE APPLICATION. ALL SUCH ITEMS SHALL BE SELECTED AND APPROVED IN WRITING BY THE OWNER PRIOR TO PURCHASE AND INSTALLATION.



WASHER AND DRYER (W/D)

FRONT DOOR
36" X 80" 12 LITE PRIMED STEEL PREHUNG RIGHT-HAND INSWING FRONT DOOR

SAMPLE ONLY
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FLOOR PLAN ALTERATION

DRAWING NAME:
FINISHES

DRAWING NUMBER:
A-06.2

DATE:
05.15.2025

SCALE:
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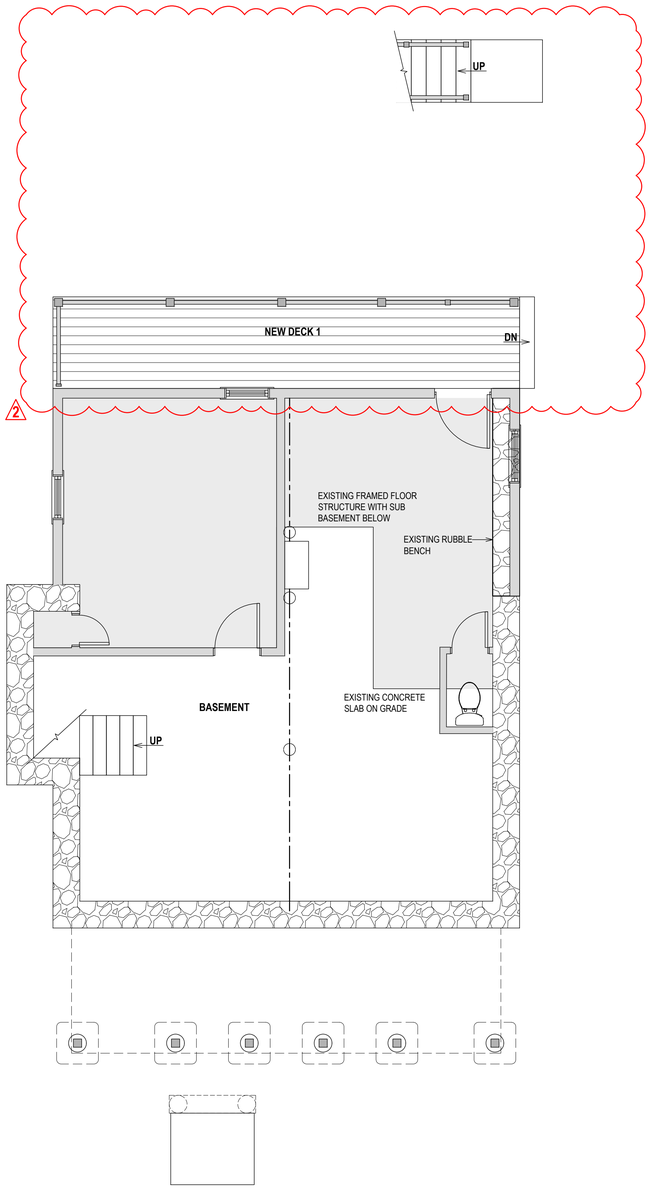
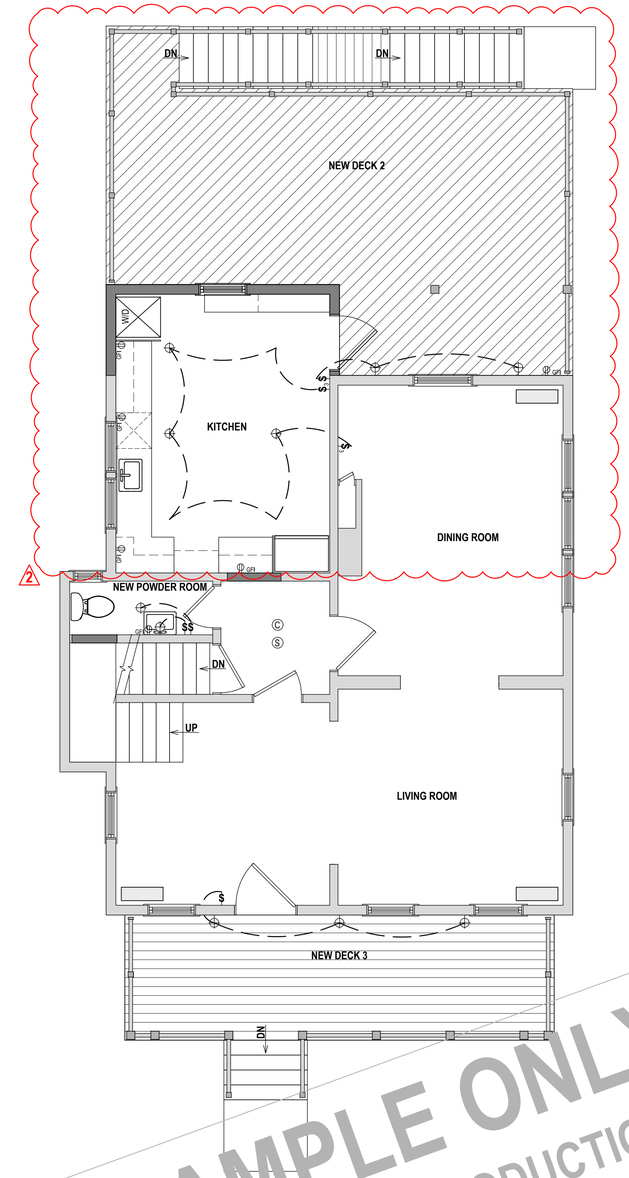


BASEMENT ELECTRICAL PLAN (NO WORK THIS AREA)
¼" = 1'-0"



FIRST FLOOR ELECTRICAL PLAN
¼" = 1'-0"

LEGEND:

- $ SINGLE POLE SWITCH
- $3 SWITCH 3-WAY
- GFI OUTLET
- RECESSED FIXTURE
- RECESSED LIGHT/FAN FIXTURE; VENT ALL EXHAUST FAN TO EXTERIOR
- PENDANT/CHANDELIER
- C CARBON MONOXIDE DETECTOR
- S SMOKE DETECTOR

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PROJECT NAME:
FLOOR PLAN ALTERATION

DRAWING NAME:
ELECTRICAL 01

DRAWING NUMBER:
E-01

DATE:
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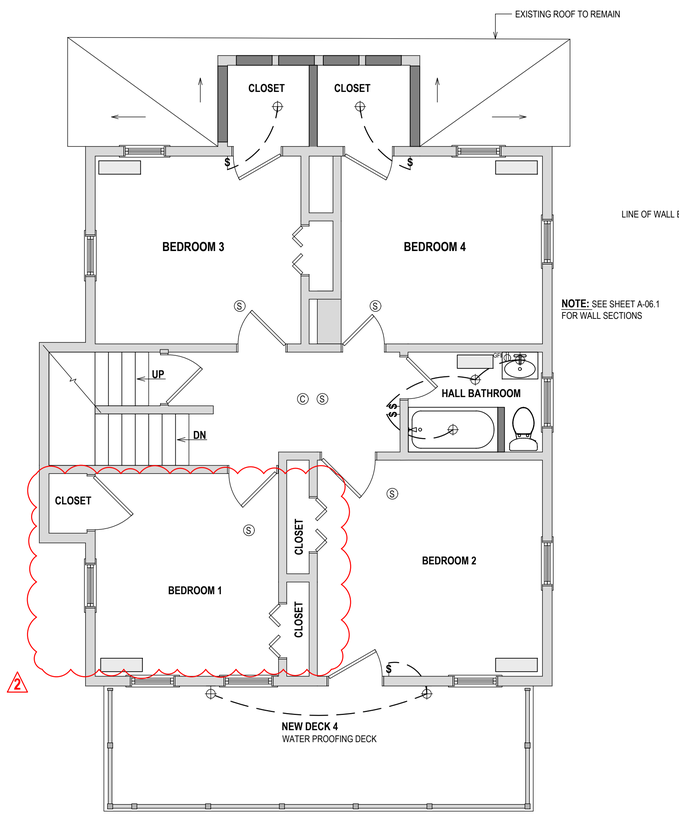
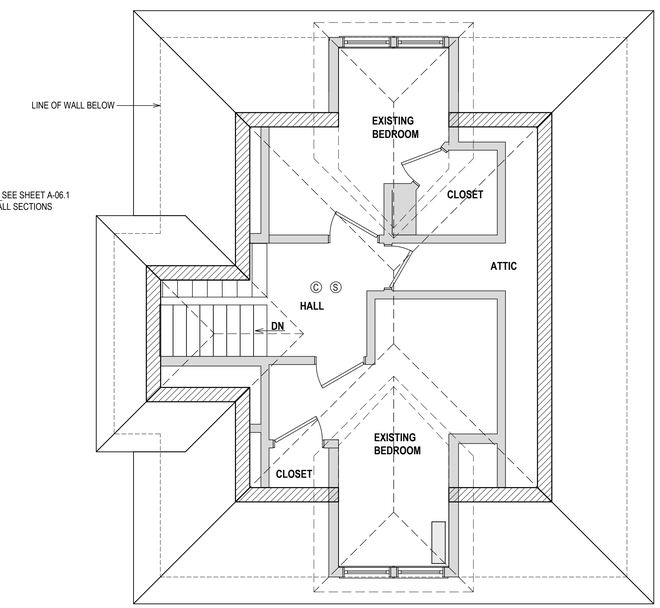


NOTE: SEE SHEET A-06.1 FOR WALL SECTIONS

SECOND FLOOR ELECTRICAL PLAN

¼" = 1'-0"



ATTIC ELECTRICAL PLAN

¼" = 1'-0"

ELECTRICAL LEGEND

$	SINGLE POLE SWITCH
$3	SWITCH 3-WAY
GFI	GFI OUTLET
	RECESSED FIXTURE
	RECESSED LIGHT/FAN FIXTURE; VENT ALL EXHAUST FAN TO EXTERIOR
	PENDANT/CHANDELIER
C	CARBON MONOXIDE DETECTOR
S	SMOKE DETECTOR

CARBON MONOXIDE DETECTION:

PER SECTION 915 OF THE THE 2017 NATIONAL ELECTRICAL CODE (NFPA 70-2017), CARBON MONOXIDE DETECTION SHALL BE INSTALLED IN ALL ROOMS, OCCUPIABLE SPACE, DWELLING UNITS, SLEEPING AREAS, AND SLEEPING UNITS THAT CONTAIN A FUEL-BURNING APPLIANCE.

EXCEPTIONS:

1. IN SLEEPING AREAS AND SLEEPING UNITS WHERE A FUEL BURNING APPLIANCE IS LOCATED IN AN ATTACHED BATHROOM, UTILITY ROOM, CLOSET, OR SPACE, A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED IN A CENTRAL OR OTHERWISE APPROVED LOCATION IN THE SLEEPING AREA OR SLEEPING UNIT.
2. IN DWELLING UNITS AND SLEEPING UNITS WHERE A FUEL BURNING APPLIANCE IS LOCATED IN A KITCHEN OR KITCHENETTE, A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED OUTSIDE OF THE SLEEPING AREAS AND WITHIN 10 FEET OF THE ENTRANCE TO THE SLEEPING AREAS.

CARBON MONOXIDE DETECTION SHALL BE INSTALLED OUTSIDE OF SLEEPING AREAS AND WITHIN 10 FEET OF THE ENTRANCE TO THE SLEEPING AREAS IN DWELLING UNITS AND SLEEPING UNITS THAT CONTAIN A FUEL-BURNING APPLIANCE.

INTERCONNECTION OF CARBON MONOXIDE DETECTORS:
WHEN MORE THAN ONE CARBON MONOXIDE ALARM IS INSTALLED IN A DWELLING UNIT, SLEEPING UNIT, SLEEPING AREA, OCCUPIABLE SPACE, OR HVAC ZONE, ALL SUCH ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM OR DETECTOR SHALL ACTIVATE ALL CARBON MONOXIDE NOTIFICATION APPLIANCES THROUGHOUT THE INDIVIDUAL DWELLING UNIT, SLEEPING UNIT, SLEEPING AREA, OCCUPIABLE SPACE, OR HVAC ZONE.

EXCEPTION:
CARBON MONOXIDE ALARMS POWERED BY A 10-YEAR BATTERY SHALL BE ALLOWED AND INTERCONNECTION OF ALARMS SHALL NOT BE REQUIRED IN WORK AREAS WHERE THE ALTERATION DOES NOT RESULT IN THE REMOVAL OR EXPOSURE OF INTERIOR WALL OR CEILING FINISHES THAT REVEAL THE STRUCTURE, UNLESS THERE IS AN ATTIC, CRAWL SPACE, BASEMENT, OR SIMILAR SPACE AVAILABLE THAT COULD PROVIDE ACCESS FOR POWER AND INTERCONNECTION WITHOUT THE REMOVAL OF SUCH INTERIOR FINISHES.

SMOKE ALARMS AND HEAT DETECTION:

WHEN INTERIOR ALTERATIONS OCCUR, THE INDIVIDUAL DWELLING UNIT SHALL BE PROVIDED WITH SMOKE ALARMS LOCATED AS REQUIRED FOR NEW DWELLINGS;
SMOKE ALARMS AND HEAT DETECTION SHALL COMPLY WITH NFPA 72 AND SECTION R314 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS).
SMOKE ALARMS SHALL BE PROVIDED IN DWELLING UNITS; HEAT DETECTION SHALL BE PROVIDED IN NEW ATTACHED GARAGES.

SMOKE ALARM LOCATIONS:
SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:

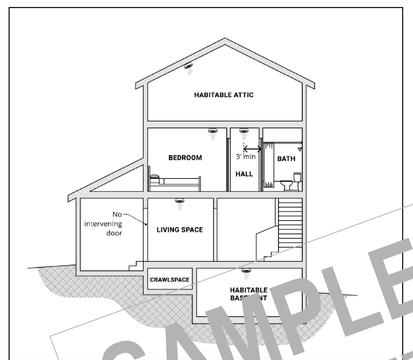
1. IN EACH SLEEPING ROOM.
2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS AND NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
4. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY THIS SECTION.

SMOKE ALARM INSTALLATION EXCEPTIONS APPLY IN REGARD TO COOKING EQUIPMENT - SEE DRAWING, THIS PAGE.

INTERCONNECTION OF SMOKE ALARMS:
WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT IN ACCORDANCE WITH SECTION R314.3, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT.
PHYSICAL INTERCONNECTION OF SMOKE ALARMS SHALL NOT BE REQUIRED WHERE LISTED WIRELESS ALARMS ARE INSTALLED AND ALL ALARMS SOUND UPON ACTIVATION OF ONE ALARM.

EXCEPTIONS:
SMOKE ALARMS IN EXISTING AREAS SHALL NOT BE REQUIRED TO BE INTERCONNECTED AND HARD WIRED WHERE INTERIOR WALL OR CEILING FINISHES ARE NOT REMOVED TO EXPOSE THE STRUCTURE.
SMOKE ALARMS ARE NOT TO BE INSTALLED WITHIN 3 FEET OF A BATHROOM.

COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF SMOKE ALARMS.



RESIDENTIAL SMOKE ALARM REQUIRED LOCATIONS

2020 RESIDENTIAL CODE OF NEW YORK STATE (INTERNATIONAL RESIDENTIAL CODE 2018 WITH AMENDMENTS)

ELECTRICAL:

1. ALL ELECTRICAL WORK IS TO BE PERFORMED BY AN ELECTRICAL CONTRACTOR LICENSED TO WORK IN THE VILLAGE OF PORT CHESTER.
2. ALL ELECTRICAL WORK, WIRING AND EQUIPMENT SHALL CONFORM TO THE THE 2017 NATIONAL ELECTRICAL CODE (NFPA 70-2017) AND ALL OTHER REGULATING AGENCIES.
3. THE ELECTRICAL CONTRACTOR SHALL SUPPLY ALL REQUIRED WIRING, DEVICES, CIRCUIT BREAKERS AND OTHER MATERIALS AS REQUIRE BY CODE.
4. UNLESS STIPULATED OTHERWISE, ALL LIGHT FIXTURES AND LAMPS TO BE SUPPLIED AND INSTALLED BY THE ELECTRICIAN; ALL NEW LIGHT FIXTURES TO BE LED TYPE.
5. SINGLE AND MULTIPLE-STATION SMOKE DETECTING ALARM DEVICES TO BE HARDWIRED AND INSTALLED TO CONFORM WITH THE BUILDING CODE AS FOLLOWS:
   5.1. ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.
   5.2. IN EACH ROOM USED FOR SLEEPING PURPOSES.
6. CARBON MONOXIDE ALARMS AND CARBON MONOXIDE DETECTION SHALL BE INSTALLED IN NEW AND EXISTING BUILDINGS IN ACCORDANCE WITH SECTION 915 OF THE FIRE CODE OF THE STATE OF NEW YORK.
7. PROVIDE GFCI OUTLETS IN KITCHEN PER CODE.
8. PROVIDE DEDICATED APPLIANCE (REFRIGERATOR AND DISHWASHER) OUTLETS PER CODE AND PER MANUFACTURER'S INSTRUCTIONS.
9. PROVIDE ARC FAULT PROTECTED OUTLETS IN BEDROOM PER CODE.
10. PROVIDE UNDER-CABINET LIGHTING PER OWNER AND DESIGNER'S REQUIREMENTS.

BATHROOM BRANCH CIRCUITS & GROUND FAULT INTERRUPTERS:
A MINIMUM OF ONE 20-AMPERE BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLET(S). SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS.

EXCEPTION:
WHERE THE 20-AMPERE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED IN ACCORDANCE WITH SECTION E3702. [210.11(C)(3) EXCEPTION]
AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN BATHROOMS AND SUCH OUTLET SHALL BE LOCATED WITHIN 36" OF THE OUTSIDE EDGE OF EACH LAVATORY BASIN. THE RECEPTACLE OUTLET SHALL BE LOCATED ON A WALL OR PARTITION THAT IS ADJACENT TO THE LAVATORY BASIN LOCATION, LOCATED ON THE COUNTERTOP, OR INSTALLED ON THE SIDE OR FACE OF THE BASIN CABINET. THE RECEPTACLE SHALL BE LOCATED NOT MORE THAN 12" BELOW THE TOP OF THE BASIN OR BASIN COUNTERTOP.
125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN BATHROOMS SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR PERSONNEL. [210.8(A)(1)]

BATHTUB OR SHOWER STALL RECEPTACLES:
125-VOLT, SINGLE PHASE, 15- AND 20-AMPERE RECEPTACLES THAT ARE LOCATED WITHIN 6 FEET OF THE OUTSIDE EDGE OF A BATHTUB OR SHOWER STALL SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR PERSONNEL. [210.8(A)(8)]

CEILING (ELECTRICAL) PENETRATIONS:
PENETRATIONS OF MEMBRANES THAT ARE PART OF A HORIZONTAL ASSEMBLY SHALL COMPLY WITH SECTION 714.5.1.1 OR 714.5.1.2. WHERE FLOOR/CEILING ASSEMBLIES ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING, RECESSED FIXTURES SHALL BE INSTALLED SUCH THAT THE REQUIRED FIRE RESISTANCE WILL NOT BE REDUCED.

EXCEPTIONS:
CEILING MEMBRANE PENETRATIONS OF MAXIMUM 2-HOUR HORIZONTAL ASSEMBLIES BY STEEL ELECTRICAL BOXES THAT DO NOT EXCEED 16 SQUARE INCHES IN AREA, PROVIDED THAT THE AGGREGATE AREA OF SUCH PENETRATIONS DOES NOT EXCEED 100 SQUARE INCHES IN ANY 100 SQUARE FEET OF CEILING AREA, AND THE ANNULAR SPACE BETWEEN THE CEILING MEMBRANE AND THE BOX DOES NOT EXCEED ⅛ INCH.

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PROPERTY ADDRESS:
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PORT CHESTER, NY 10573 (VILLAGE OF PORT CHESTER BUILDING DEPARTMENT)

S-B-L:
***

CLIENT:
*** ***

TEL: ***
EMAIL:
***

DATE:	ISSUE:
05.15.2025	PRELIMINARY
~~07.23.2025~~	~~FOR PERMIT~~
08.15.2025	FOR PERMIT
12.04.2025	AMENDMENT

2

PROJECT NAME:
FLOOR PLAN ALTERATION

DRAWING NAME:
ELECTRICAL 02

DRAWING NUMBER:
E-02

DATE:
05.15.2025

SCALE:
AS NOTED

NOTE:
THIS DRAWING IS VALID FOR CONSTRUCTION IF (AND ONLY IF) A PERMIT IS ISSUED, BASED ON THIS DRAWING, BY THE VILLAGE OF PORT CHESTER.

THIS DRAWING IS AS A SAMPLE ONLY
*** PERSONAL (CLIENT) INFORMATION WITHHELD